

Heritage Advisory Committee
SEP 17 2013

Heritage Impact Statement

1392 Stavebank Road
Mississauga ON L5G 2V3

June 20, 2013

Report prepared by David W. Small

A handwritten signature in black ink, appearing to read "D. Small", written over a horizontal line.

David W. Small

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Section 1 | Introduction

Author:

David W. Small Designs Inc. is a custom home design firm that specializes in infill housing. (i.e. redevelopment of properties in existing mature neighbourhoods. David Small was born to design houses as he grew up watching and learning from his Father and Grandfather who were builders and developers. Growing up with such a 'heritage of housing' David's passion for the business was ignited and this passion led him to where he is today.

Over the past decade, David W. Small Designs Inc. recognizes what heritage is and what it means because as a firm we have done our research and have been involved in the design of over 80 new homes and renovations within cultural landscapes of the area. When designing these custom homes, David takes into consideration the heritage and the cultural landscape in question. The success of the firm is largely based on developing "neighbourhood sensitive" designs that respect the integrity of the existing natural and currently constructed surroundings.

The firm has successfully prepared heritage impact statements for the City of Mississauga for properties listed in numerous cultural landscapes for the last 4 years. Through the preparation of over 20 "H.I.S" documents David W. Small Designs has acquired a clear understanding of cultural within the City of Mississauga.

David W. Small Designs Inc. has successfully completed "H.I.S" documents for the following properties located in Mississauga:

1. 57 Inglewood Drive – April 2013
2. 1162 Vesta Drive – March 2013
3. 250 Pinetree Way – March 2013
4. 1296 Woodland Avenue – March 2013
5. 29 Cotton Drive – March 2013
6. 1373 Glenwood Drive – August 2012
7. 1394 Victor Avenue – May 2012
8. 1570 Stavebank Road – May 2012

9. 2494 Mississauga Road - April 2012
10. 162 Indian Valley Trail – March 2012
11. 500 Comanche Road – March 2012
12. 277 Pinetree Way – January 2012
13. 1362 Stavebank Road – August 2011
14. 1448 Stavebank Road – July 2011
15. 1359 Milton Avenue – July 2011
16. 1380 Milton Avenue – April 2010
17. 1248 Vista Drive – March 2010
18. 64 Veronica Drive – February 2010
19. 125 Veronica Drive – January 2010
20. 224 Donnelly Drive – October 2009
21. 1570 Stavebank Road – October 2009
22. 1379 Wendigo Trail – September 2008
23. 142 Inglewood Drive – September 2008
24. 1524 Douglas Drive – September 2008
25. 1443 Aldo Drive – July 2008
26. 1397 Birchwood Height Drive – July 2008
27. 1285 Stavebank Road – May 2008

Relevance of Heritage Impact Statement:

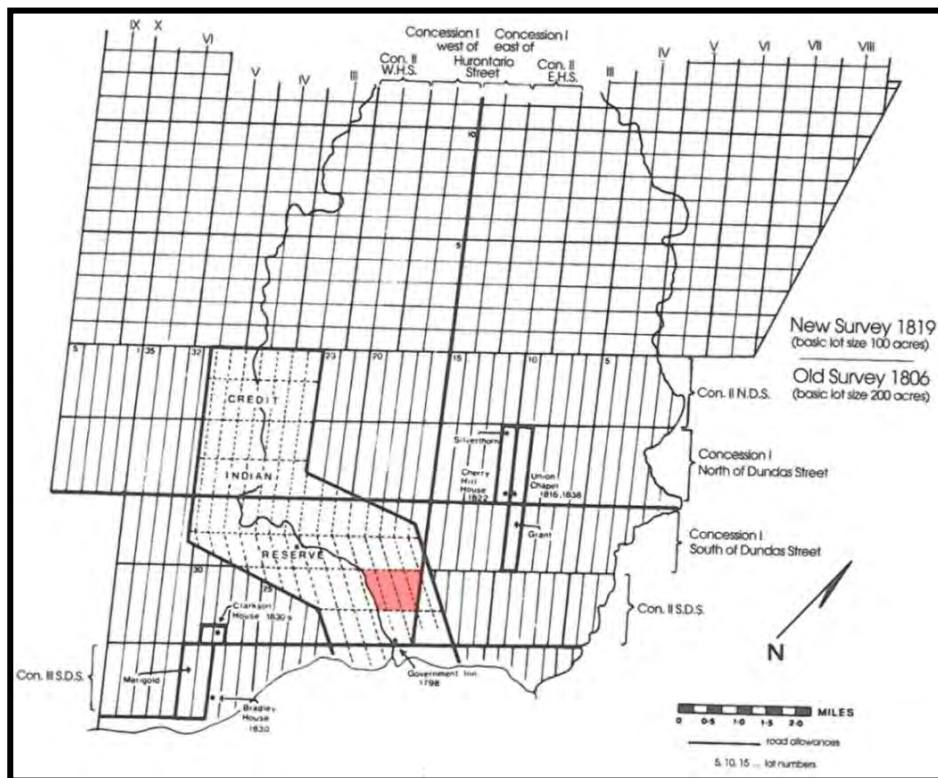
The subject property is located in the Mineola West neighbourhood otherwise known as the 'Mineola West cultural landscape'. As such, it is listed on the City of Mississauga's heritage register but it is not designated.

Section 2 | Property Overview

Mineola West Neighborhood:

The Mineola West Neighborhood is bordered on the West by the Credit River, the East by Hurontario Street (Hwy. 10), the North by the Queen Elizabeth Way and the South by the CN Rail line. It falls directly into what was previously known as the “Credit Indian Reserve” (CIR). The CIR originated as part of a land sale by the Mississauga Indians to the British Government in 1805. The sale included the lands stretching from Lake Ontario to a line 6 miles inland but excluded a strip of land one mile each side of the Credit River which was reserved for the Mississaugas. The graphic provided below indicates the area known as the Mineola West Neighborhood within the context of the Township of Toronto’s Lot Survey.

A Plan of the Township of Toronto’s Lot Survey:

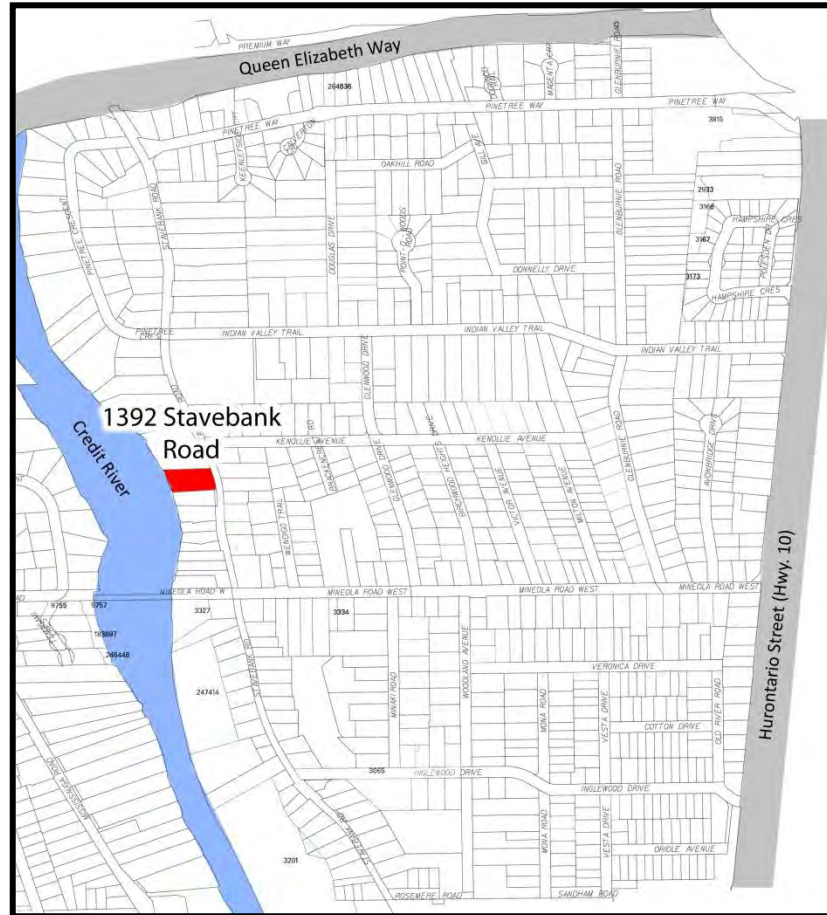


Mississauga's Heritage: The Formative Years, City of Mississauga, 1983

Current City of Mississauga Map:



Mineola West Neighbourhood Map:



Aerial Map:



The Mineola West Cultural Landscape:

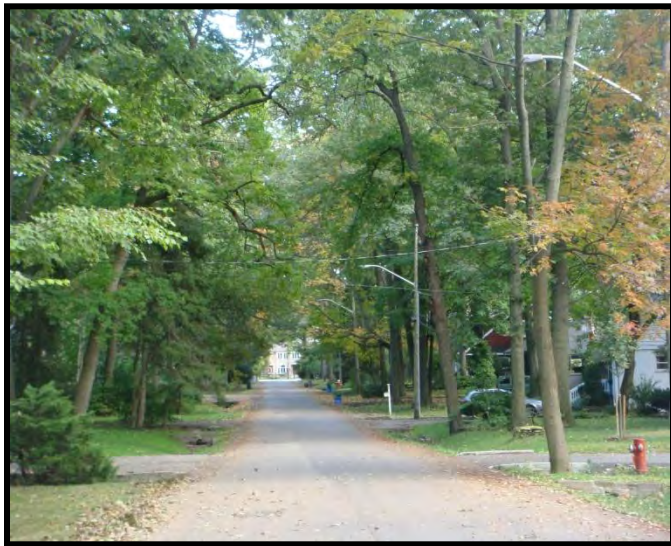
“Mineola was developed before it became standard practice to re-grade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm water drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.” – Excerpt from City of Mississauga Cultural Landscape Inventory L-RES-6

The Mineola West Neighbourhood is Unique in Several Ways:



Mineola West Vegetation

Vegetation: More than most neighbourhoods, Mineola West is dominated by the presence of mature trees. They are the number one physical feature that shapes one's impression as they travel through the area. Most of these trees are found along property boundaries and have been, therefore easily preserved through the years.



Narrow Roads, road side ditches and mature vegetation

Engineering Infrastructure: Unlike most neighbourhoods, Mineola West is composed of very few “Engineered Streets”. Roads are often narrow and lack the presence of curbs or sidewalks. Storm drainage is dealt with via a network of road side ditches as opposed to the more intrusive storm sewer system found throughout the city. Large trees are often in very close proximity to roads which reinforce the ‘soft’ overall impression of the neighbourhood.



Housing: As previously stated Mineola West is home to a broad range of housing sizes, configurations and styles.



Examples of broad range of housing in the Mineola West Neighbourhood

The housing stock continues to evolve as many are attracted to the neighbourhood’s aforementioned attributes. Although the overall housing density has increased most homes have been assimilated successfully into their context as the imposing natural elements continue to visually dominate. Attention to architectural detail and craftsmanship have been the most important characteristics and have superseded house style and size in the redevelopment of the area. One can see numerous examples of new and original homes, large and small homes or homes of varying architectural styles coexisting comfortably.



Houses of varying architectural styles



Houses of varying architectural styles



Houses of distinct size differences



Houses both old and new

Historical Associations

The following is a brief history of the Port Credit area through a chronological overview of the people and events that shaped Mineola West neighbourhood.

In 1837 Robert Cotton emigrated from Ireland where he became a well known farmer and merchant in Toronto. Robert Cotton purchased land and had a house built in 1856, of which remnants of this log cabin still exist. The Cotton Homestead is located on 1234 Old River Road part of range 1 of the C.I.R. Robert Cotton passed away in 1885 and before that time he had transferred the Cotton Homestead to James W. Cotton. Robert and James Cotton were brothers and to most are considered to be the “Fathers” of Port Credit. James Cotton worked along side Robert as a postmaster, storemaster and was the owner of a Wharf. The Cotton Homestead remained in the family until it was sold by Cyril E. Cotton in 1943, and now the Cotton Homestead is designated under Part IV of the Ontario Heritage Act in June 1984.

In 1854 James W. Cotton took ownership of the S.W part of lot 3 Range 2 C.I.R from the Crown. The change of ownership from township book A James W. Cotton in 1854 to Elizabeth Dixie in 1887 from township book C. In 1869 Frederick Chase Capreol purchased a great amount of land on the S.W of the C.I.R from John Crickmore. Frederick’s plan was to open a Peel General Manufacturing Company along the Port Credit River, but in the end Frederick did not have the financial backing to build his company and in 1888 he sold what was left to Thomas W. Hector. In 1888 to 1903 different parts of the land was being bought and sold between individuals, and in 1908 Kenneth Skinner purchased 60% of the S.W land from George W. Payne and Ellen O’Brien Payne.

The Skinner Family - 1893

KENNETH SKINNER CAME to Port Credit in 1893. He had been born in Schomberg, Ontario, on August 2, 1865, to George and Christina MacDonald Skinner. George had emigrated from Yorkshire, England, in 1844, and Christina from Scotland. On April 2, 1894, Kenneth bought an acre (0.4 ha) of land from Margaret Graham.

It had a small house on it, 18 feet by 24 feet (5 m x 6.4 m), which he relocated to the river side of his property. Also on the same date, he purchased eight acres (3.2 ha) from Edwin Crickmore. This acreage was part of Lot 3, Range 2, of the former Mississauga Indian Reserve.

Kenneth married Mary Ann South on June 2, 1897. Mary Ann, who was called Ollie, had been born on Upper Middle Road (now the Queensway) on March 13, 1866, to Edwin and Elizabeth Morris South. Edwin came to Canada from England and Elizabeth from Ireland in the 1850s. Kenneth and Mary Ann had two sons, Victor Kenneth on October 5, 1899, and Milton Douglas on April 3, 1902.



▲ Kenneth Skinner, 1870



▲ The Kenneth Skinner Family

As his family grew, he added onto the house until it had five bedrooms, a large living room, a kitchen, parlour and par. It also had a wrap-around veranda. Their address became 1372 Stavebank Road.

Port Credit: Past to Present

In 1909, Kenneth Skinner purchased 60 acres of land between Mineola Road and Kenollie Road and east of the Credit River to Hurontario. He purchased this farmland from Washington Payne, and from then on, between the 1930s to the late 1950s he began to subdivide his land into properties. With his two sons Victor Skinner and Milton Skinner, they designed and built about 50 homes within the Kenollie area. Throughout the development of the subdivision, Kenneth Skinner named streets such as Kenollie Avenue after him and his wife Mary Ann South (Ollie). He also named streets and after his sons Victor and Milton. He also created other street names such as Glenwood Drive and Wendigo Trail.

The original homestead located at 1372 Stavebank road is where Kenneth and his wife lived until 1962. When first built in the 1890s it was a 2-bedroom house and within 125 years, the house was renovated seven times. Since this last renovation, their original homestead has been demolished and new development has taken place by Susan and Paul Hansen.

1388 Stavebank Road is where Kenneth developed the cattle barn site for the market farm that he and his family operated. The family built a number of summer cottages for summer guests and boarded military personnel during World War 1. The cattle barn site is now the home of Mark and Gianni Lisetto. Victor Skinner lived with his family at 113 Mineola Road for many years, and then moved in to a home that he built 1420 Stavebank road where he spent his retirement years. The Mitchell Family redeveloped 1420 Stavebank Road in the year 2000.



Hanen Home 2011/Skinner
Homestead c.1911

On page 16, we provide a modern map of west Mineola neighborhood. This map shows an outline of range 2 C.I.R Lot 3 that Kenneth Skinner purchased and indicates where Kenneth Skinner and his wife lived, the cattle barn location, where Victor Skinner lived , where our subject property Milton Skinner lived and also shows homes that Milton Skinner built that have shaped Mineola.



1420 Stavebank Road,
Mitchell Residence

Throughout our research we were able to produce a brief history of the Skinner family and Mineola wests residential infill from Milton Skinner's grandson, Donald Skinner Jr. Donald Jr. and his wife Jennifer Skinner purchased the family estate 1392 Stavebank Road from his grandfather Milton Skinner in 1996. Donald Jr. was a graduate of Dalhousie who earned his Masters in Architecture in 1993. Throughout his career Donald Jr. won many awards for his work and was offered multiple teaching positions at different universities. Donald Jr, his wife and two boys, Indigo and Jasper moved to Bracebridge where Donald and Jennifer now focus on urban renewal of many historic properties. Today Donald Jr. still designs summer residences in Ontario.

Donald Jr's grandfather Milton Skinner built many homes in the Kenollie area that have shaped Mineola today. 1392 Stavebank Road was one of Milton's first attempts at building a bungalow, but is not one of his seminal works. His inspiration for building 1392 Stavebank Road are from his two finest and personal favorite; 1354 Glenwood Drive and 201 Mineola Road. These two homes were built in the 1930's during the depression. Donald Jr, says that they both represent an English shingle style arts and crafts home with aesthetic proportions and a frugal

use of material that were intended to create a meaningful design. 201 Mineola Road was often referred to as Milton and his wife Mary’s dream home among family members. Donald Jr. recalls when he was with his grandmother Mary, passing by the home telling him stories about when Milton was in the process of building the house before it went up sale. These two homes are the inspiration of what we see at both 1392 and 1401 Stavebank Road.



201 Mineola Road, Before and Today

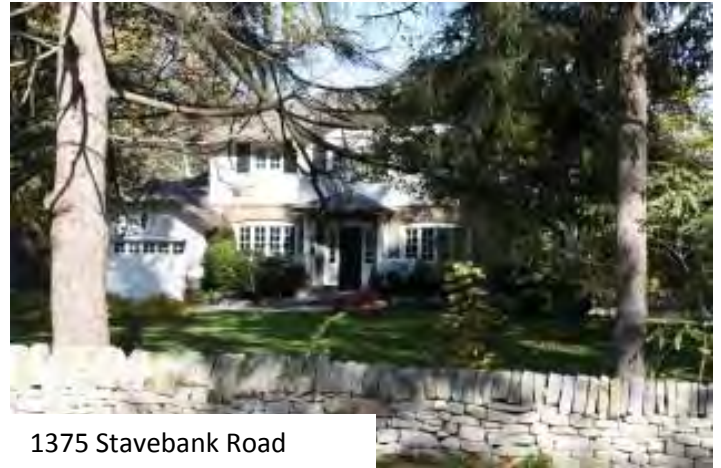


1354 Glenwood Drive, Today and Before

Other homes that are also reflective of the work that shaped Mineola are 1375, 1391 and 1401 Stavebank road. These homes are adjacent to 1392 Stavebank Road and still stand today. The homes have been renovated and have had additions, but they still remain very comparable to Milton’s original designs. Please see appendix 1 for further information written by Donald Jr on the history of the Skinner family and Mineola Wests Residential infill.



1391 Stavebank Road



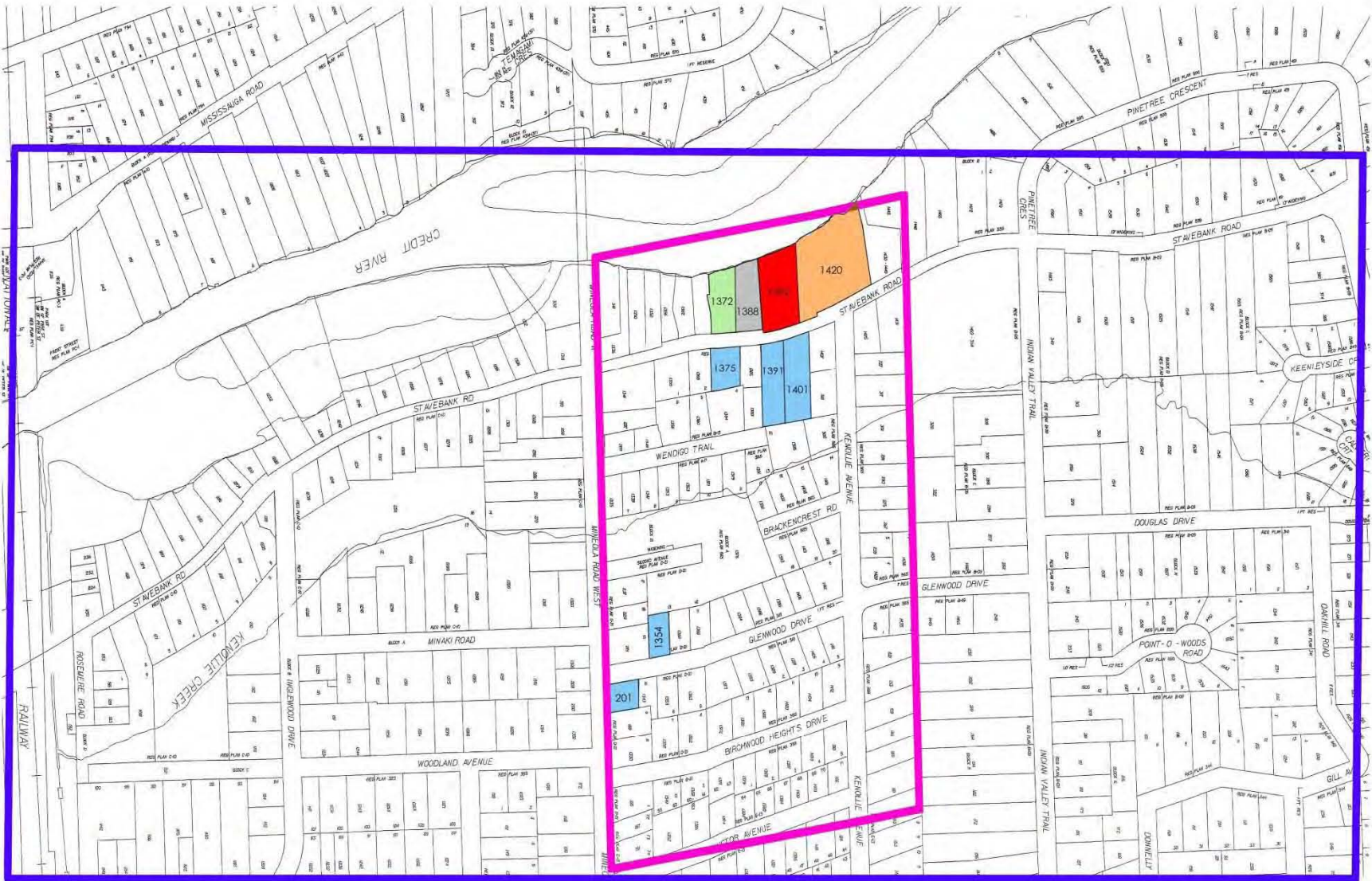
1375 Stavebank Road



1401 Stavebank Road

*Throughout our research we tried to acquire more information from Donald Jr to further describe the designs of these homes, but we weren’t able to get into touch with him. We also contacted Matthew Wilkinson from Heritage Mississauga and he also did not have any extra information to provide.

*Images above provided from Donald Skinner, 2011



- 1420 Stavebank Road - Former Victor Skinner Home
- 1392 Stavebank Road - Subject Property
- 1388 Stavebank Road - Former Cattle Barn
- 1372 Stavebank Road - Former Kenneth Skinner Home
- Milton Skinner Homes that shaped Mineola today
- Range 2 C.I.R. Lot 3
- Cotton Family

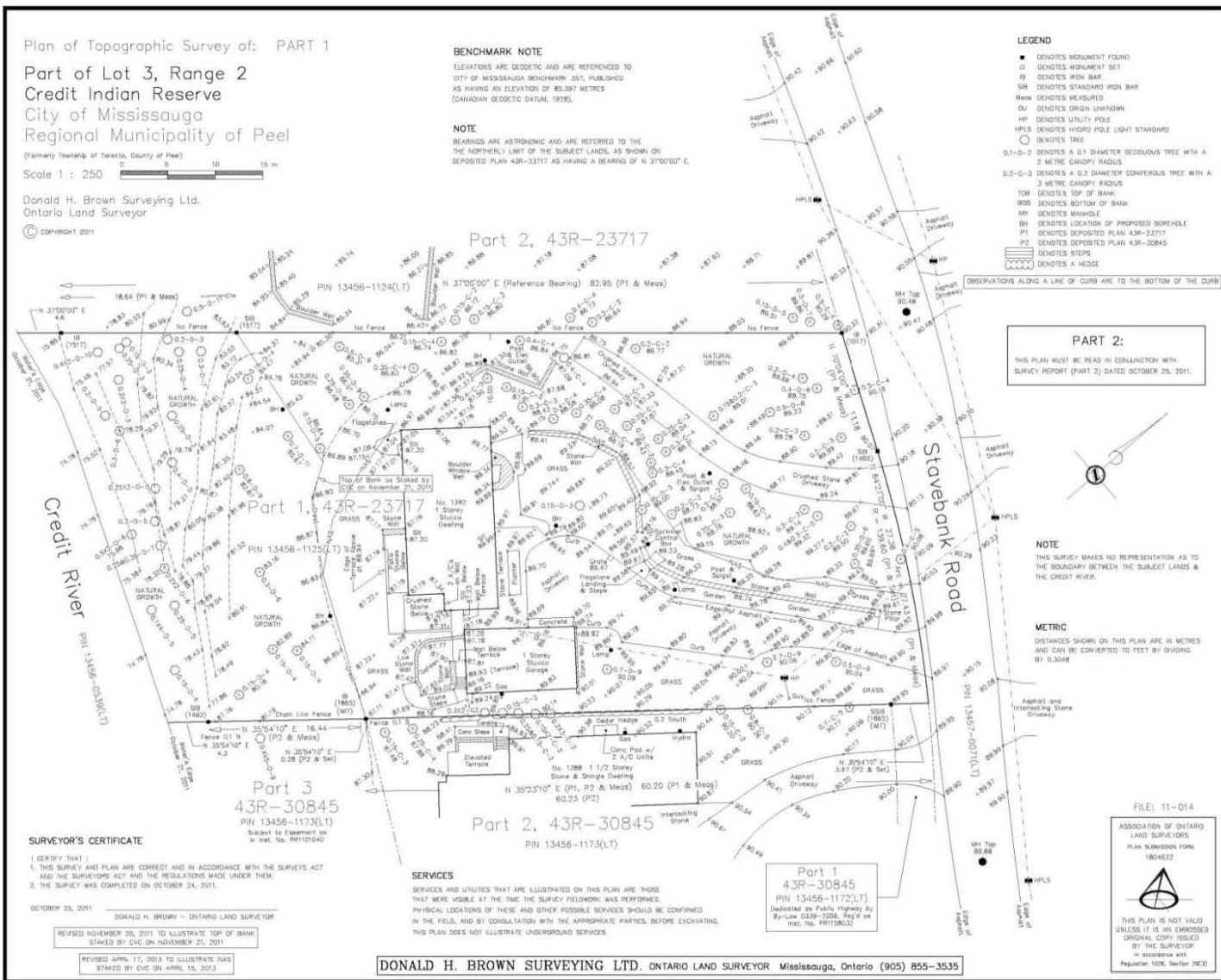
Section 3 | Property Details

Municipal Address	1392 Stavebank Road
Legal description	RANGE 2 CIR PT LOT 3
Municipal Ward	1
Zoning	R2-1 (0225-2007)
Lot Frontage	40.86 m
Lot Depth	83.78 m
Lot Area	3423.57 m ² (0.342 ha)
Orientation	Front facing North- East
Type	Existing 1 Storey Bungalow Dwelling
Vegetation	Several mature trees located throughout property
Access	New liner asphalt driveway
Current Property Owner	Stephen Rockett (416-859-9798)

Parcel Register:

Information gathered from the Ontario Land Registry office for the Region of Peel indicates the chain of ownership from July 11, 1854 to current. The information provided has been acquired through use of microfilm archives along with current Land Title search. The following ownership transfers have taken place since the earliest records of the property on title.

1. The Crown – Granted to James Cotton for Lot 3 Range 2 (July.11/1854)
2. Frederick W. Jarvis transferred to Bank of Upper Canada (May.13/1865)
(The above information is taken from the Toronto township book A)
3. Elizabeth Dixie transferred to Janadab D. Hardy (Jun.4/1887)
4. Janadab D. Hardy transferred to James Payne (Jun.3/1887)
(The above information is taken from the Toronto township book B)
5. James Payne’s will tranferred to Ellen O’Brien Payne and George Washington Payne
(Nov.15/1908)
6. George Washington Payne transferrred to Kenneth Skinner (Dec.15/1908)
(The above information is taken from the Toronto township book C)
7. Kenneth Skinner transferred to Milton D. Skinner (Jun. 28/1945)
8. Milton D. Skinner transferred to Donald Lear & Jennifer June Skinner (Dec.19/1996)
9. Donald Lear & Jennifer June Skinner transferred Stephen & Kim Rockett (Apr.17/2013)



Section 4 | Building Details

Exterior Photos



Front Elevation



Rear Elevation



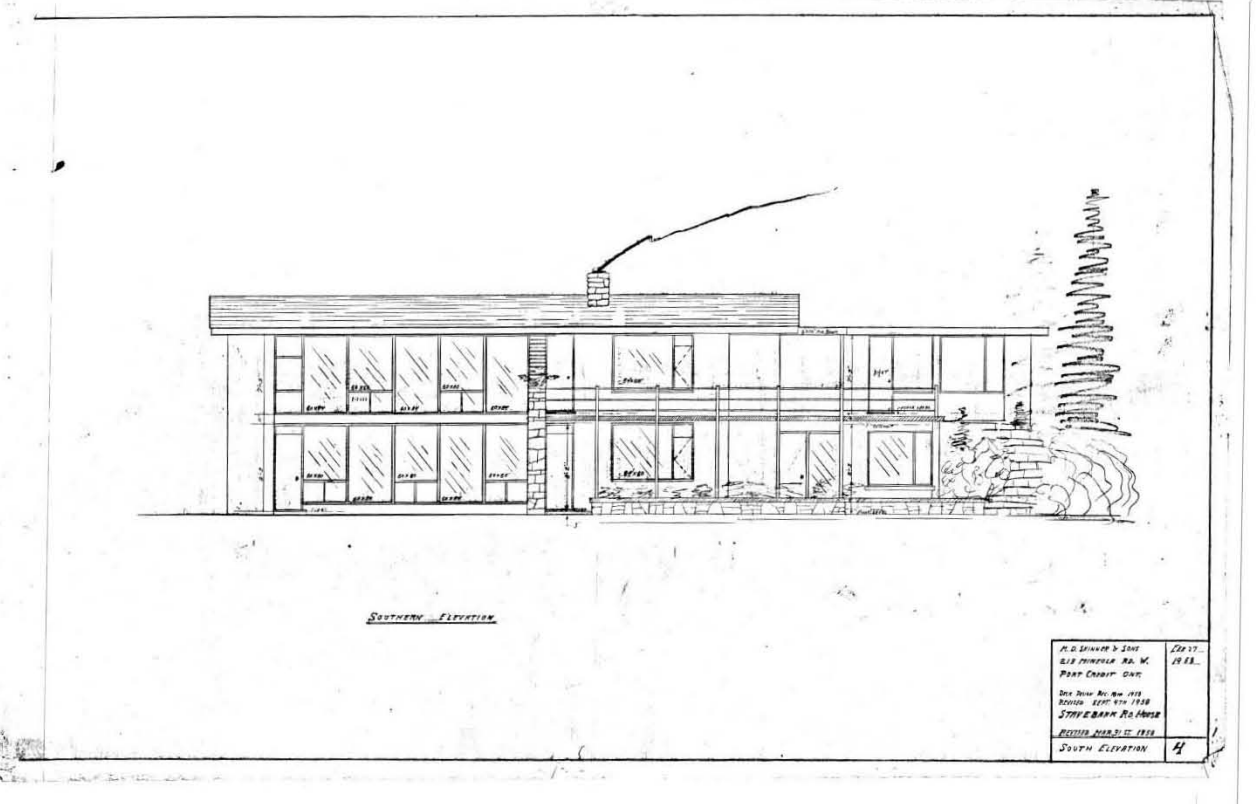
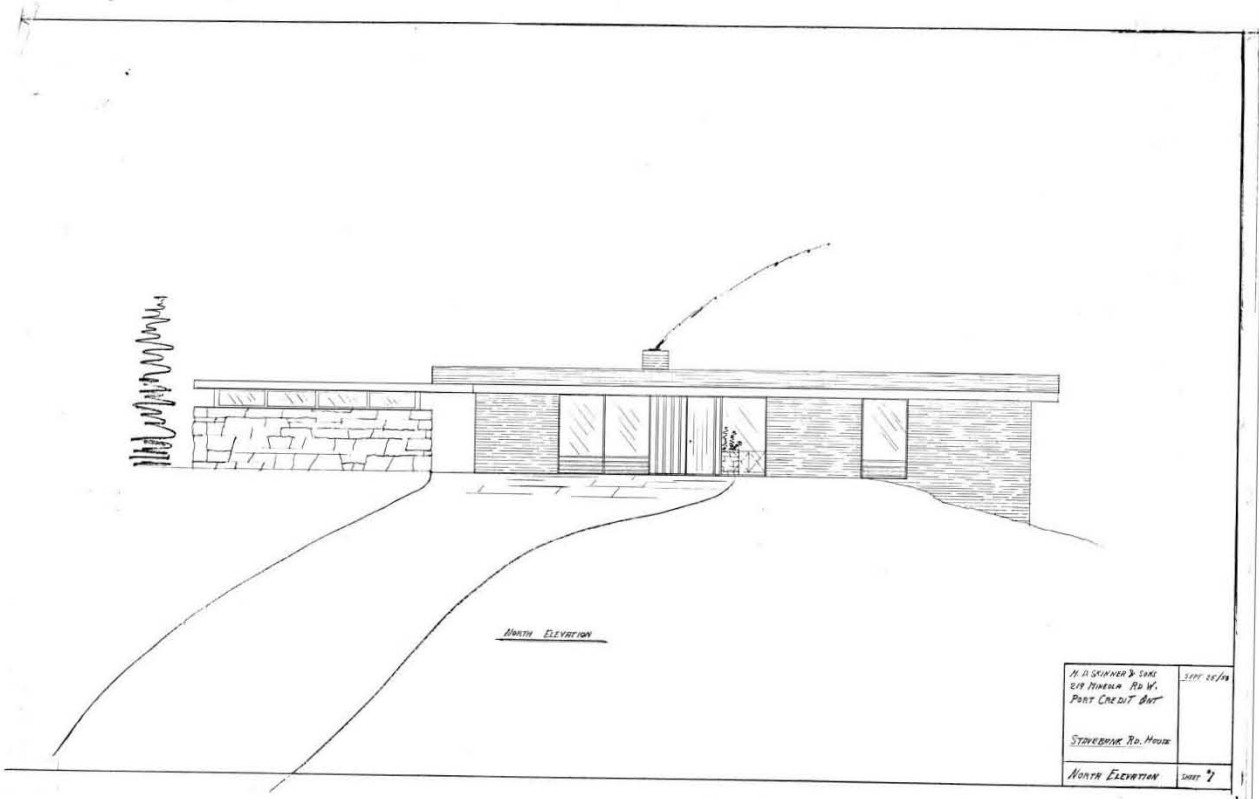
Right-Side Elevation

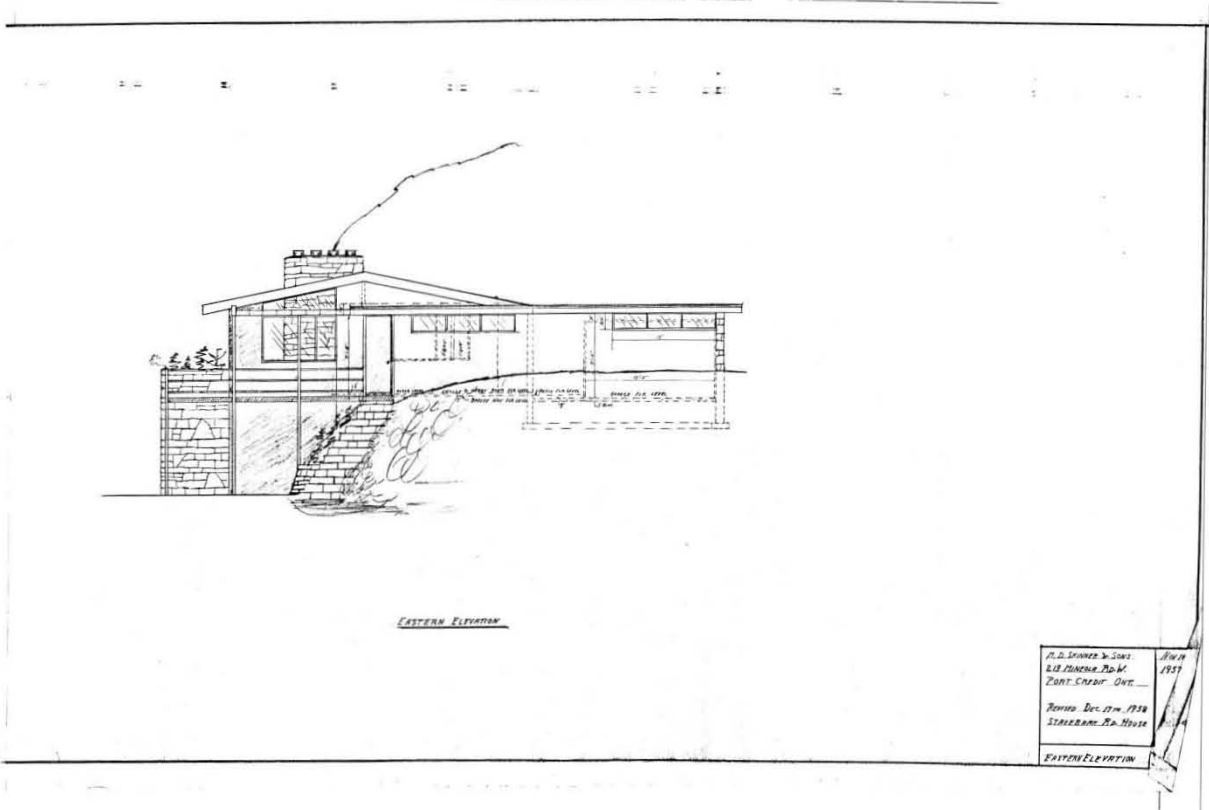
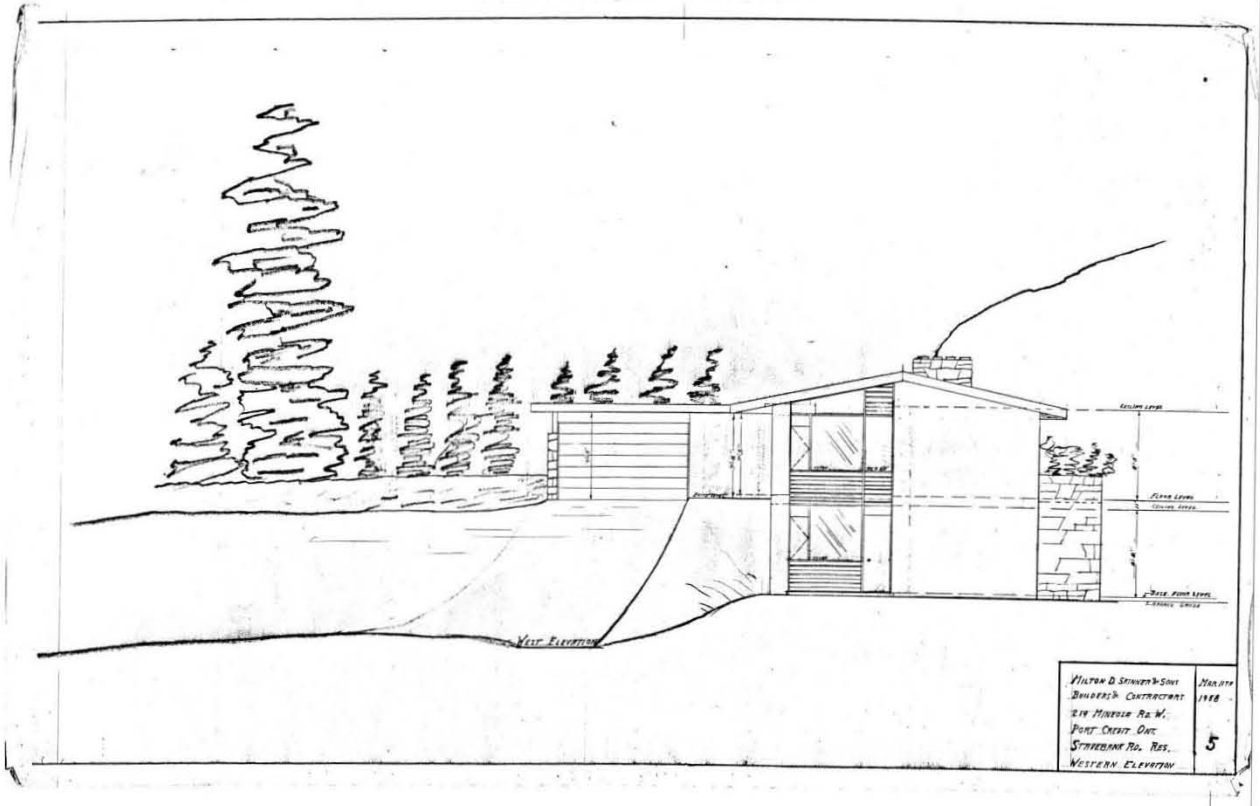


Left-Side Elevation

Original elevations drawn by Milton Skinner in 1958

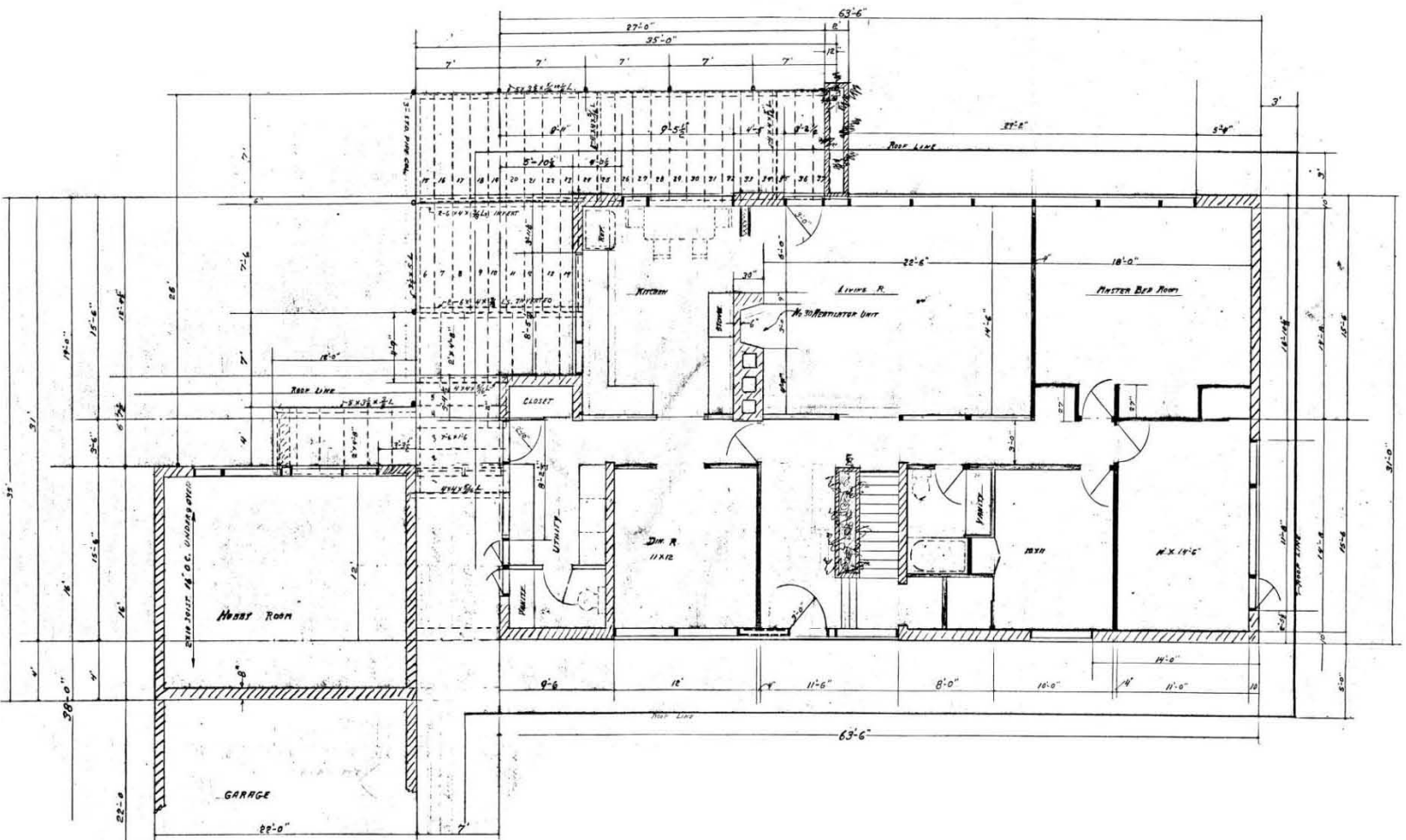
(Drawing not to scale)



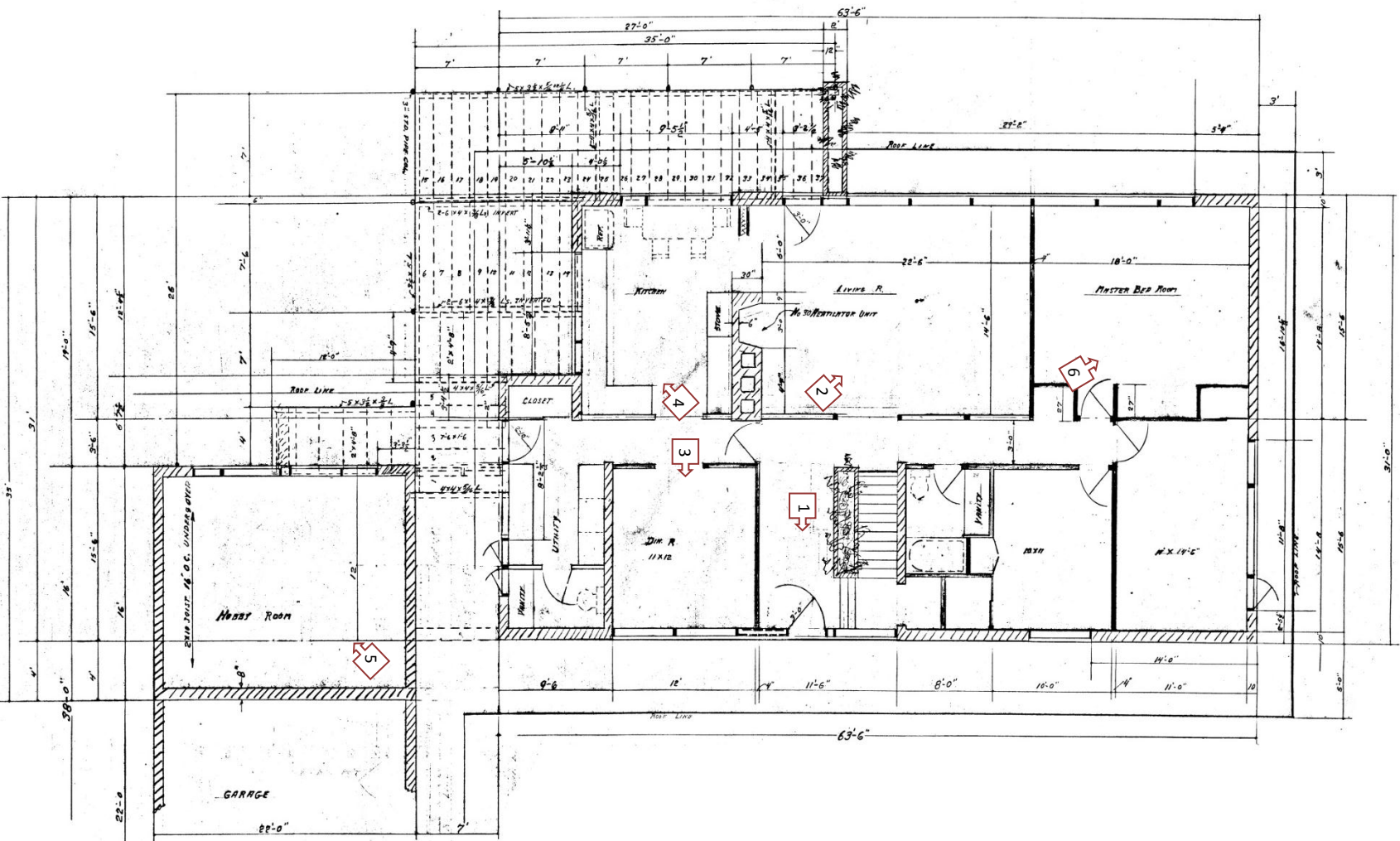


Original existing floor plan drawn by Milton Skinner in 1958

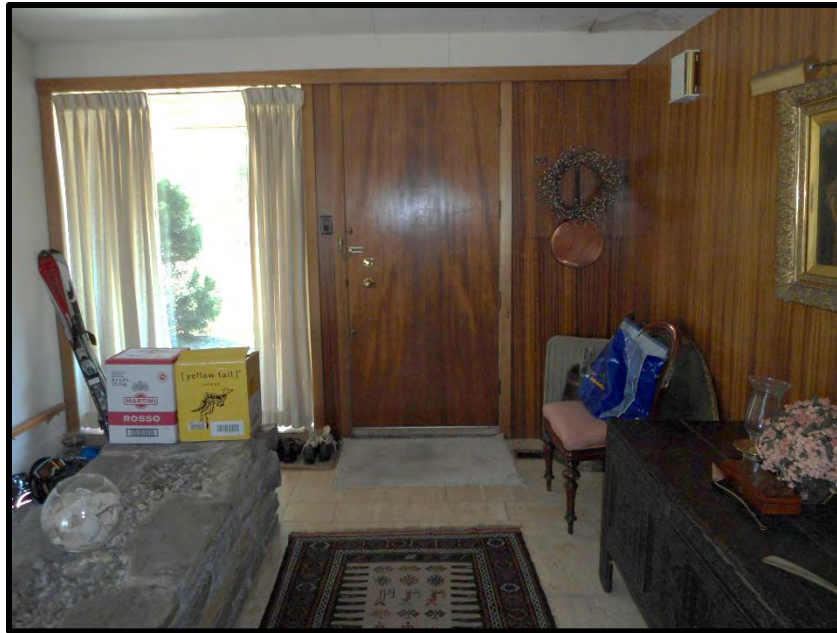
(Drawing not to scale)



Interior Photo reference Plan (not to scale)



Interior Photos



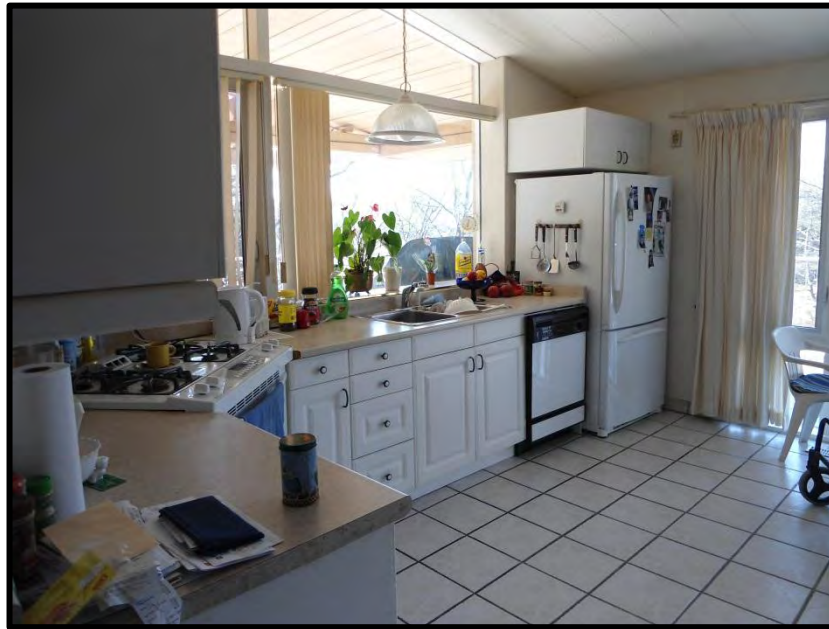
Interior Photo 1 - Entrance



Interior Photo 2 – Living Room



Interior Photo 3 – Dining Room



Interior Photo 4 – Kitchen



Interior Photo 5 – Games Room



Interior Photo 6 – Master Bedroom

House Description:

Construction Date		Circa 1958
Size		Approximately 2500 sf
Building Type		1 Storey Bungalow Dwelling
Wall Construction		Wood Frame and Concrete Block
Exterior Cladding		Stucco
Roofing Material		Asphalt Shingles
Setbacks		Front Yard – 40.15 m
		Right Side –10.02 m
		Left Side – 2.38 m
		Rear Yard – 32.87 m

Alterations to the Original House

The original home, built circa 1958, is a 1 Storey Bungalow Dwelling. We have referred to the City of Mississauga, but there are no permitting records of files to show any firm evidence that the house was built in 1958. However, confirmation was provided through conversation with Donald Skinner Jr.

<u>App Number</u>	<u>Address</u>	<u>Scope</u>	<u>Issue Date</u>
<u>App Date</u>	<u>Description</u>	<u>Type Description</u>	<u>Status</u>
DEMO 97 315	1392 STAVEBANK RD	DEMOLITION	1997-01-27
1997-01-27	DEMOLITION - SHED & CARPORT ONLY.	GARAGE/CARPORT	COMPLETED -ALL INSP SIGNED OFF

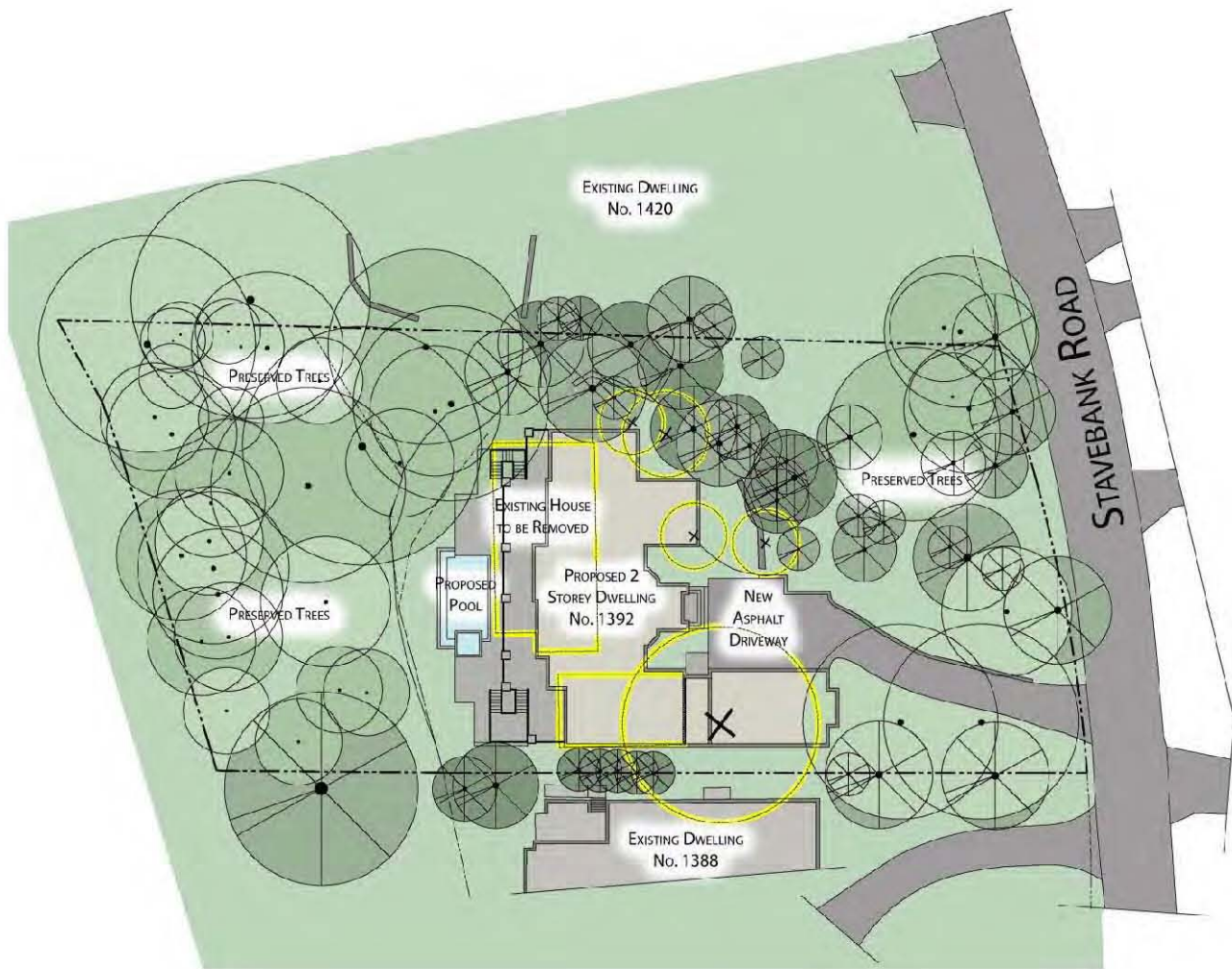
Analysis of Existing Structure

The existing home is representative of circa 1958 vernacular 1 Storey Bungalow Dwelling. The home does not display any outstanding degree of craftsmanship, technical achievement and has only moderate artistic merit.

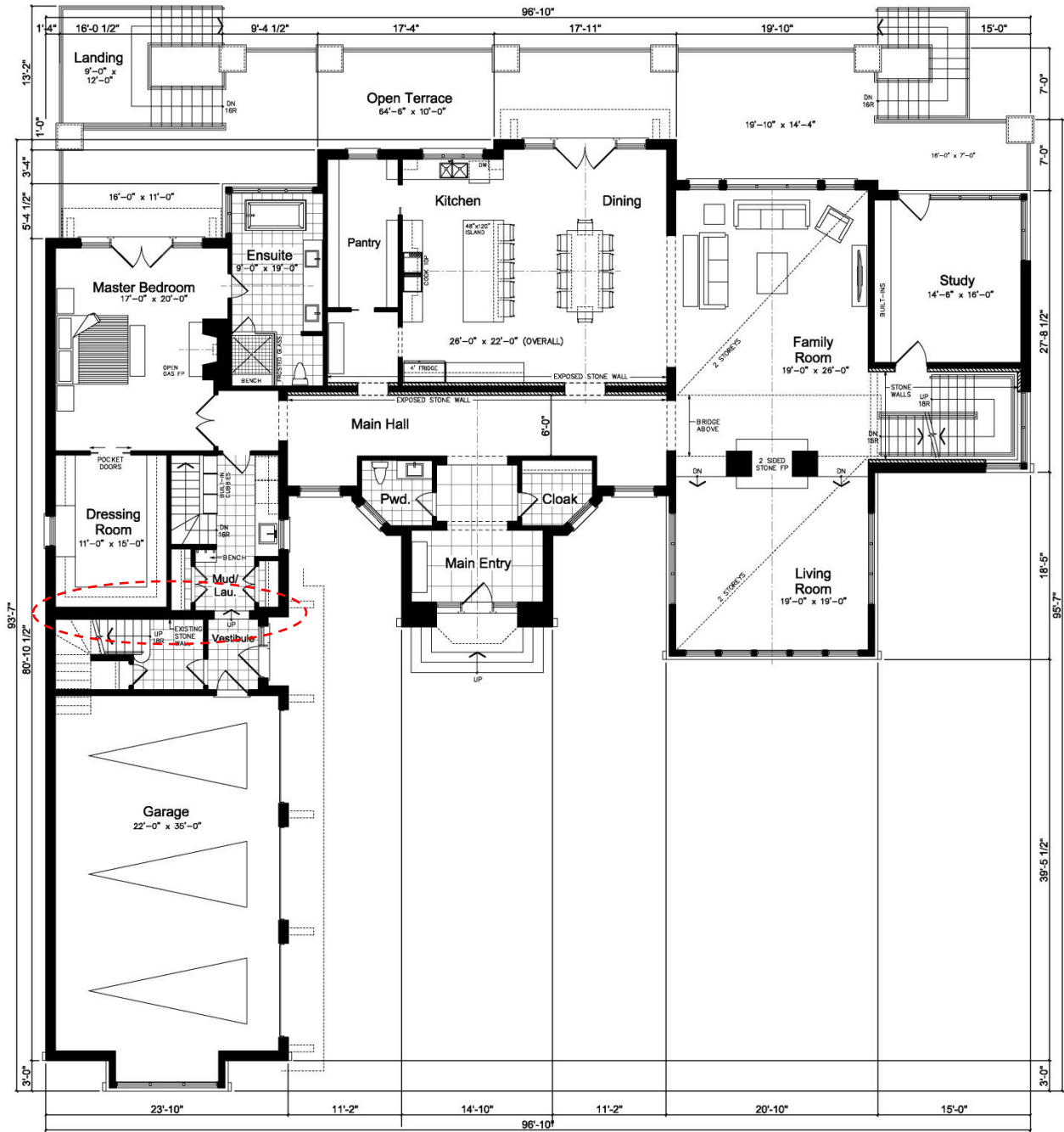
The existing home does have somewhat significance related to theme, event, belief, person, activity, organization or institution in the community. Through our research, we have discovered that Milton Skinner was the designer and builder of the subject property. He also lived at the property with his family, and in 1996, his grandson Donald Skinner Jr. purchased the family estate. The property has only modest contextual value in as far as its support of the character of the area; i.e. It's physical, functional, visual or historic link to the surroundings and is not a landmark.

Section 5 | Development Proposal

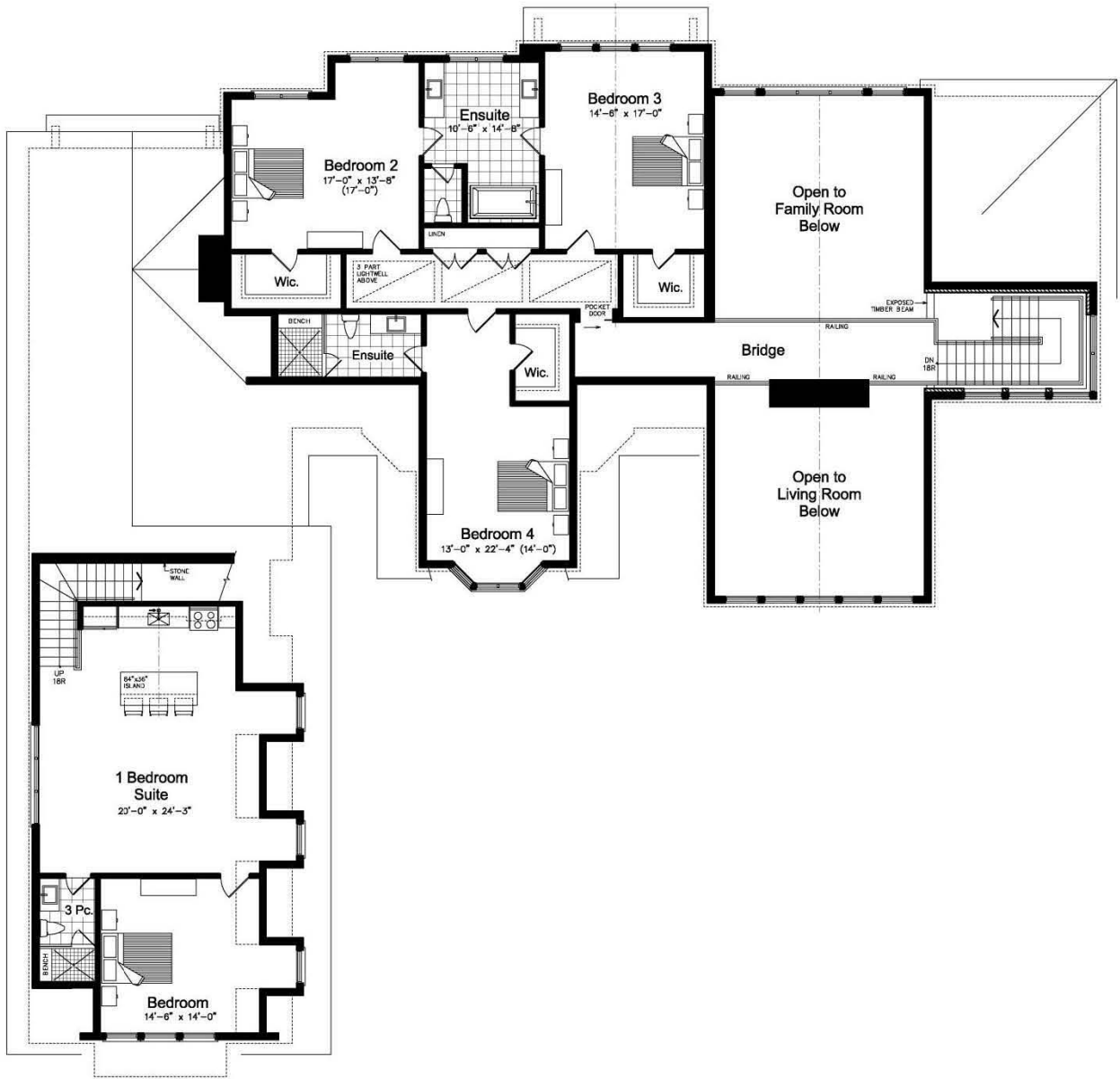
Site Development Plan



Proposed Ground Floor Plan:



Proposed Second Floor Plan



Proposed Elevations:



1388 Stavebank Road

1392 Stavebank Road
Streetscape Elevation

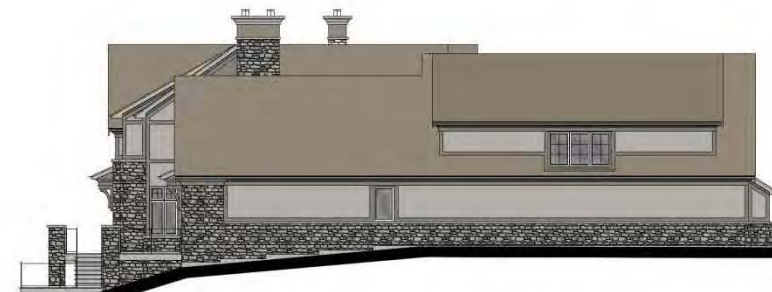
1420 Stavebank Road



Left - Side Elevation



Rear Elevation



Right - Side Elevation

Section 6 | Conclusion

The proposed home at 1392 Stavebank Road has been designed with similar massing characteristics of other homes on Stavebank Road and adjacent streets throughout the neighborhood. Although the massing of the proposed home does not represent the immediate adjacent neighbors the house has been designed in a manner in which it can successfully cohabitate with the existing dwellings.



Property adjacent to 1392 Stavebank Road

The scale of the proposed dwelling is similar to other dwellings located throughout the neighborhood. As seen on the streetscape sketch in Section 5 of this report this area is home to mature foliage throughout the property.



View of where driveway access is being maintained

The majority of existing trees have been preserved through the development with the exclusion of trees in direct conflict with the proposed house footprint. The driveway has been reconfigured internally; however it maintains the same access to Stavebank Road.



Photo 1 – View from street looking North



Photo 2 – View from street looking East



Photo 3 – View from street looking South



Photo 4 – View from street looking West

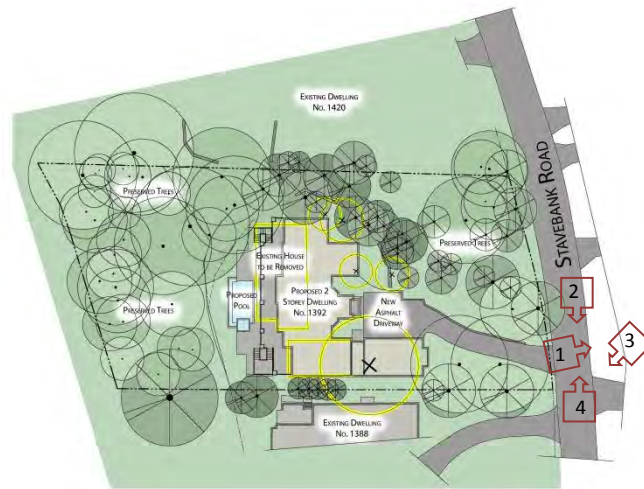


Photo Reference Plan

The proposed home respects the Mineola West Cultural Landscape’s characteristics and is consistent with all planned redevelopment efforts throughout the area.

Summary Statement and Conservation Recommendations:

The existing 1 storey bungalow dwelling located at 1392 Stavebank Road has not been designated under the Ontario Heritage Act; however, the property has been listed on the register under the Mineola West Cultural landscape. As such the significance of the existing dwelling does not merit conservation measures. The impact of the proposed development has been taken into consideration when designing both the proposed home and the natural preservation of streetscape presence. The proposed dwelling has been designed to respect the front yard setbacks and adjacent properties. The proposed dwelling has been designed in such a manner that the frontage represents a 2-storey dwelling with mixed massing and scale which helps lower the impact on adjacent properties. Taking into consideration of the history linked to this subject property, in page 32 of the floor plan dotted in red the client is keeping an exterior stonewall from the existing dwelling to add character and also to maintain a small part of history.

The proposal does not contravene the intentions of the Mineola West Cultural Landscape listing. For the aforementioned reasons we are certain that conservation or alternative development measures are not appropriate for the subject property.

Mandatory Recommendation:

As per criteria set out in Regulation 9/06 of the Ontario Heritage Act the following reasons are why the subject property is not worthy of heritage designation and does not meet such criteria stated in Regulation 9/06.

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

The property itself has been listed on the heritage register under the Mineola West Cultural Landscape; however the existing dwelling has not been designated. The existing house does not meet criteria set out in Regulation 9/06, Ontario Heritage Act.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated why it does not.*

The existing home does represent significance related to theme, event, belief, activity, organization or institution in the community. It is not known to possess any characteristics that contribute to an enhanced understanding of the community or local culture. It is known to represent the work of any architect, artist, builder, designer or theorist in the community, but it is not one of the seminal works by the architect. The property has only modest contextual value as far as its support of the character of the area. There is no link to its physical, functional, visual or historic surroundings.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?*

The property has been listed on the register and does warrant conservation as per the Mineola West Cultural landscape. The proposed development proposes conservation methods of the cultural landscape of the property as a whole. As stated above the existing dwelling does not warrant conservation as per Ontario Regulation 9/06, Ontario Heritage Act or the Provincial Policy Statement.

Section 7 | Bibliography

Dieterman, Frank A. Mississauga The first 10,000 Years. The Mississauga Heritage Foundation Inc., 2002

City of Mississauga Cultural Landscape Inventory L-RES-6 Community Services Department January 2005

City of Mississauga Services Online – eMaps [http://www6.mississauga.ca/eMaps/\(lafipz55wrpqqa55adxyff55\)/default.aspx](http://www6.mississauga.ca/eMaps/(lafipz55wrpqqa55adxyff55)/default.aspx)

Wilkinson, Matthew. Historian. Heritage Mississauga, 2013

Skinner, Donald. Architect. Previous owner of subject property.

A brief History of the Skinner family and Mineola Wests Residential infill

by Don Skinner, 2011

Kenneth Skinner's father George had immigrated to Canada, as a child, from Hull, Yorkshire, England in 1834. He and his wife Margaret Pallett (married in Canada, 1851). Ultimately George and Margaret settled near Schomberg and raised five children. Kenneth Skinner Being about the middle of the group relocated further south, to Port Credit, and married Mary South (Ollie, her nick name). Together they operated a market farm located in the heart of Mineola that evolved into summer guest cottages. Ollie and Ken had two boys Milton and Victor. As the family of 4 matured they; farmed, took in summer guests, boarded military personnel during World War 1, built a series of summer cottages along their frontage on the Credit River and by the 1930s began to subdivide home lots off the family farm. As time passed Milton and Victor developed to be passionate and skilled builders. In their careers from the early 1930s to the late 1950s they built almost 50 homes in the Kenollie area.

The final results, of this small scale development, was the subdivision and creation of the streets: Milton Avenue, Victor Avenue, Glenwood, Wendigo and Kenollie (a mix of Ken's name and Mary's nickname). With the growth of this picturesque enclave of homes the creation, a joint effort by Milton and education then Director of Education Jack Brown resulted in the construction of Kenollie Public School. This final step ensured the Mineola West residential area would become attractive for generations to raise families and benefit from the uniqueness of the once berry fields, pasture land, vegetable patches and river front cottages.

The original homestead farm house was located at 1372 Stavebank. It was moved off the current Stavebank road site, with oxen in the winter at some time in the 1890s, by Kenneth. It was then a 2 room house. It was ultimately renovated 7 times over its 125 year history. That site is now occupied by Susan and Poul Hansen's home. 1388 Stavebank was the cattle barn site for the successful market farm and is now the home of Mark and Gianni.

Milton was the more prolific of the two builder brothers, building not only houses but number apartments in the Mississauga Road area. Local to his personal retirement home, he built at 1392 Stavebank he built 1375, 1391 and 1401 Stavebank respectively. All three of these homes have been renovated a number of times however remain very similar in appearance to the original designs by Milton.

Victor built his own home and retired to 1420 Stavebank, since redeveloped in the late 1990s by the Mitchell family. The tradition of Construction and Architecture carries on with generations of the Skinner's. Milton's two boys Paul and the late

Donald E. both became architects, graduates of U of T. Paul still practicing at 70 continues to have an impact on his hometown London, Ontario. Together with his son Brad, another architectural graduate of U of T, they continue to design some of the most accomplished homes in London. Donald Sr. designed focused his practice on schools designing a remarkable 60 Ontario schools in 30 years. His son, Don Jr. entered the Masters of Architecture program at Dalhousie in the fall of 1988 when unfortunately Don Sr. succumbed to a severe asthma attack.

Don Jr. graduated with distinction from the Master's program in 1993. In 1991, still a student Don won Japan architect magazines "Another Glass House" international competition judged by American icon Architect Philip Johnson and Japanese architect Tadao Ando. His entry was selected from 600 submissions including the work of numerous international architects. This gave Don the opportunity to do a work term in Manhattan for American architect, theorist and professor Peter Eisenman. Returning to Halifax Don's final thesis, a conservation/adaptive re-use was based on a redesign of the Port Credit, St. Lawrence Starch Works. A critical success it was reviewed by guest professors from Harvard and University of Toronto. Shortly after Don was offered short term teaching contracts at both Harvard and Dalhousie. He opted to return to Port Credit and begin his personal career and married life. In 1996 Don and Jennifer had the unique opportunity to purchase Milton Skinner's retirement house at 1392 Stavebank from the family estate. A big financial leap at the time the history and beauty of the property were key motivation to make the purchase work.

In 1998 Don's design build for a client won a City of Mississauga Urban Design award. 2438 Doulton Drive has is a very pure Georgian style home built with traditional reclaimed red brick, Newfoundland Slate, gas lamps and copper details. It's sensitivity to site, use/preservation and re-use of trees on the property, material salvage and re-use and attention to authentic details began to reflect a sharpening of Don's 'architectural lens'. At that time he and Jennifer began investing in century old buildings in the Historic Downtown Heart of Ontario's Cottage Country, Bracebridge. At the moment Don and Jen reside in Bracebridge, with their two boys Indigo and Jasper focusing on the decade long urban renewal of numerous historic and storied properties. Don still designs numerous 'one of a kind' summer residences for select notable Ontarians.

Inspiration for the Designs at 1392

Among Milton’s personal best and favorite works were 1354 Glenwood Drive and 201 Mineola Road. These English ‘shingle style arts and crafts’ homes built in the Depression of the 1930’s by Milton and one helper inspire craftsmanship, aesthetic proportions and a frugal use material to create meaningful design.

Milton and Mary referred to 201 Mineola as their dream home. In her later years his widow Mary would drive by 201 with Don junior and retell him the story of ‘I knew I was in trouble when Milton finished the trim and moved the table saw out of the living room.... For only days later a ‘for sale’ sign would appear.’ These two houses are part of the inspiration of what we seeing being built at 1392 and 1400 Stavebank Road.

Best

regards,

Don

Skinner

Heritage Advisory Committee
SEP 17 2013

HERITAGE IMPACT STATEMENT ON THE PROPERTY AT
1285 MINAKI ROAD, MISSISSAUGA, ONTARIO
(PART OF LOT 5, RANGE 1, CREDIT INDIAN RESERVE, TORONTO TOWNSHIP)

by Paul Dilse, Heritage Planning Consultant

for Paul Silva and the City of Mississauga

August 13, 2013



Fig. 1 Front yard and front facade, 1285 Minaki Road

HERITAGE IMPACT STATEMENT ON THE PROPERTY AT 1285 MINAKI ROAD

Background and Purpose of Statement

In 2005, the City of Mississauga adopted recommendations from a city-wide study of cultural landscapes by The Landplan Collaborative Ltd. and its associates. All the properties in the Mineola Neighbourhood, which was identified as a cultural landscape, were subsequently added to the City's heritage register under Section 27 (1.2) of the *Ontario Heritage Act*.

In the Cultural Landscape Inventory, the Mineola Neighbourhood was described as follows:

"Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community."

The property at 1285 Minaki Road in the Mineola Neighbourhood cultural landscape is presently occupied by a brick-veneer, two-storey house with attached one-storey garage wing (Fig. 1 on the report's front cover). [REDACTED] Paul Silva and [REDACTED] Magdalena Bialas, propose to demolish the dwelling and erect a two-storey house and detached garage for themselves. [REDACTED]

[REDACTED] The architect whom Paul

Silva and Magdalena Bialas have engaged is Robert Podreciks; he can be contacted at: AXIIS Architects Inc. , 77 City Centre Drive, 5th Floor, East Tower, Mississauga, Ontario L5M 1M5; (416) 710-6779; (905) 567-9519 (fax); axiisarchitects@msn.com.

The heritage impact statement serves to:

- determine whether the existing property at 1285 Minaki Road merits designation under Part IV of the *Ontario Heritage Act*; and,
- if it does not warrant designation, offer measures for mitigating the impact of the proposed house and detached garage on the attributes of the Mineola Neighbourhood cultural landscape.

To study the property, heritage planner Paul Dilse and photographer Paul Till visited the site on July 24, 2013 and recorded it and its surroundings in photographs. On July 29, Paul Dilse conducted a land title search for the property, which is legally known as Part of Lot 5 in Range 1 of the Credit Indian Reserve. Paul Dilse also looked at the building permit ledgers for 1285 Minaki Road and nearby properties. Furthermore, he searched on-line sources for biographical information about Dr. James L. Brayley, who had the existing house built.

Location, Setting and Surroundings

The property is located on the east side of Minaki Road, a few houses south of the intersection of Minaki Road and Mineola Road West (Fig. 2 in Appendix A). According to Registered Plan 43R-33708, dated 16 Dec. 2010, the large lot is 28.96 metres (95 feet) across and 55.4 metres (182 feet) deep.

The two-storey house and one-storey garage wing are set near the middle of the lot (Fig. 3). This placement leaves a deep front lawn – mostly grass and a wide gravel driveway to one side (Fig. 1). The treeless front lawn – open to the road – is atypical on the street. On the other hand, the side yards and eastern lot line are characterized by a density of mature deciduous trees (Fig. 1 and 4-7). Like the front yard, the backyard is an open space without trees. It contains a hexagonal in-ground swimming pool, patio and lawn.

There is a variety of single-detached houses in the vicinity of 1285 Minaki Road (Fig. 8-14). Although different in architectural appearance, the common element among them all is a deep treed front yard. Their woodland settings bring harmony to the diverse collection of architectural styles and materials.

1291 Minaki Road, which is immediately north of No. 1285, is a large, stone-clad house built about 2005-06. It references French chateaux of the Loire valley and, in its early twenty-first century interpretation, includes many segmental arches – a popular form of fenestration in the last decade.

1275 Minaki Road, which is immediately south of No. 1285, is an early house for the neighbourhood. Its additions in 1987 and 1995 create a rambling, organic profile that suits the rustic setting.

1284 Minaki Road, opposite No. 1285 on the west side of the street, is comparable in style to No. 1285. It has red brick cladding.

By far the most successfully integrated house in the vicinity of No. 1285 is 1290 Minaki Road. Its French Colonial style rests comfortably in a landscape of lawn, herbaceous plants and trees. The gate and arbour add to the picturesque country setting. An early house in the neighbourhood, it is a candidate for designation under Part IV of the *Ontario Heritage Act*.

1300 Minaki Road, also on the west side of the street, picks up inspiration from adjacent 1290 Minaki Road. Built in 1993-94, its stone cladding, French windows and slate roof extend the French country feeling from 1290 Minaki Road.

History

Mineola Neighbourhood in the Port Credit area of Mississauga has historical associations with the Native people of the eighteenth and nineteenth centuries although the neighbourhood's residential development begins after the Second World War.

In the early 1700s, the Mississauga people settled at the mouth of the Credit River to take advantage of the spawning runs of salmon, trout and other fish each spring and fall and to travel upstream to hunt and trap game, harvest wild plants, and trade with Europeans in the fur trade.

After the 1790s, the Mississauga began to cede their lands to the British Crown. They kept a reserve one mile to either side of the Credit River and inland six miles from the river's mouth in the 1805 treaty. In the 1820 surrender, they lost all but 200 acres. In 1826, more than 200 Mississauga moved their settlement of bark huts and tents from the Credit River flats upriver to a small agricultural village set aside near where the Queen Elizabeth Way now crosses the Credit (the site of the Mississauga Golf and

Country Club). Denied security of tenure at the village and dispossessed of their hunting grounds and fishing rights, the Mississauga in 1847 moved to the southeastern corner of the Tuscarora reserve near present-day Hagersville on invitation from the Six Nations Iroquois of the Grand River (the Haudenosaunee).

The Crown separated the reserve lands along the Credit River from the regular lot and concession patterns of Toronto Township (Fig. 15). In 1843 when the Surveyor General's Office drew the Mississagua Indian Reserve (or Credit Indian Reserve), the reserve's northern tracts had been granted away to European settlers, leaving about 3,500 acres in the south for division into farm lots.

In the 1850s, Robert Cotton and his brother, James, acquired many of the oddly configured lots in the Credit Indian Reserve east of the Credit River (Fig. 16). James Cotton in 1854 was issued the Crown patent for Lot 5 in Range 1 of the Credit Indian Reserve – the legal description that still runs with the property at 1285 Minaki Road. In addition to their farms in Toronto Township, the Cottons ran stores, the post office, the Port Credit Harbour Company, a wharf and storehouse, and customs collection in the nearby village of Port Credit.

James Cotton's lands were entrusted to the Bank of Upper Canada; and in 1867 the bank sold 215 acres, which included Lot 5 and other lots, to James William Cotton, Robert's son (Fig. 17).

In 1905, trustees of the estate of James W. Cotton transferred the 215 acres to James W.'s son, Cyril Ernest Cotton, when he turned 21. At the time, Cyril Ernest Cotton was working as a clerk in Toronto. Five years later, Cyril Ernest Cotton hired land surveyors, Speight & Van Nostrand, to draw a plan of subdivision over parts of Lots 5 and 6. Seventeen lots in Plan C-10 were created along Stave Bank Road (Stavebank Road), from the road allowance between Ranges 1 and 2 (Mineola Road West) in the north to the Grand Trunk Railway in the south. A 66-foot road allowance was reserved on the east edge of the subdivision, which became Minaki Road. The land on which 1285 Minaki Road is situated was just outside the plan of subdivision.

In 1936, Cyril Ernest Cotton sold parts of Lots 4 and 5 to Shareholders Securities Limited based in Port Credit.

In 1964, Shareholders Securities Limited sold part of Lot 5 to James L. Brayley, a Toronto Township physician. Shareholders Securities Limited had three conditions attached to the sale, namely, that:

1. The dwelling erected by Dr. Brayley on the lot be for his own family.
2. The dwelling be set back 35 feet from the Minaki Road allowance.
3. Dr. Brayley not sell the property unless he had first erected a private dwelling or that he offer to sell the undeveloped lands back to Shareholders Securities Limited for \$13,000.

At the end of 1964, a building permit for a single-family dwelling on Dr. Brayley's property was issued. A plumbing permit was issued in May of 1965.

In 1970, a permit for a swimming pool was issued. The same year, Dr. Brayley took a month's leave of absence from his practise at Mississauga Hospital, where he had headed the department of obstetrics and gynecology since 1958, to treat patients and teach at Zoishgah Maternity Hospital in Kabul, Afghanistan. His photograph appeared in the Canadian Medical Association Journal (Fig. 18).

Margaret Louise Brayley, James' wife, sold the property to Lisa George and Angelo Pugliese in 2010. They sold to Paul David Silva and Magdalena Bialas in 2013.

As-found Appearance of House

Figures 19 to 26 record the as-found appearance of the house's exterior, and Figures 27 to 60 illustrate the interior.

The large, two-storey house with garage wing is a mid-twentieth century interpretation of Neoclassical houses built in Ontario during the early and mid-nineteenth century. It is not a replica of Georgian-era and early Victorian houses but a free adaptation of the style to suit mid-twentieth century tastes and functions.

The symmetrical front facade is centred on the front entrance, which references a commonly found Neoclassical entrance consisting of a six-panelled door, sidelights and fanlight. It does not have the delicacy true Neoclassical entrances exhibit. Four of the windows in the front facade are double the size of windows in Neoclassical houses. The metal shutters are decorative – much too narrow to cover the windows as was needed in the nineteenth century. The light grey brick cladding, popular in the mid-twentieth century, was not available in the nineteenth century.

The wide one-storey garage wing clad in matching light grey brick and containing a secondary entrance, hall, ground-floor bathroom and double-car garage is an architectural feature that firmly plants the dwelling in the mid-twentieth century.

The rear elevation is simpler than the front facade and therefore appears more contemporary with the time when the house was built.

Although the exterior design is not coherent, the interior plan is well laid out and the interior features well-detailed. The generous front hall is appointed with an oak floor, double-leaf glazed doors to adjoining rooms and a half-spiral staircase. The Georgian oak staircase is finely executed, and the glazed doors have leaded and bevelled glass panels and faceted glass door knobs.

The north front room, entered through glazed doors, is the house's principal room. Its large window with one sash that tilts outward lights the room. A wood fireplace mantle carries a raised motif of urns in the Neoclassical style. The marble surrounds and floor accent the wood mantle.

Glazed doors also open to the south front room. It has an oak floor, and its large window lets in a lot of natural light.

A discreet folding door separates the front hall and the front part of the house from the back. The back part of the ground-floor plan is less formal than the front rooms where guests would be received. The back part contains a large kitchen, a family dining room beside the kitchen and a large lounge in the north. A solarium, added at a later date, extends from the lounge with its built-in fireplace. The dining room has a feature common to the mid-twentieth century – a serving window placed in the wood-veneer partition between the kitchen and dining room. A Dutch door opens to the hall in the garage wing. Here is where the ground-floor bathroom, storage closets, secondary entrance and double-car garage are contained.

The basement floor is reached by way of a floating staircase – an up-to-date feature for the mid-twentieth century. It leads to the recreation room, a functional space that families desired in the mid-twentieth century. The grey brick fireplace and the linoleum floor decorated with a pinwheel motif are perfect complements to the floating staircase. The remainder of the expansive basement is devoted to unfinished rooms for laundry and storage.

The upper floor accommodates five bedrooms accessed by way of a "U"-shaped hall. There is an upstairs bathroom for four of the bedrooms, and an en suite bathroom for the master bedroom.

Cultural Heritage Value of Property

The large, two-storey house on its large lot was what the head of obstetrics and gynecology at a hospital in Ontario could afford in the mid-twentieth century. The dwelling built for Dr. James L. Brayley and his wife, Margaret, in 1965 demonstrates their status in society, their particular tastes and mid-twentieth century notions about family living.

The architectural style the Brayleys chose is neither a replica of traditional styles, such as is shown in the work of architect B. Napier Simpson, Jr. from the same time period, nor cutting-edge Modern design. Although the exterior design is not coherent, the interior plan is well laid out and the interior features well-detailed. The interior offers a glimpse into the lifestyle of an upper middle-class family at the mid-twentieth century in Ontario. The oak floors, glazed doors and fireplace in the north front room are worthy of salvage.

The house is not a rare, unique, representative or early example of a style. The craftsmanship shown in its interior features is good but not outstanding. Its historical association to Dr. Brayley is not of great significance in the history of Mississauga. The house does not especially suit the woodland settings along Minaki Road. For these reasons, the property does not meet provincial criteria for determining cultural heritage value or interest and does not merit designation under Part IV of the *Ontario Heritage Act*.

Impact of the Proposed House on the Attributes of the Mineola Neighbourhood Cultural Landscape and Mitigation Measures

The Mineola Neighbourhood was identified as a cultural landscape for the following attributes:

- its scenic and visual quality;
- its natural environment;
- its landscape type;
- its illustration of an important pattern of development;
- the aesthetic or visual quality of its buildings in their environment;
- the consistent scale of built features; and,
- its significant ecological interest.

When existing houses are deemed to lack cultural heritage value meriting designation under the *Ontario Heritage Act* and their demolition is permitted, new houses erected in their place should reflect qualities that make them fit into the existing cultural landscape

and enhance its attributes.

A site meeting among the client, architect and heritage planner was held to convey the objectives for new design in the Mineola Neighbourhood, and several telephone conversations occurred during the heritage impact statement process to discuss iterations of the proposed design. Ten drawings illustrate the proposal as it evolved through the process (Fig. 61 to 70), and include a proposed site plan, floor plans and building elevations for the dwelling, floor plans and elevations for the detached garage and streetscape elevations showing the proposed dwelling between the existing houses at 1291 Minaki Road and 1275 Minaki Road.

The following comments are made to assess the impact of the proposal on the cultural landscape:

1. Because of the proposed dwelling's large size, the front facade projects somewhat from the front facade of the adjacent house at 1291 Minaki Road. However, a deep front yard setback is still maintained. This continues the pattern of development established by Shareholders Securities Limited when the company sold the lot to Dr. James L. Brayley in 1964.
2. Permission for a culvert extension was granted to property owners Lisa George and Angelo Pugliese in 2011 (Permit # 7140). To mitigate the impact of the circular driveway on the front yard's open space, the proposal calls for the single-lane driveway to be partially sunken below grade. In this way, the driveway's surface, which will be formed from pavers, will not be visible from the road.
3. An opportunity exists to enhance the woodland setting of houses in the vicinity of 1285 Minaki Road. New plantings of indigenous tree species are shown in front of the circular driveway. Large-canopied oak trees of significant caliper and Eastern white pine would contribute to the area's woodland settings and would help screen the circular driveway.
4. The double-car garage is detached and set behind the house following the traditional placement found in old neighbourhoods. The impact of the garage's construction and the impact of the driveway's layout on the drip lines of nearby trees may be determined by a certified arborist.
5. The mass of the front facade is relieved by articulation in the bays and by front gables that help break up the roof plane. Natural wall cladding materials, primarily different cuts of Wiarton limestone, are arranged in bands to soften the

impression of the front facade's expanse. At the base, there is split-face limestone. On the ground floor, there is sandblasted limestone (which is pitted). On the upper floor, the limestone band is smooth sanded. The progression of limestone bands, from the heaviest in appearance at the bottom to the lightest at the top, tempers the front facade's perceived scale of massiveness. The band of stucco would be appropriate if it is executed as plaster and not External Insulation and Finish System (EIFS) – a late-twentieth century acrylic substitute for plaster. Its cheap flat appearance makes it an inappropriate choice for the Mineola Neighbourhood.

Conclusions and Recommendations

While the existing dwelling at 1285 Minaki Road is not a significant built heritage resource under the meaning of the Provincial Policy Statement, a number of its interior features are fine and worthy of salvage.

Efforts have been made to make the proposed new house and detached garage fit into the Mineola Neighbourhood cultural landscape.

Through study of the surroundings of 1285 Minaki Road, it is apparent that the property at 1290 Minaki Road merits consideration for designation under Part IV of the *Ontario Heritage Act*.

It is recommended that the City:

- approve the demolition of the existing house at 1285 Minaki Road;
- request the property owners to remove carefully from the existing house its oak floors, glazed doors and fireplace in the north front room and offer them to Habitat for Humanity or a commercial dealer for reuse;
- consider the comments made above in the assessment of the proposal as the site plan control review proceeds; and,
- evaluate the property at 1290 Minaki Road on its merits for designation under Part IV of the *Ontario Heritage Act*.

Appendix A: Illustrations

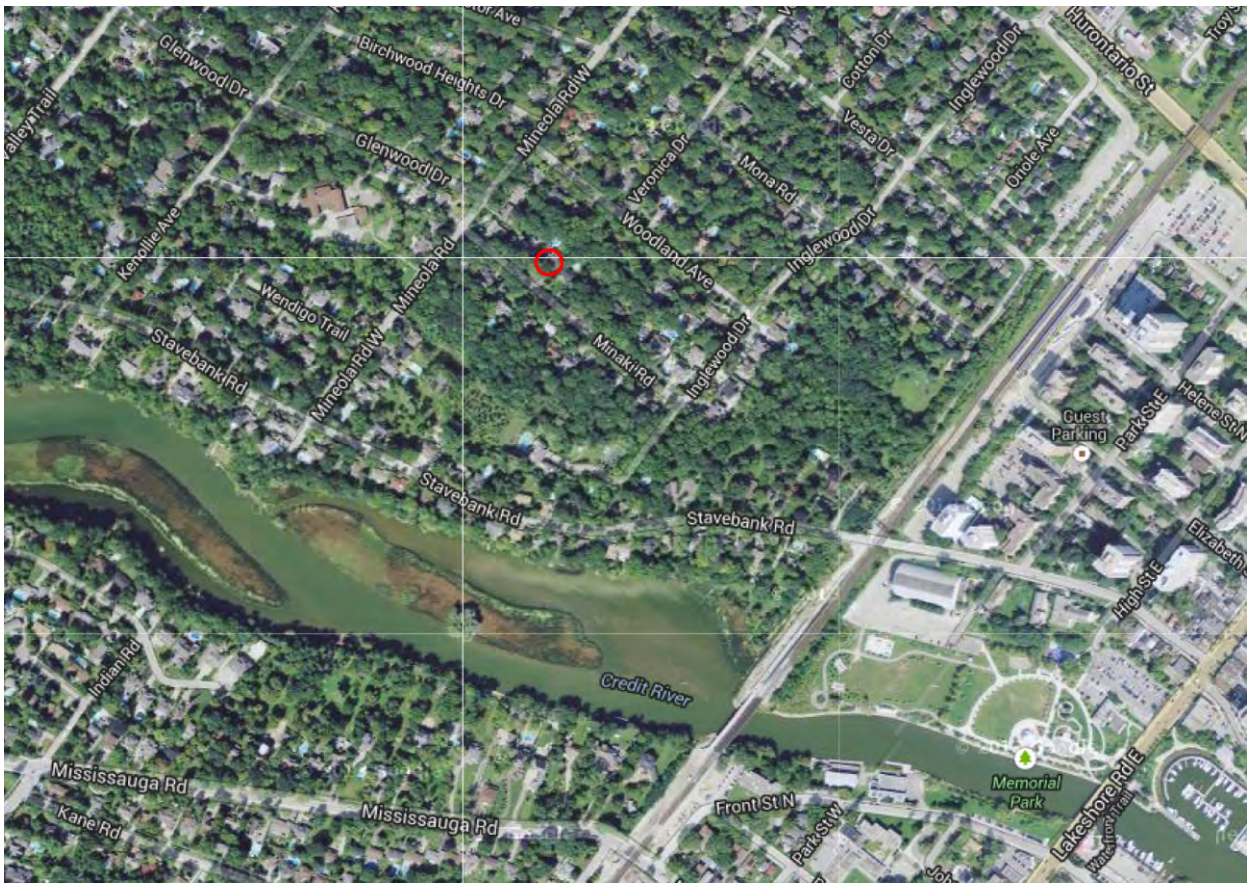
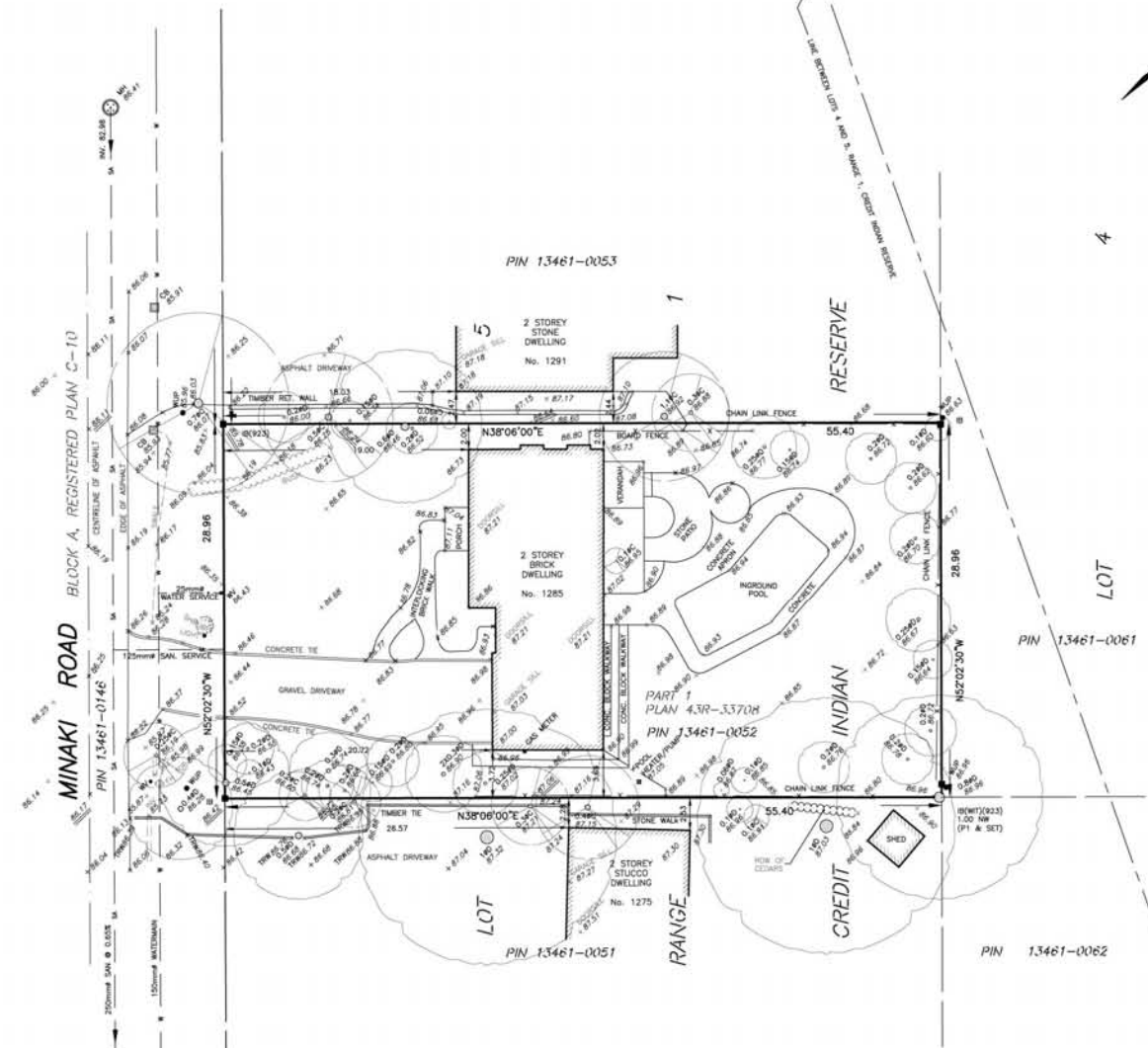


Fig. 2 Google aerial photograph, 2013, with a red dot added to mark the location of 1285 Minaki Road. Note the pronounced tree cover in the vicinity of 1285 Minaki Road.

Fig. 3 Topographical plan of survey, 15 Jul. 2013

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048



PLAN OF TOPOGRAPHY OF
PART OF LOT 5, RANGE 1
CREDIT INDIAN RESERVE
 (FORMERLY TOWNSHIP OF TORONTO)
CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250

TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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UNDERGROUND SERVICES
 THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE
 ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 307, HAVING A PUBLISHED ELEVATION OF 86.881 metres.

BEARING NOTE
 BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF MINAKI ROAD AS SHOWN ON PLAN 43R-33708, HAVING A BEARING OF N52°02'30"W.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - SB DENOTES STANDARD IRON BAR
 - SSB DENOTES SHORT STANDARD IRON BAR
 - MH DENOTES MANHOLE
 - CB DENOTES CATCH BASIN
 - FH DENOTES FIRE HYDRANT
 - WUP DENOTES WOOD UTILITY POLE
 - WV DENOTES WATER VALVE
 - P1 DENOTES PLAN 43R-33708

- 0.20mD DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
 - 0.20mC DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
- TREE CANOPIES ARE DRAWN TO SCALE.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT :
 1. THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON JULY 4, 2013.

JULY 15, 2013
 DATE _____
 SIMEON MITREV
 ONTARIO LAND SURVEYOR

Average grade calculations

	EXIST. GRADE LEFT SIDE	EXIST. GRADE RIGHT SIDE
1 CENTRE LINE OF ROAD	86.11	86.17
2 FRONT CORNER	85.78	86.42
3 MIN. FRONT SETBACK	86.24	86.72
4 15 m BACK	86.64	87.06
SUM OF GRADE ELEVATIONS=		691.14
AVERAGE GRADE [metres] =		86.39

TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
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 E-MAIL: office@tmksurveyors.com

DRAWN BY: A/W / A.M. FILE No. 5731-13-T



Fig. 4 Front yard, showing gravel driveway



Fig. 5 South side yard



Fig. 6 Backyard as seen from the northeast corner of the lot



Fig. 7 Backyard as seen from the southeast corner of the house



Fig. 8 1291 Minaki Road, immediately north of No. 1285



Fig. 9 1275 Minaki Road, immediately south of No. 1285



Fig. 10 1284 Minaki Road, opposite No. 1285 on the west side of the street



Fig. 11 1290 Minaki Road, on the west side of the street



Fig. 12 Another view of 1290 Minaki Road, showing the front yard landscaping

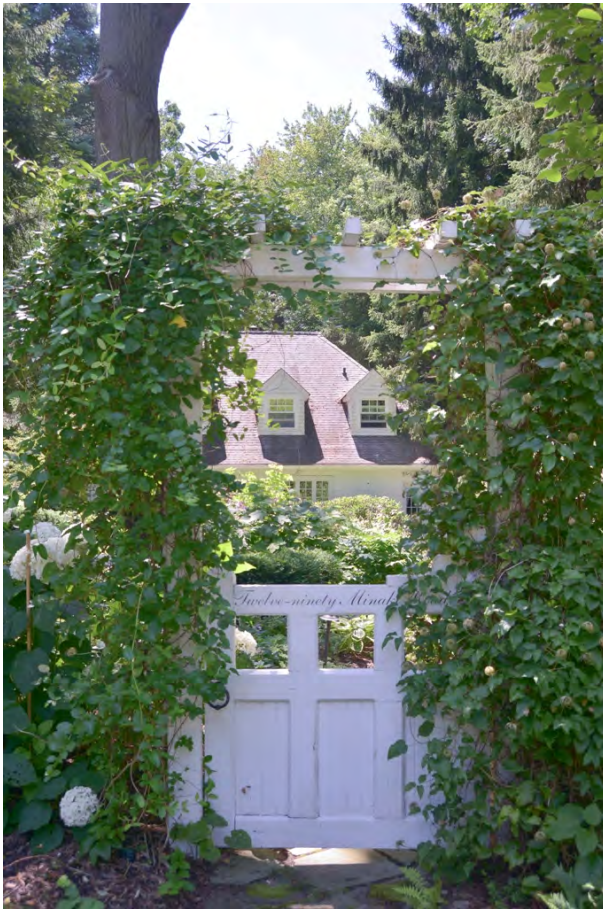


Fig. 13 Gate and arbour at 1290 Minaki Road



Fig. 14 1300 Minaki Road, on the west side of the street

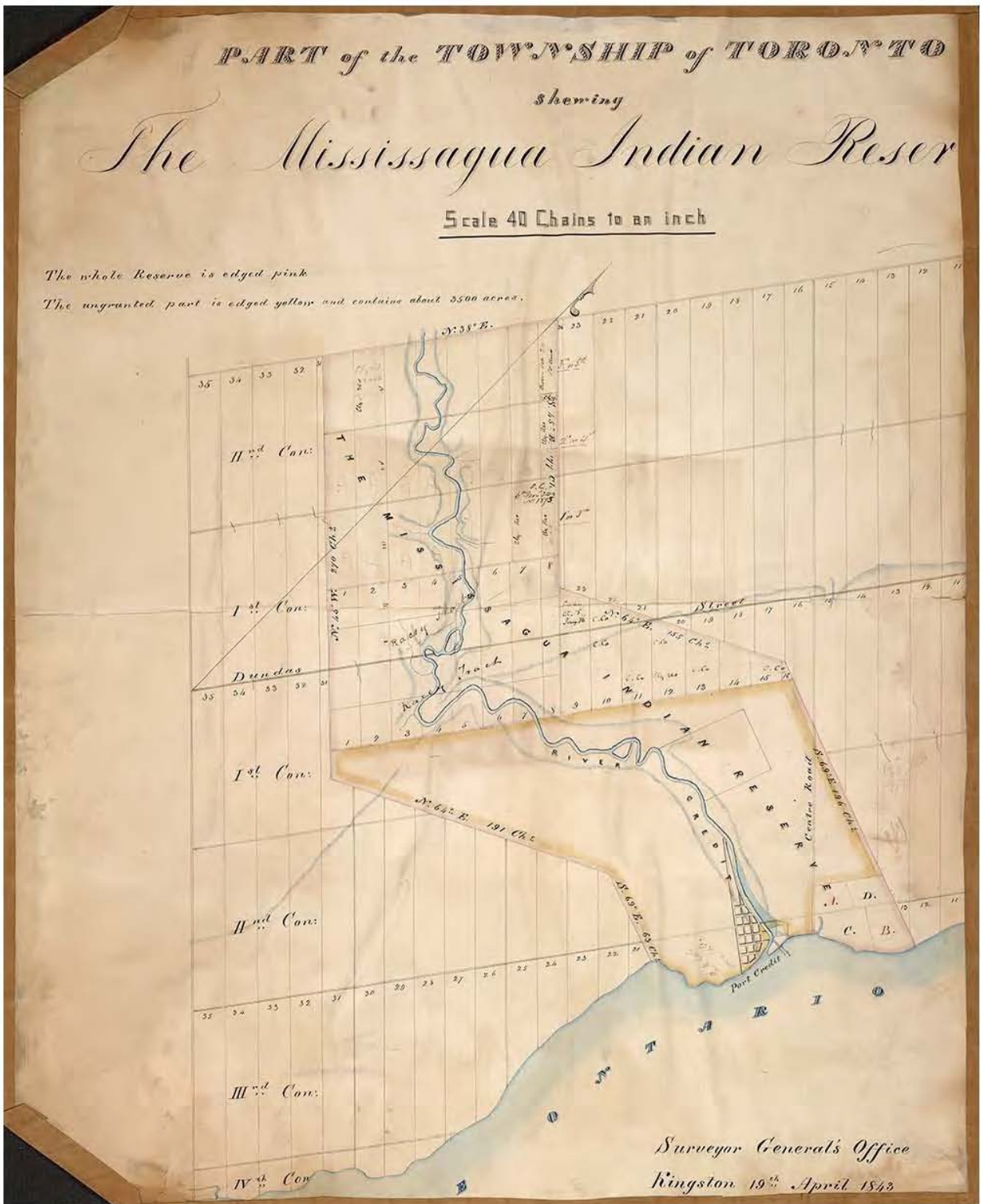


Fig. 15 Surveyor General's Office, "Part of the Township of Toronto shewing The Mississauga Indian Reserve," 19 Apr. 1843, Archives of Ontario, C 277-1-409-2, Folder N-1073. Note the Centre Road is called Hurontario Street today.



Fig. 16 Detail from George R. Tremain, "Tremain's Map of the County of Peel, Canada West" (Toronto: G.R. & G.M. Tremain, 1859).

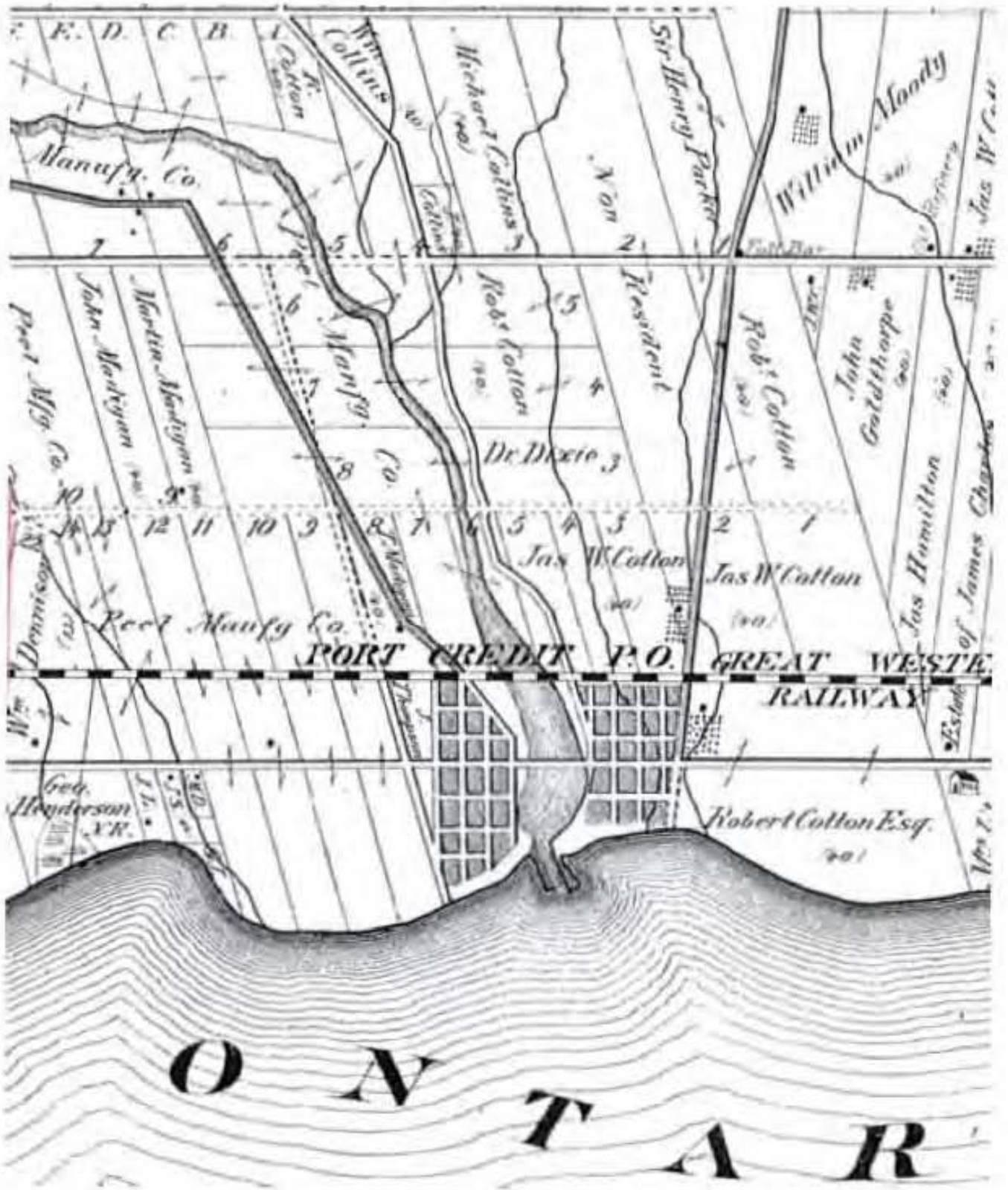


Fig. 17 Detail from J.H. Pope, "Southern Half Toronto Township," *Illustrated Historical Atlas of the County of Peel, Ont.* (Toronto: Walker & Miles, 1877), p. 24.



Dr. James L. Brayley

Fig. 18 Photograph of Dr. James L. Brayley in "Ontario Obstetrician to Act as Visiting Specialist For MEDICO in Afghanistan," *C.M.A. Journal* V. 103 (21 Nov. 1970), p. 1203.



Fig. 19 Front facade (west elevation) of house and garage wing

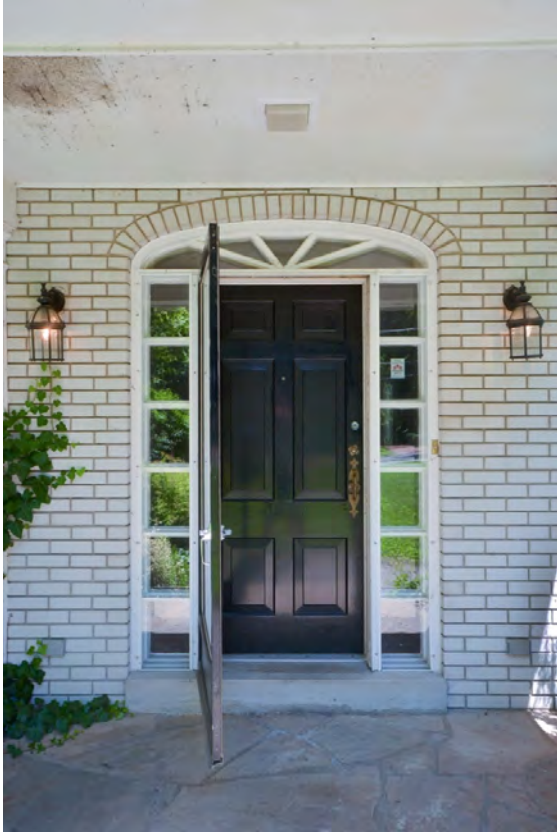


Fig. 20 Front entrance



Fig. 21 Ground-floor window in front facade



Fig. 22 Upper-floor window in front facade



Fig. 23 Corner view, showing front facade, south gable end and garage wing



Fig. 24 Corner view, showing front facade and south gable end



Fig. 25 South elevation of garage wing



Fig. 26 Rear (east) elevation



Fig. 27 Front hall



Fig. 28 Inside front entrance (note glazed doors to north front room open)



Fig. 29 Staircase



Fig. 30 Staircase newel post and balustrade



Fig. 31 Glazed doors to north front room



Fig. 32 Detail of glazed door in Fig. 31 (note leaded and bevelled glass and faceted glass door knob)



Fig. 33 North front room



Fig. 34 Fireplace in north front room



Fig. 35 Glazed doors to south front room



Fig. 36 South front room



Fig. 37 Folding door to back of ground-floor plan



Fig. 38 Dining room in back



Fig. 39 Wood veneer wall with sliding serving window in dining room



Fig. 40 Serving window in Fig. 39, partially open



Fig. 41 Kitchen beside dining room



Fig. 42 Dutch door in kitchen



Fig. 43 North back room with solarium addition



Fig. 44 Ground-floor bathroom in garage wing



Fig. 45 Garage wing entrance



Fig. 46 Back hall in garage wing



Fig. 47 Recreation room in basement



Fig. 48 Floating staircase in basement



Fig. 49 Unfinished room in basement



Fig. 50 Laundry room in basement



Fig. 51 Storage room in basement



Fig. 52 Upstairs hall as seen on staircase



Fig. 53 Upstairs hall, looking west



Fig. 54 North front bedroom



Fig. 55 South front bedroom



Fig. 56 Middle bedroom



Fig. 57 South back bedroom



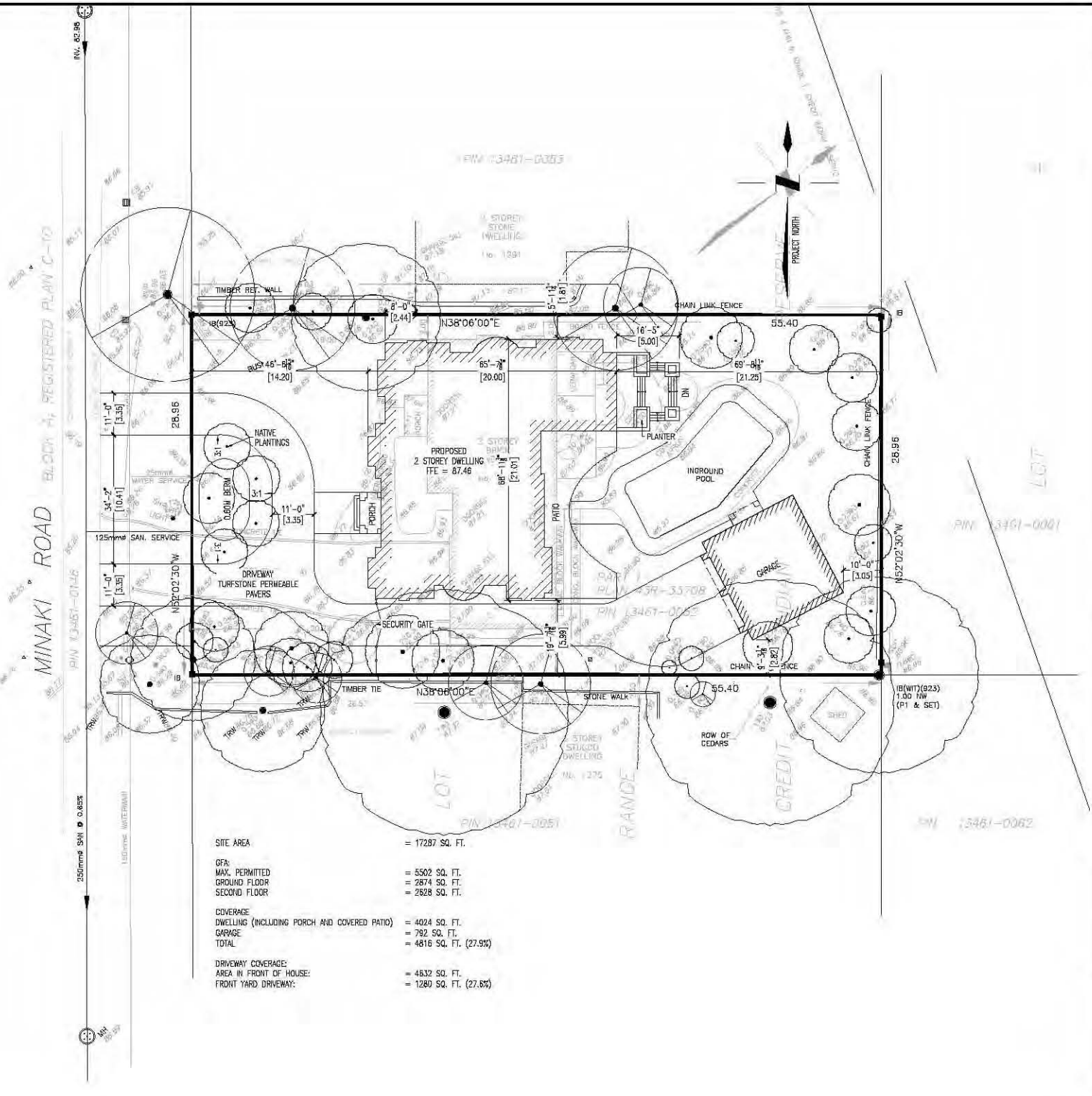
Fig. 58 Upstairs bathroom



Fig. 59 Master bedroom in back



Fig. 60 En suite bathroom for master bedroom



SITE AREA	= 17287 SQ. FT.
GFA	= 5502 SQ. FT.
MAX. PERMITTED GROUND FLOOR	= 2874 SQ. FT.
SECOND FLOOR	= 2628 SQ. FT.
COVERAGE DWELLING (INCLUDING PORCH AND COVERED PATIO)	= 4024 SQ. FT.
GARAGE	= 792 SQ. FT.
TOTAL	= 4816 SQ. FT. (27.9%)
DRIVEWAY COVERAGE: AREA IN FRONT OF HOUSE:	= 4832 SQ. FT.
FRONT YARD DRIVEWAY:	= 1280 SQ. FT. (27.6%)

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Rev. No.	Comments	Date
1	CLIENT REVIEW	2013.07.12
2	CLIENT REVIEW	2013.07.19
3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-

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AXIIS ARCHITECTS INC.



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 Mississauga, Ontario
 L5M 1M5
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Project
SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

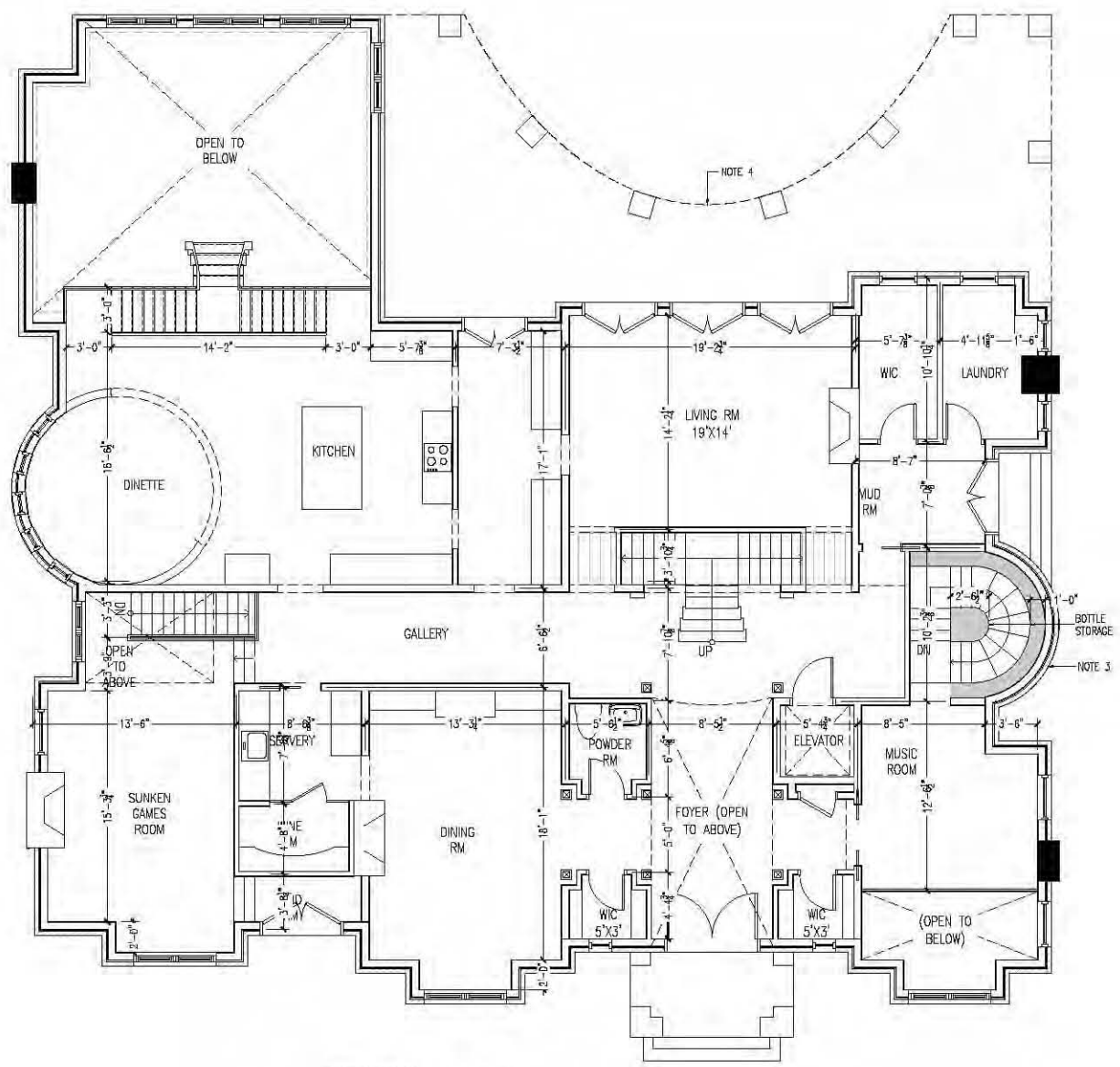
Drawing
SITE PLAN OPTION A

Drawn By:	MG	Reviewed By:	RP
Project No.	#####	Scale	A0.0
Scale	AS NOTED		
Date	JULY 2013		

Fig. 61 Proposed site plan

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2	CLIENT REVIEW	2013.07.19
3	CLIENT REVIEW	2013.08.02
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-	-	-
-	-	-



GROSS FLOOR AREA
 GROUND FLOOR = 2874 SQ. FT.
 SECOND FLOOR = 2628 SQ. FT.
 TOTAL = 5502 SQ. FT.
 MAX = 5502 SQ. FT.

1
 A1.0 GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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ONTARIO ASSOCIATION OF ARCHITECTS
 OF ARCHITECTS
 ROBERT E. PODRECK'S LICENCE #4452

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 L5M 1M5
 Tel. (416) 710-6779

Project
 SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
 GROUND FLOOR PLAN

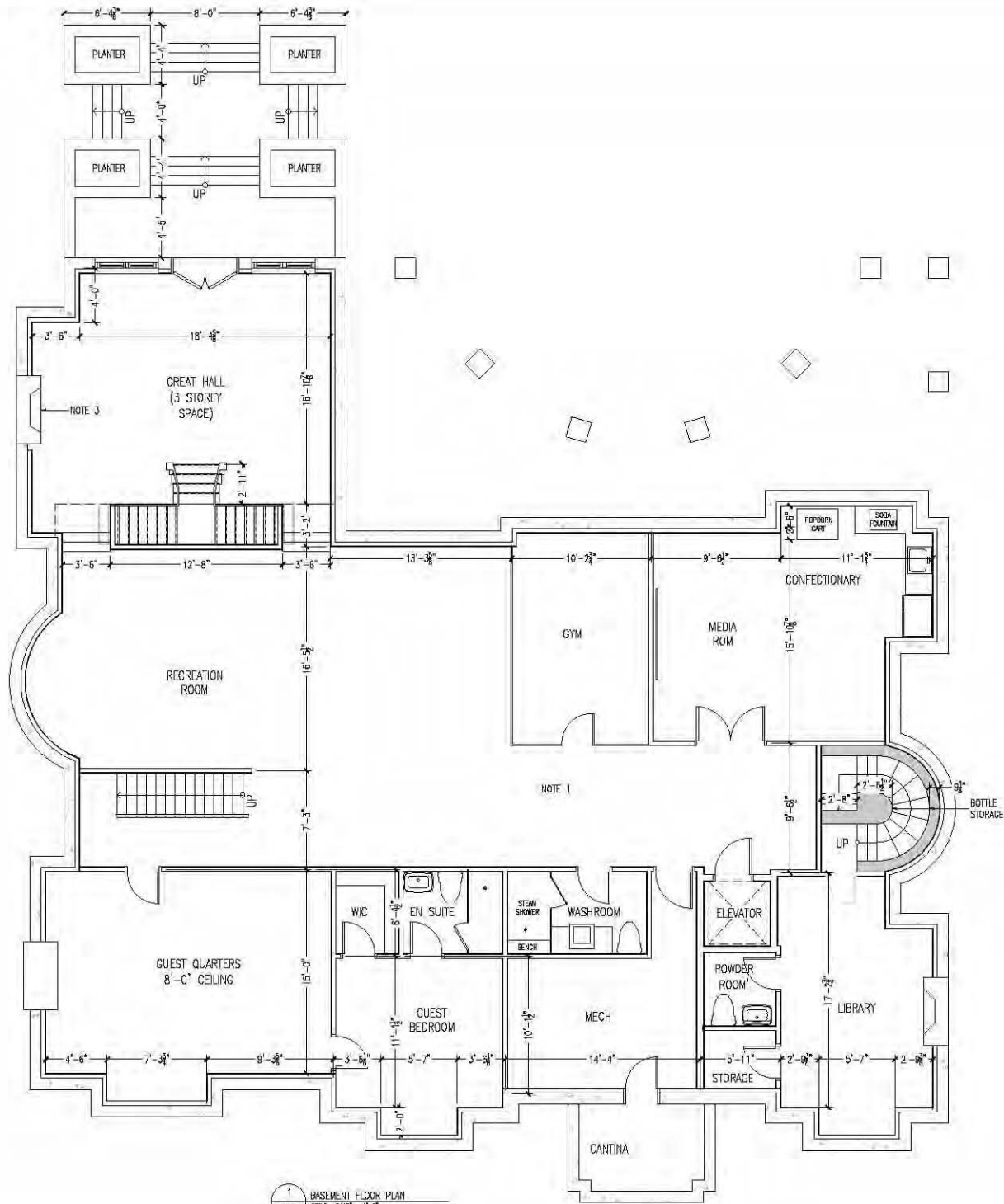
Drawn By: MG Reviewed By: RP

Project No. #####

Scale: AS NOTED **A1.0**

Date: JULY 2013

Fig. 62 Proposed ground-floor plan



1 BASEMENT FLOOR PLAN
 A1.2
 SCALE: 3/16" = 1'-0"
 AREA = 3478 SQ. FT.

Fig. 63 Proposed basement plan

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Rev. No.	Comments	Date
1	CLIENT REVIEW	2013.07.12
2	CLIENT REVIEW	2013.07.18
3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
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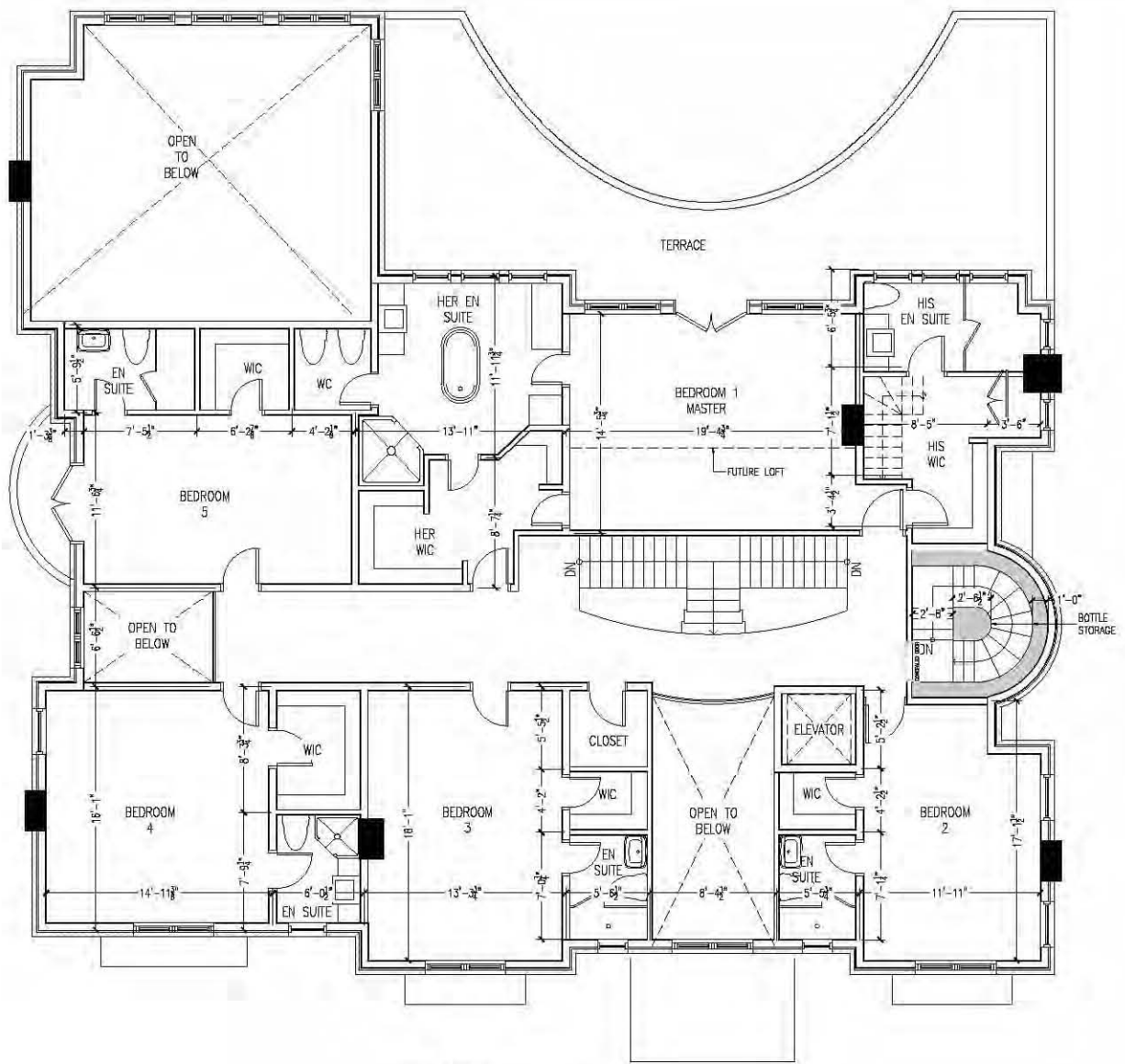
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 Mississauga, Ontario
 L5M 1M5
 Tel. (416) 710-6779

Project	SILVA RESIDENCE MINAKI ROAD MISSISSAUGA, ONTARIO
Drawing	BASEMENT FLOOR PLAN

Drawn By:	MG	Reviewed By:	RP
Project No.	#####	A1.1	
Scale	AS NOTED		
Date	JULY 2013		

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2	CLIENT REVIEW	2013.07.19
3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-



GROSS FLOOR AREA
 GROUND FLOOR = 2874 SQ. FT.
 SECOND FLOOR = 2770 SQ. FT.
 TOTAL = 5722 SQ. FT.
 MAX = 5502 SQ. FT.

1 SECOND PLAN
 SCALE: 1/4" = 1'-0"

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AXIIS ARCHITECTS INC.

ONTARIO ASSOCIATION OF ARCHITECTS
 ROBERT E. PODRECKS LICENCE #4482

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 Mississauga, Ontario
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 Tel. (416) 710-6779

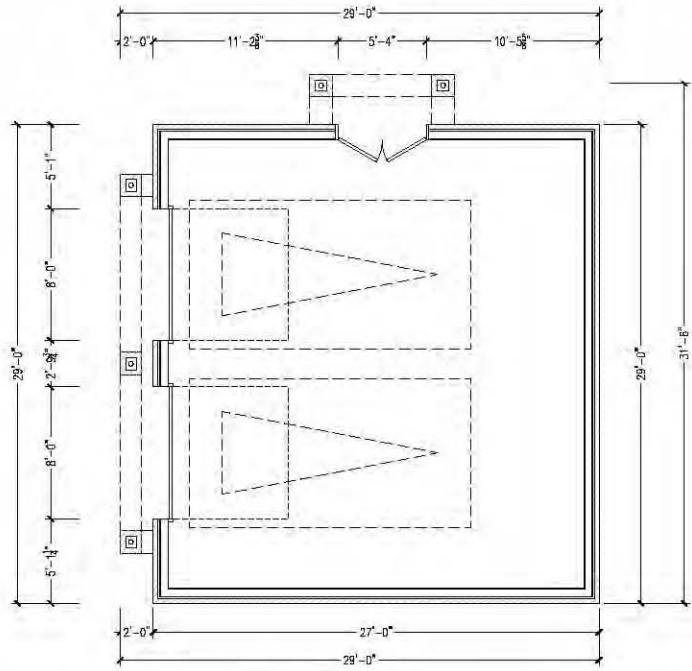
Project
SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
SECOND FLOOR PLAN

Drawn By: MG	Reviewed By: RP
Project No. #####	A1.2
Scale AS NOTED	
Date JULY 2013	

Fig. 64 Proposed upper-floor plan

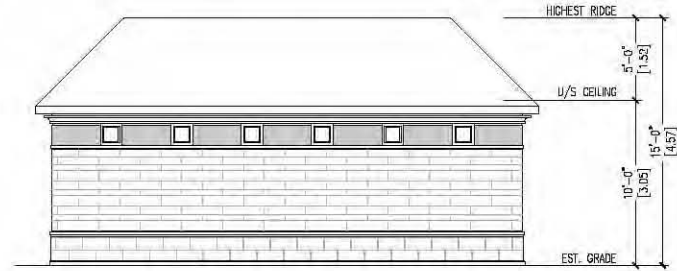
Fig. 65 Proposed plan and elevations of detached garage



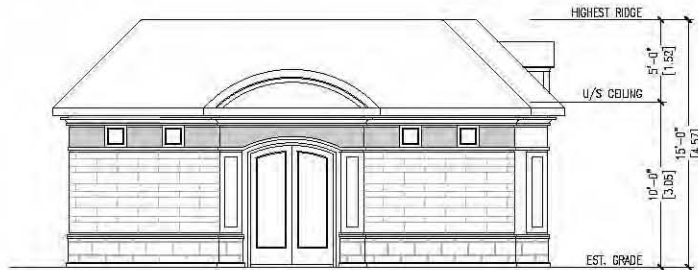
1 GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"



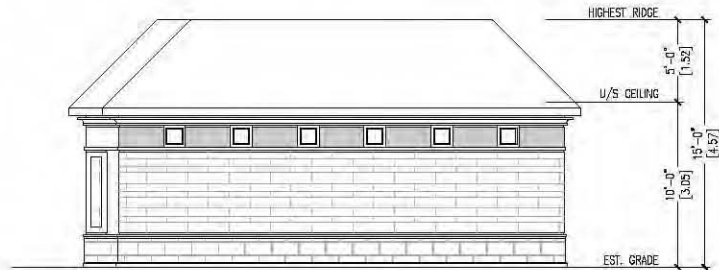
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



5 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

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3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
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ARCHITECTS INC.

ONTARIO ASSOCIATION
OF
ARCHITECTS
ROBERT E. PODRECKS
LICENCE
4482

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Tel. (416) 710-6779

Project
SILVA RESIDENCE
MINAKI ROAD
MISSISSAUGA, ONTARIO

Drawing
GARAGE PLANS
AND ELEVATIONS

Drawn By: MG	Reviewed By: RP
Project No. #####	A1.4
Scale AS NOTED	
Date JULY 2013	

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3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-
-	-	-



1 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

TAG	DESCRIPTION	COLOR/FINISH
E1	MARTON Limestone	GREY, FLEUR CUT, SPLIT FACE
E2	MARTON Limestone	GREY, VEH CUT, SAND BLASTED
E3	MARTON Limestone	GREY, VEH CUT, SMOOTH/FACED
E4	MULLINGS	COLOR AND FINISH TBD
E5	STUCCO	COLOR TBD, TEXTURED FINISH
E6	STUCCO	COLOR TBD, SMOOTH FINISH
E7	ASPHALT SHINGLES	BLACK DEEP SHADOW
E8	STANDING SEAM METAL ROOF	BLACK

Fig. 66 Proposed front facade

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Project
 SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
 WEST ELEVATION

Drawn By: MG
 Reviewed By: RP

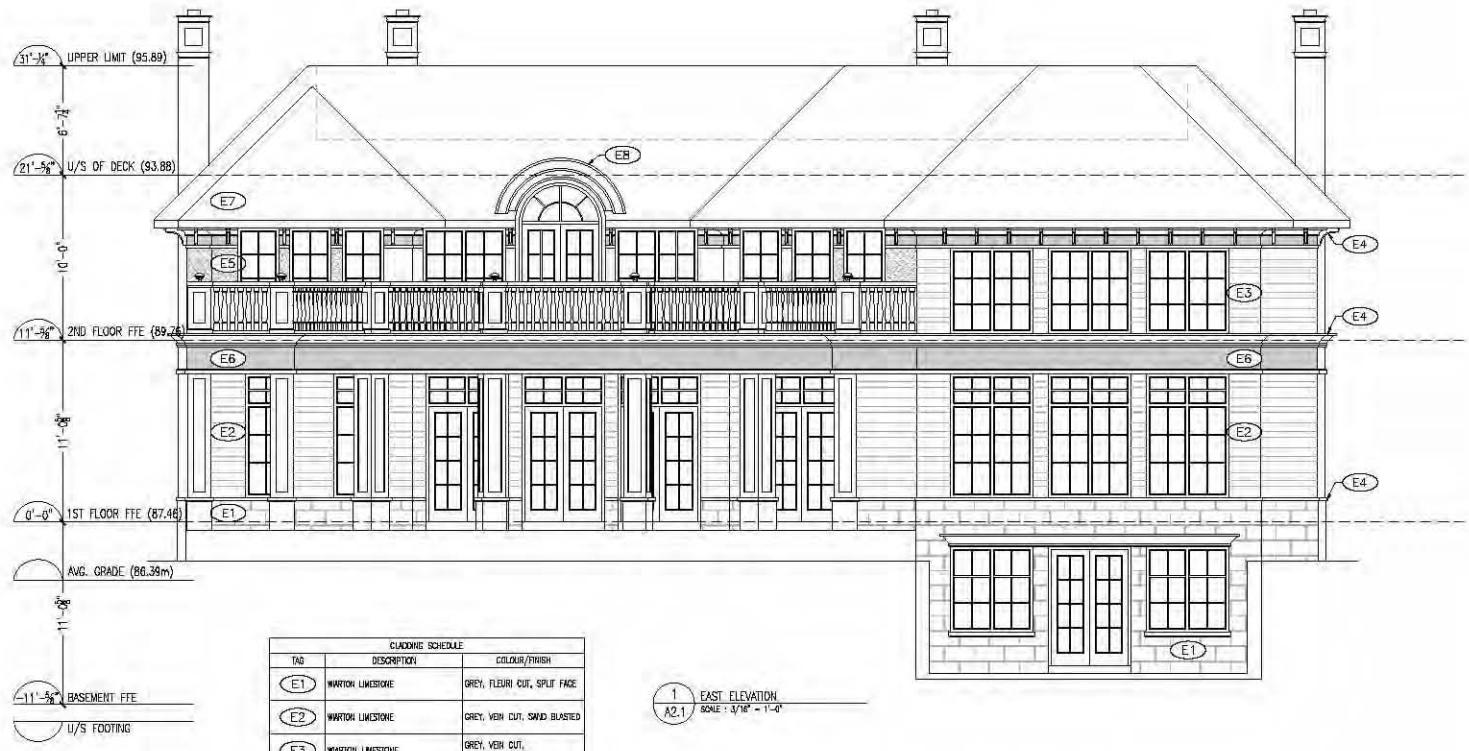
Project No. #####

Scale: AS NOTED
 Date: JULY 2013

A2.0

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3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-
-	-	-



CLADDING SCHEDULE		
TAB	DESCRIPTION	COLOR/FINISH
E1	WARREN LIMESTONE	GREY, FLEURI CUT, SPLIF FACE
E2	WARREN LIMESTONE	GREY, VEH CUT, SAND BLASTED
E3	WARREN LIMESTONE	GREY, VEH CUT, SMOOTH/SIZED
E4	MOULDING	COLOR AND FINISH TBD
E5	STUCCO	COLOR TBD, TEXTURED FINISH
E6	STUCCO	COLOR TBD, SMOOTH FINISH
E7	ASPHALT SHINGLES	BLACK DEEP SHADON
EB	STANDING SEAM METAL ROOF	BLACK

1 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

Fig. 67 Proposed rear elevation

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Project
 SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
 EAST ELEVATION

Drawn By: MG	Reviewed By: RP
Project No. #####	A2.1
Scale AS NOTED	
Date JULY 2013	

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3	CLIENT REVIEW	2013.08.02
4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-
-	-	-



1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

CLADDING SCHEDULE		
TAG	DESCRIPTION	COLOR/FINISH
E1	HARTON LIMESTONE	GREY, FLEUR CUT, SPLIT FACE
E2	HARTON LIMESTONE	GREY, VEIN CUT, SAND BLASTED
E3	HARTON LIMESTONE	GREY, VEIN CUT, SMOOTH/SANDED
E4	MOULDING	COLOR AND FINISH TBD
E5	STUCCO	COLOR TBD, TEXTURED FINISH
E6	STUCCO	COLOR TBD, SMOOTH FINISH
E7	ASPHALT SHINGLES	BLACK DEEP SHADOW
E8	STANDING SEAM METAL ROOF	BLACK

Fig. 68 Proposed south elevation

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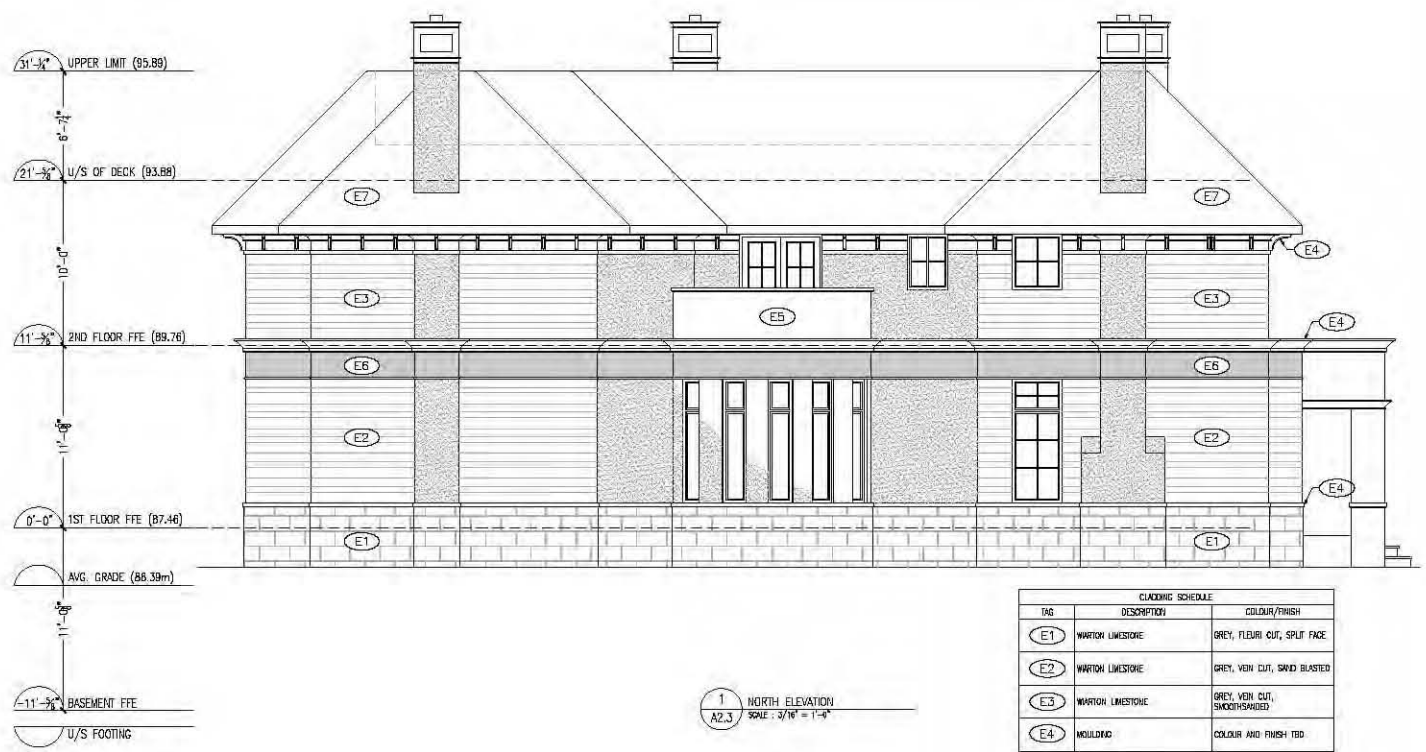
Project
 SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
 SOUTH ELEVATION

Drawn By: MG	Reviewed By: RP
Project No. #####	A2.2
Scale AS NOTED	
Date JULY 2013	

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4	HERITAGE REPORT	2013.08.12
-	-	-
-	-	-
-	-	-



CLADDING SCHEDULE		
DSG	DESCRIPTION	COLOR/FINISH
(E1)	WARREN LIMESTONE	GREY, FLEUR CUT, SPLIT FACE
(E2)	WARREN LIMESTONE	GREY, VEIN CUT, SAND BLASTED
(E3)	WARREN LIMESTONE	GREY, VEIN CUT, SMOOTH/SAND
(E4)	MOULDING	COLOR AND FINISH TBD
(E5)	STUCCO	COLOR TBD, TEXTURED FINISH
(E6)	STUCCO	COLOR TBD, SMOOTH FINISH
(E7)	ASPHALT SHINGLES	BLACK DEEP SHADOW
(E8)	STANDING SEAM METAL ROOF	BLACK

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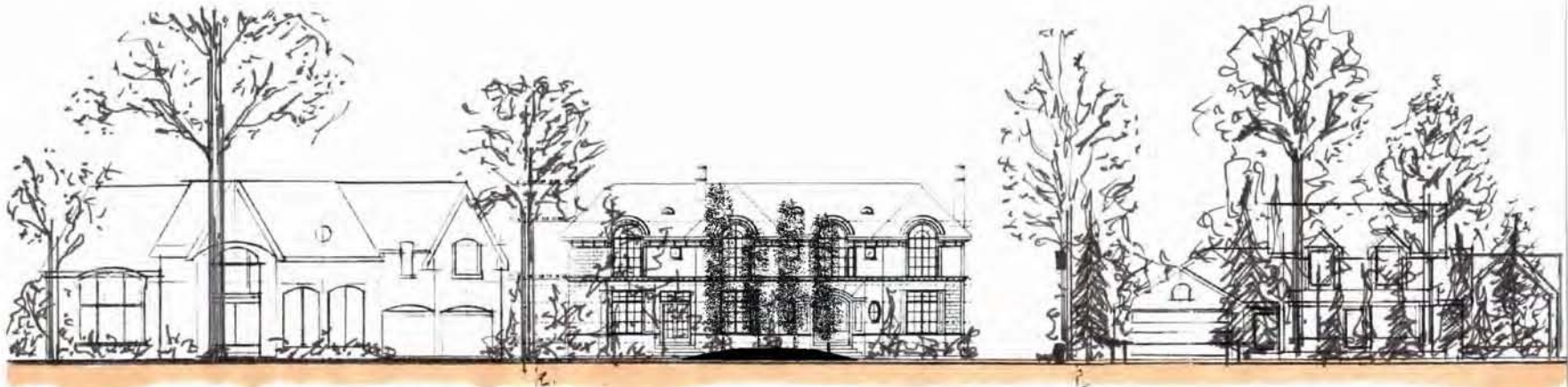
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 Mississauga, Ontario
 L5M 1M5
 Tel. (416) 710-6779

Project
SILVA RESIDENCE
 MINAKI ROAD
 MISSISSAUGA, ONTARIO

Drawing
NORTH ELEVATION

Drawn By: MG	Reviewed By: RP
Project No. #####	A2.3
Scale AS NOTED	
Date JULY 2013	

Fig. 69 Proposed north elevation



STREETSCAPE WITH VEGETATION



STREETSCAPE WITHOUT VEGETATION 1285 Minaki Road



Fig. 70 Streetscape elevations, showing proposed house between existing adjacent houses at 1291 Minaki Road and 1275 Minaki Road

Appendix B: Bibliography

Dilse, Paul. "Heritage Impact Statement on the Property at 1264 Woodland Avenue, Mississauga, Ontario." 22 Jul. 2011.

----- . Title search for 1285 Minaki Road, Mississauga, legally known as Part Lot 5 in Range 1 of the Credit Indian Reserve, Toronto Township and as Part 1 of Registered Plan 43R 33708; PIN 13461-0052. 29 Jul. 2013.

Dilse, Paul et al. "Heritage Conservation Feasibility Study of Old Port Credit Village: Stage 1 Report." 28 Nov. 2003.

Hicks, Kathleen A. *Port Credit: Past to Present*. Mississauga: Mississauga Library System, 2007.

Mississauga, City of. "Property Information. Building Permits. 1285, 1291, 1275, 1284, 1290 & 1300 Minaki Road." www.mississauga.ca. 2013.

"Ontario Obstetrician to Act as Visiting Specialist For MEDICO in Afghanistan." *C.M.A. Journal* V. 103 (21 Nov. 1970). p. 1203.

Pope, J.H. *Illustrated Historical Atlas of the County of Peel, Ont.* Toronto: Walker & Miles, 1877.

Surveyor General's Office. "Part of the Township of Toronto shewing The Mississagua Indian Reserve." 19 Apr. 1843. Archives of Ontario, C 277-1-409-2, Folder N-1073.

Tremaine, George R. "Tremaine's Map of the County of Peel, Canada West." Toronto: G.R. & G.M. Tremaine, 1859.

Underwriters' Survey Bureau. "Insurance Plan of the City of Toronto Volume 19 Embracing the Village of Port Credit and Part of the Township of Toronto." Toronto & Montreal: Underwriters' Survey Bureau, 1952.

Appendix C: Author's Qualifications

Paul Dilse has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts, has remained a reference document there for three decades). He has surveyed the entire rural and exurban municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. He has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County as well as the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, and successfully defended their designation under the *Ontario Heritage Act* at Conservation Review Board hearings. He has also provided expert witness testimony at the Ontario Municipal Board, successfully defending the designation of the first heritage conservation district in the Town of Markham and contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto.

In addition to the Thornhill-Markham heritage conservation district, he has produced heritage conservation district plans for Old Port Credit Village in Mississauga, the MacGregor/Albert neighbourhood in Waterloo and Lower Main Street South in Newmarket. His study of the George Street and Area neighbourhood in Cobourg led to its designation as a heritage conservation district – the fourth in the town. He is also the author of a report on the feasibility of establishing heritage conservation districts in Downtown Brampton and co-author and editor of a report describing three prospective heritage conservation districts in Downtown Whitby. As well, he has prepared conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has written 50 such reports. He has written text for commemorative plaques, including several for the Ontario Heritage Trust, and has planned an extensive program to interpret the history of the Freeport Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of Ontario.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.



Your Inspection Report

3669 Mississauga Rd
Mississauga, ON



PREPARED FOR:
CITY OF MISSISSAUGA

INSPECTION DATE:
Tuesday, July 13, 2010

PREPARED BY:
Stuart Harrison, P.Eng.



Item 7, Appendix 1
Heritage Advisory Committee
Agenda – September 17, 2013

Heritage Advisory Committee

SEP 17 2013

Carson Dunlop & Associates Ltd.
120 Carlton Street, Suite 407
Toronto, ON M5A 4K2

416-964-9415
800-268-7070
Fax: 416-964-0683
www.carsondunlop.com
info@carsondunlop.com



July 13, 2010

Dear City of Mississauga,

RE: Report No. 22335
3669 Mississauga Rd
Mississauga, ON

Thank you for choosing us to perform your home inspection. We hope the experience met your expectations.

There are a series of coloured tabs at the top of each page of the attached report that you can click for easy navigation. The report begins with an executive Summary and then has one section for every major home system (Roofing, Exterior, Structure, etc.). There is some reference material at the end.

Please feel free to contact us with questions about the report or the home itself any time, for as long as you own your home. Our telephone and e-mail consulting service is available at no cost to you. Please watch for your follow-up e-mail. We hope you will fill out and return our client questionnaire.

Thanks again for choosing Carson Dunlop.

Sincerely,

Stuart Harrison, P.Eng.
on behalf of
Carson Dunlop & Associates Ltd.

Carson Dunlop & Associates Ltd.
120 Carlton Street, Suite 407
Toronto, ON M5A 4K2
416-964-9415
800-268-7070
Fax: 416-964-0683
www.carsondunlop.com
info@carsondunlop.com



INVOICE

July 13, 2010

Client: City of Mississauga

Report No. 22335
For inspection at:
3669 Mississauga Rd
Mississauga, ON

on: Tuesday, July 13, 2010

Pre-Purchase Home Inspection		\$469.00
	HST	\$60.97
	#108348343	
	RT0001	
	Total	<u>\$529.97</u>

Carson Dunlop & Associates Ltd.
120 Carlton Street, Suite 407
Toronto, ON M5A 4K2
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800-268-7070
Fax: 416-964-0683
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info@carsondunlop.com

INSPECTION AGREEMENT

3669 Mississauga Rd, Mississauga, ON July 13, 2010

Report No. 22335

www.carsondunlop.com

PARTIES TO THE AGREEMENT

Company

Carson Dunlop & Associates Ltd.
120 Carlton Street, Suite 407
Toronto, ON M5A 4K2

Client

City of Mississauga
300 City Center Dr
Mississauga, ON L5b 3c1

This is an agreement between City of Mississauga and Carson Dunlop & Associates Ltd..

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.
PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection is performed in accordance with the STANDARDS OF PRACTICE of the Canadian Association of Home and Property Inspectors. These STANDARDS explain what an inspector must do and what an inspector is NOT required to do.

To review the STANDARDS OF PRACTICE, [click here](#)

In addition to the limitations in the Standards, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

INSPECTION AGREEMENT

3669 Mississauga Rd, Mississauga, ON July 13, 2010

Report No. 22335

www.carsondunlop.com

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mould or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mould or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mould and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or

INSPECTION AGREEMENT

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otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

10) LIMIT OF LIABILITY

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection, or \$1,000, whichever is greater.

I, **City of Mississauga (Signature)** _____, **(Date)** _____, **have read, understood and accepted the terms of this agreement.**

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INTRODUCTION

This Summary lists some of the significant report items that may need attention in the short term. This must not be considered as the complete report. Please read the entire report and the appropriate text included in the provided hyperlinks.

ROOFING

SLOPED ROOF(S) \ 1.0

Condition: • Past normal lifespan

Given that the demolition of the home is scheduled in two years, you might be able to stretch this roof that far. If it doesn't make it that long, then a reputable roofer would suggest stripping and replacing it.

Location: Throughout

Task: Replace

Time: Unpredictable

Cost: \$6,000 - \$8,000

CHIMNEY(S) \ 3.0

Condition: • Given the condition of the chimney I would suggest stopping all use of the fireplace and removing the chimney. Repairs to bring the chimney back into service would cost several thousand dollars and the City would then be liable for all repairs, maintenance and servicing while in use by the tenant.

Task: Remove

Time: Immediate

Cost: \$500 - \$1,000

EXTERIOR

GUTTERS \ 1.0

Condition: • [Damage](#)

The gutters were in poor condition and should be cleaned and repaired as needed. They will have to be removed to repair the fascia boards if you decide to go that route so new gutters would likely be needed after that work effort has been done.

Location: Throughout

Task: Repair or replace

Time: Immediate

Cost: \$1,000 - \$2,000

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SERVICE ENTRANCE \ 2.1, 2.2 and 2.3

Condition: • The overhead wires were poorly attached to the house and had a rope hanging from them. They should be serviced by an electrician. This work can be combined with other electrical items to reduce costs.

Location: East Exterior

Task: Repair

Time: Immediate

Cost: \$500 - \$1,000

END OF SUMMARY

NOTE: BALLPARK COSTS AND TIME FRAMES

Any ballpark costs and time estimates provided are a courtesy and should not be relied on for budgeting or decision-making. Quotations from specialists should be obtained. The word 'Minor' describes any cost up to roughly \$500.

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Descriptions

Sloped roofing material: • [Asphalt shingles \(1.1\)](#)

Probability of Leakage: • [High](#)

Chimneys: • [Masonry](#)

Inspection Methods and Limitations

Roof inspection method: • Walking on the roof

Observations and Recommendations

SLOPED ROOF(S) \ 1.0

Condition: • Past normal lifespan

Given that the demolition of the home is scheduled in two years, you might be able to stretch this roof that far. If it doesn't make it that long, then a reputable roofer would suggest stripping and replacing it.

Location: Throughout

Task: Replace

Time: Unpredictable

Cost: \$6,000 - \$8,000



1.



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3.



4.



5.

CHIMNEY(S) \ 3.0

Condition: • Given the condition of the chimney I would suggest stopping all use of the fireplace and removing the chimney. Repairs to bring the chimney back into service would cost several thousand dollars and the City would then be liable for all repairs, maintenance and servicing while in use by the tenant.

Task: Remove

Time: Immediate

Cost: \$500 - \$1,000

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Descriptions

Gutters and Downspouts (1.0): • [Aluminum \(1.1\)](#)

Gutter and Downspout Discharge (1.2): • [Discharge above grade \(1.2\)](#) • [Discharge below grade \(1.2\)](#)

Retaining Walls (9.0): • [Wood](#)

Wall Surfaces (4.0): • [Wood siding \(4.5\)](#)

Inspection Methods and Limitations

Exterior inspection method: • The exterior was inspected from ground level.

Limitations: • Fences, outbuildings (other than garages) and landscape features are not included as part of a home inspection.

Limitations: • Absence of historical clues due to new finishes/paint/trim • Deck/porch/steps - restricted/no access under

Observations and Recommendations

GUTTERS \ 1.0

Condition: • [Damage](#)

The gutters were in poor condition and should be cleaned and repaired as needed. They will have to be removed to repair the fascia boards if you decide to go that route so new gutters would likely be needed after that work effort has been done.

Location: Throughout

Task: Repair or replace

Time: Immediate

Cost: \$1,000 - \$2,000



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WINDOWS AND DOORS - EXTERIOR SIDE \ 3.0

Condition: • Various repairs needed

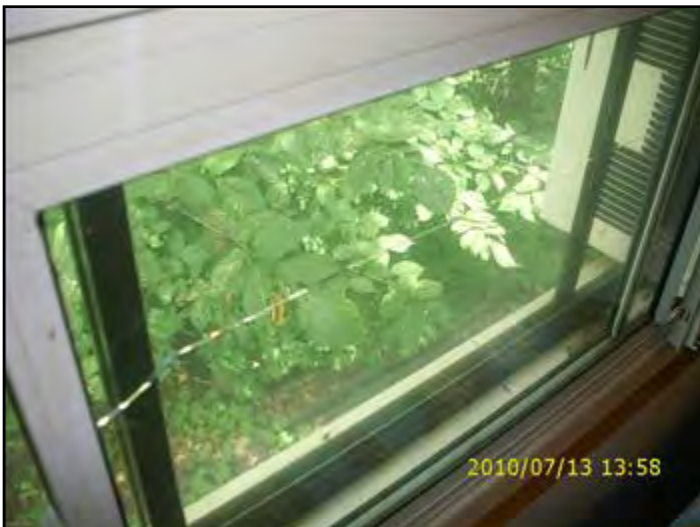
There were several cracked windows and some that showed rot in the frames. The cracked units should be repaired but I wouldn't advocate replacing the rotted windows given the final destination of the house.

Location: Throughout Exterior

Task: Repair or replace

Time: Discretionary

Cost: Minor ea.



9. East side



10. Front window

SOFFIT, FASCIA AND TRIM \ 3.0

Condition: • [Rot](#)

It is doubtful that the condition of the fascia will impact the tenant in any way except it may no longer support the gutter which could eventually fall off and cause water problems in the basement.

Location: Front Exterior

Task: Replace

Time: Discretionary

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11. Northeast corner

EXTERIOR STRUCTURE \ Railings (5.2)

Condition: • [Missing](#)

Railings or some sort of fall protection would be needed on the small retaining wall to the rear and on the rear porch steps. The rear porch steps should be entirely replaced given their condition. The walkout in the front should be reconfigured to use railings and a hand rail or blocked from use. Given the walkout condition (rot/mould in the drywall, plugged drains, bad roof), it may be wiser to remove the structure and limit access to this area.

Location: Rear Exterior

Task: Provide

Time: Immediate

Cost: Minor



12. Rear wall



13. Front walkout

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14. Rear porch steps

RETAINING WALL \ 9.0

Condition: • [Evaluation of erosion/retaining walls at the ravine areas of the lot is beyond the scope of the home inspection; consult a specialist for further evaluation.](#)

Given that there were several hundred feet of retaining wall in various states of decay, the city should evaluate what the ultimate use of the property is going to be. They would not be deemed safe to climb, walk on or around given the assumed unsupervised nature of the area. Retaining wall repairs could easily get into the tens of thousands of dollars.

Location: Throughout

Task: Repair or replace

Time: Discretionary

Cost: Major

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Descriptions

Foundations (3.0): • [Masonry block](#)

Configuration (4.0): • [Basement](#)

Floor Construction (5.0): • [Joists - wood](#)

Exterior Wall Construction (6.0): • [Wood frame](#)

Roof and Ceiling Framing (7.0): • [Rafters/Roof joists \(7.1\)](#)

Inspection Methods and Limitations

Limitations: • Finishes, insulation, furnishings and storage conceal structural components, preventing/restricting inspection. • The footings supporting the house are typically not visible and cannot be inspected. Only a small part of the foundation can be seen and inspected from outside the home. Finished or concealed portions of the interior of the foundation cannot be inspected.

Limitations: • Attic - no access • Roof space - no access

Observations and Recommendations

General

• No STRUCTURE Recommendations are offered as a result of this inspection.

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Descriptions

Service Entrance Cable (2.1/2/3): • [Underground - The wire material was not determined](#)

Service Size (2.4/5): • [100 amps \(240 Volts\)](#)

System Grounding (2.7): • [Water pipe - copper](#)

Distribution Panel Rating (3.0): • [125 amps](#)

Distribution Panel Type & Location: • [Breakers - basement](#)

Distribution Wire (4.0): • [Copper - non-metallic sheathed](#)

Outlet Type & Number (5.2): • [Grounded - typical number](#)

Inspection Methods and Limitations

Limitations: • Concealed electrical components are not inspected. • Main disconnect cover not removed - unsafe to do so. • The continuity and quality of the system ground are not verified as part of a home inspection. • The following low voltage systems are not included in a home inspection: intercom, alarm/security, low voltage light control, central vacuum, telephone, television, Internet, and Smart Home wiring systems. • The home inspection includes only a sampling check of wiring, lights, receptacles, etc.

Observations and Recommendations

General

• All electrical recommendations are safety issues. Treat them as high priority items, and consider the Time frame as Immediate, unless otherwise noted.

SERVICE ENTRANCE \ 2.1, 2.2 and 2.3

Condition: • The overhead wires were poorly attached to the house and had a rope hanging from them. They should be serviced by an electrician. This work can be combined with other electrical items to reduce costs.

Location: East Exterior

Task: Repair

Time: Immediate

Cost: \$500 - \$1,000

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15. Rope attached to service wires.



16. Anchor loose

MAIN PANEL - GENERAL \ 3.0

Condition: • As discussed the panel was rated at 200A but I'm doubtful that the overhead wires could in fact provide that amount. See below for info on the overhead service.

Location: Basement

Task: Repair

Time: Immediate

Cost: Minor

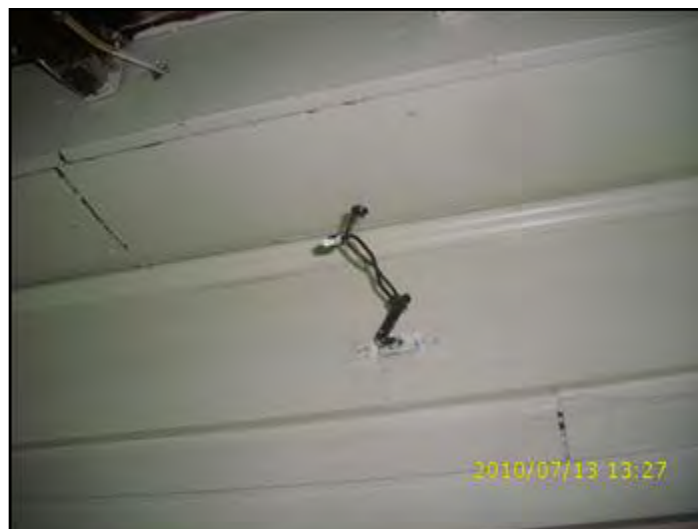
HOUSE WIRING - GENERAL \ 4.0

Condition: • [Exposed](#)

Location: Porch

Task: Repair

Time: Immediate



17. Exposed wires on porch

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GROUND FAULT CIRCUIT INTERRUPTERS \ 5.3.1

Condition: • Adding Ground Fault Interrupters (GFIs) is a cost effective safety improvement to existing homes. At a cost of roughly \$100 each, installed, they provide enhanced protection against electric shock and are particularly useful near wet areas (e.g. outdoors, garages, kitchens - especially near the sink, bathrooms) and where appliances with 3-prong plugs are used. GFIs may be either special circuit breakers or special wall outlets (receptacles). Either one protects all downstream outlets on that circuit. (5.2.2)

Location: Throughout

Task: Provide

Time: Immediate

Cost: Minor

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Descriptions

Main Heating System - Fuel/Energy Source: • Electricity

Main Fuel Shut-off at: • Meter

Main Heating System - Type: • [Electric radiant heat \(15.10\)](#)

Inspection Methods and Limitations

Heating inspection method: • Summer Test Procedure: During the portion of the year when the heating system is not normally operating, the heater, furnace or boiler is tested by turning up the thermostat. This will result in a partial test of the heating unit; however, the adequacy of the distribution system and amount of heat cannot be ascertained. Problems which may only show up during long term operation of the heating system may go undetected.

Limitations: • Heat loss calculations are not performed as part of a home inspection. • Safety devices are not tested as part of a home inspection.

Observations and Recommendations

ELECTRIC HEAT \ 14.21 to 14.23 & 15.10

Condition: • Electrical outlet above baseboard heater

This is a very common issue and one not easily avoided in a baseboard heated house. If possible restrict use to the outlet by the tenant.

Location: Various

Task: Improve

Time: If necessary

COOLING

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Descriptions

General: • No central air conditioning system was noted.

INSULATION

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Descriptions

Attic insulation - value (1.0/2.0) & material (A) : • Amount not determined • Material not determined

Wood frame wall insulation - value (1.0/2.0) & material (F): • Not determined

Basement wall insulation - value (1.0/2.0) & material (I/J): • Not determined

Air/vapour barrier (13.0): • [Plastic](#)

Roof ventilation (15.0): • [None](#)

Inspection Methods and Limitations

Limitations: • Concealed wall insulation is not inspected. • The continuity of air/vapour barriers and the performance of roof and attic ventilation are not verified as part of a home inspection.

Limitations: • Attic - access not gained (10.0 and 11.0) • Floor space - access not gained (10.0 and 11.0) • Roof space - access not gained (10.0 and 11.0)

Observations and Recommendations

General

• No INSULATION Recommendations are offered as a result of this inspection.

ATTIC \ Insulation (A & 1.0 to 19.0)

Condition: • We recommend that access be provided into the attic so the area can be inspected.

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Descriptions

Water Piping to the Building: • [Copper](#)

Supply Piping in the Building: • [Copper](#)

Main Shut-off Valve Location: • Basement

Water Flow (Pressure) (1.4.1): • [Above average](#)

Water Heater Type and Energy Source (1.6): • [Electric](#) • [Rental](#)

Water Heater Age (Estimated) (1.6): • 9 years

Typical Life Expectancy: • 10 to 15 years

Water Heater Tank Capacity (1.6): • 175L

Waste Piping Material: • Plastic

Floor Drain Location: • [Basement - right side](#)

Pump: • [Solid waste \(ejector\) pump \(2.7\)](#)

Inspection Methods and Limitations

Limitations: • Concealed plumbing is not inspected. This includes supply and waste piping under floors and under the yard. • Isolating valves, relief valves and main shut-off valves are not tested as part of a home inspection. • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Observations and Recommendations

General

• As discussed, it would be a good idea to have the septic system evaluated to ensure that it will last to requisite 2 years. These systems are very expensive to replace should they fail within the time period.

Location: Front Exterior

Task: Provide

Time: Immediate

Cost: Minor

WASTE PIPING \ 2.3

Condition: • The primary waste line should not be reduced unless it can be confirmed that this is from the sink and shower only. Also it was unclear where the sewage ejector pump discharged to and its hoped that it isn't to either of the two pipes hanging over the ravine.

Location: Basement

Task: Further Evaluate and Improve

Time: Immediate

Cost: Minor



18. Waste line reduction



19. Pipes into ravine

SINK \ 3.1

Condition: • [Leak](#)

Both the basement kitchen and bathroom drains had minor leaks.

Location: Various Basement

Task: Repair

Time: Immediate

Cost: Minor



20.

PLUMBING

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FAUCET - BATHTUB \ 3.3

Condition: • [Inoperative](#)

There was no hot water to the tub downstairs.

Location: Basement

Task: Repair

Time: Immediate

Cost: Minor

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Descriptions

Major Floor Finishes (1.0): • [Carpet \(1.4/1.5\)](#) • [Ceramic/Quarry Tile \(1.7\)](#) • [Concrete \(1.1\)](#)

Major Wall Finishes (2.0): • [Plaster/Drywall \(2.1\)](#)

Major Ceiling Finishes (3.0): • [Plaster/Drywall \(3.1\)](#) • [Stucco/Textured/Stipple \(3.5\)](#)

Windows (6.0): • [Fixed \(6.1.5\)](#) • [Sliders \(6.1.3\)](#) • [Single/Double Hung \(6.1.1\)](#)

Glazing (6.2): • [Double \(6.2.2\)](#) • [Single \(6.2.1\)](#)

Exterior Doors (7.0): • [Conventional - hinged](#)

Fireplaces and Stoves (8.0): • [Fireplace – wood burning - masonry firebox](#)

Inspection Methods and Limitations

Limitations: • Security systems, intercoms, central vacuum systems, chimney flues and elevators are not included as part of a home inspection. Smoke detectors and carbon monoxide detectors are not tested as part of a home inspection. • Finding and identifying environmental issues such as asbestos is outside the scope of a home inspection. Asbestos may be present in many building products and materials. An Environmental Consultant can assist if this is a concern. • Moisture problems may result in visible or concealed mould growth. An Environmental Consultant can assist if this is a concern. • Limited access to cabinets and closets • Perimeter drainage tile around foundations is not visible and is not included as part of a home inspection. • Basement leakage frequency or severity cannot be predicted during a home inspection • No comment is made on cosmetic finishes during a home inspection.

Limitations: • Absence of historical clues due to new finishes/paint • Basement finishes restricted the inspection • Fire place - During a home inspection, the chimney flue is not inspected, and the chimney draft is not evaluated. • Storage/furnishings in some areas limited inspection

% of interior foundation wall not visible: • 99

Observations and Recommendations

General

• A pest removal company should be engaged to address the numerous hornet's nests and presumably some mice.

Location: Throughout

Task: Clean

Time: Immediate

Cost: Minor

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21. Nest in windows

STAIRS \ 5.0

Condition: • [Railing missing](#)

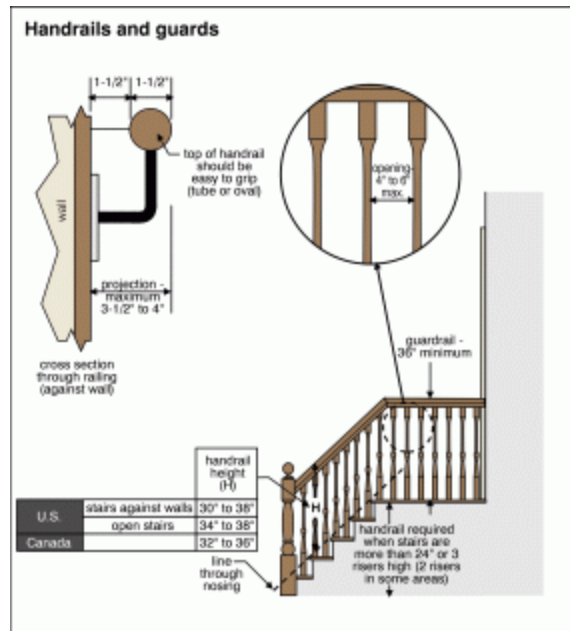
A railing is needed to the second floor and to the basement.

Location: Throughout

Task: Provide

Time: Immediate

Cost: Minor



Click on image to enlarge.

FIREPLACE OR WOOD STOVE \ 8.0

Condition: • Fireplace, flue and chimney should be inspected and swept as needed by a WETT certified technician and any recommended repairs completed before the fireplace is used. (WETT - Wood Energy Technology Transfer Inc. is a non-profit training and education association.) See www.wettinc.ca.

As discussed it was doubtful that this wood burning appliance would be considered safe for continued use. However if it is very important to the tenant you should have the unit inspected and repair estimates provided before continued use.

Location: First Floor

Task: Provide

Time: Immediate

Cost: Minor

BASEMENT LEAKAGE \ 10.0

Condition: • Evidence of basement leakage was noted.

A block wall foundation is not very resistant to moisture penetration and some effort may be needed outside to divert the water away from the house. Evidence of staining, efflorescence and peeling paint suggest historical leakage events that may occur again in the future. Follow the steps below to minimize exterior moisture.

Location: Various Basement

Task: Improve

Time: If necessary

Cost: Depends upon approach

WHAT TO DO IF YOUR BASEMENT OR CRAWLSPACE LEAKS \ 10.0

Condition: • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the text before taking any action.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)
4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

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GOOD ADVICE FOR ALL HOMEOWNERS: • The following items explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

Ice Dams on Roofs: • Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather. Read Section 1.14 of the Roofing and Chimney Chapter (See Reference tab in this report) for more detail and solutions.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Electrical System - Label the Panel: • The electrical panel should be labelled to indicate what is controlled by each fuse or breaker. Where the panel is already labelled, please verify the labelling is correct. Do not rely on the labelling being accurate.

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance : • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Smoke and Carbon Monoxide (CO) Detectors: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished area of the home.

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Clothes Dryer Vents: • We recommend vents for clothes dryers discharge outside the home, and the vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces drying time, energy consumption and cost; and minimizes the risk of a lint fire inside the vent.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components. This document helps you look after your home.](#)

Supplementary Information: • [This section provides information on topics beyond the scope of home inspection including asbestos, radon, urea formaldehyde foam insulation, lead, carbon monoxide, household pests and mould.](#)

END OF REPORT

REFERENCE LIBRARY

3669 Mississauga Rd, Mississauga, ON July 13, 2010

Report No. 22335

www.carsondunlop.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)

**Cultural Landscape
Heritage Impact Statement**

Heritage Advisory Committee
SEP 17 2013

**2610, 2620 and 2630 Mississauga Road
Mississauga, ON**



prepared by

The Landplan Collaborative Ltd.

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July 3, 2013

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Appendix 1 *City of Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference*, accessed from City web site May 2012

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Appendix 3 Cultural Landscape Inventory:

Appendix 4 Qualifications of the author

all photographs by Owen R. Scott of The Landplan Collaborative Ltd., June 28, 2012 unless otherwise noted.

1.0 BACKGROUND - CULTURAL LANDSCAPE HERITAGE IMPACT STATEMENT (HIS)

This Heritage Impact Statement (HIS) follows the *City of Mississauga Cultural Heritage Landscape Heritage Impact Statement Terms of Reference*, accessed from City's web site May 2012 (Appendix 1) and was prepared in response to a request from Mr. John Zipay, Planner.

The properties at 2610, 2620 and 2630 Mississauga Road are within the Mississauga Road Scenic Route Cultural Landscape. None of the properties is designated under Part IV of the *Ontario Heritage Act* and no adjacent properties are designated.¹ The subject properties are currently undeveloped. The City of Mississauga's *Cultural Landscape Heritage Impact Statement Terms of Reference*, specifically related to the *Mississauga Road Scenic Route F-TC-4* cultural landscape, are employed in the conduct of this HIS.²

Figure 1 illustrates the location of the properties and the Scenic Route Cultural Landscape in Mississauga.

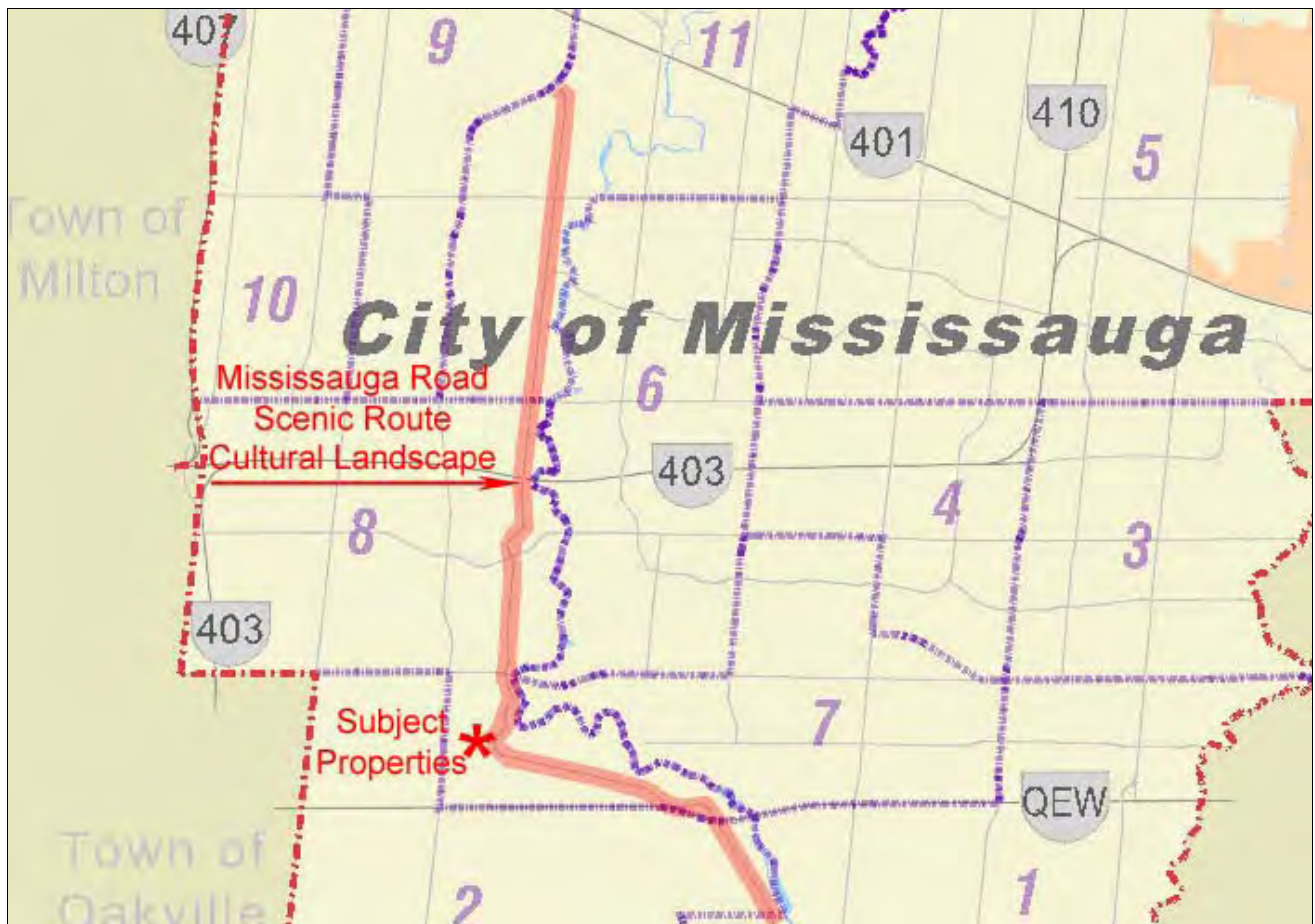


Figure 1

Mississauga Road Scenic Route Cultural Landscape & Subject Properties location

<http://www.mississauga.ca/portal/services/property>

¹ City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed September 10, 2010

² [/www.mississauga.ca/file/COM/Cultural_Landscape_Heritage_Impact_Statement_TOR_Dec2011.pdf](http://www.mississauga.ca/file/COM/Cultural_Landscape_Heritage_Impact_Statement_TOR_Dec2011.pdf), email message from Paula Wubbenhorst, Heritage Coordinator, May 23, 2012

Figure 2 shows the location of the properties within the cultural landscape.



Figure 2

2610, 2620 & 2630 Mississauga Road

<http://www.mississauga.ca/portal/services/property>

2.0 THE CULTURAL LANDSCAPE HERITAGE IMPACT STATEMENT

2.1 Property owners contact information

(2610) Ron Fisico, 35 West Pierce St., Unit 32, Richmond Hill ON L4B 3A9

(2620) Jordan Posocco, 1305 Indian Road, Mississauga ON L5H 3S4

(2630) Domenic Malfara, 139 Kingly Crestway, Woodbridge ON L4H 1T2

Planning Consultant: John Zipay (416) 305 7989 email: jjzipay@hotmail.com

2.2 Property information

The three properties lie just south of the former Village of Erindale on a tributary of the Credit River.

The villages of Toronto Township amalgamated to become the Town of Mississauga in 1968, excluding the Towns of Port Credit and Streetsville. In 1974, Mississauga incorporated as a City, this time including Port Credit and Streetsville.³

³ <http://www.heritagemississauga.com/history.htm>, Heritage Mississauga webpage, accessed June 12, 2012

The little community of Erindale Village traces its roots back to the early 1820s, following the “Mississauga Purchase” of 1819. Thomas Racey constructed a sawmill on the Credit River, just to the south of where Dundas Street crossed the river, in 1822. Shortly afterwards, when Thomas Racey was unable to meet his land payments, the “Racey Tract” was subdivided into smaller lots and auctioned off by the Government of Upper Canada. By 1824, a village site was laid out, with the village first being called “Toronto”, and then “Credit”.

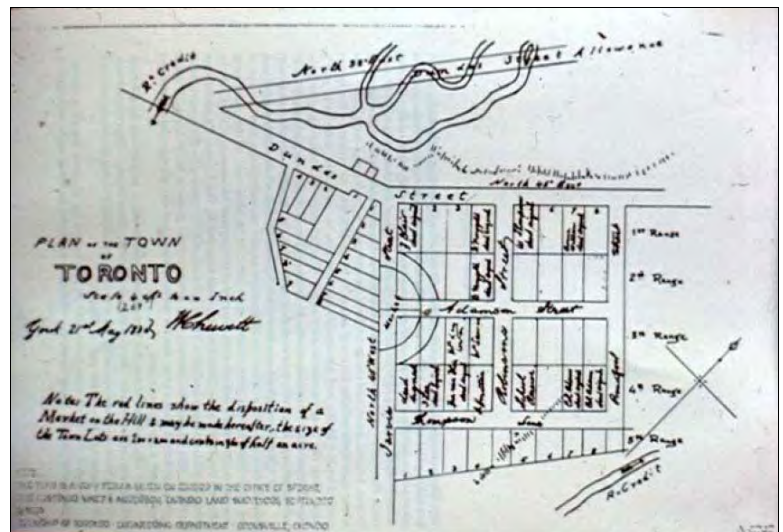


Figure 3 c 1830 Survey Plan for Toronto, now Erindale Village
Heritage Mississauga webpage
<http://www.heritagemississauga.com/page/Erindale>

It was not until the early 1900s that the village of “Erindale” got its name, after the Magrath Estate in order to avoid confusion with other towns. Prior to this, our village Erindale was also known as Springfield and Springfield-on-the-Credit. Erindale served as a stopping place for the stagecoach traveling between Dundas and York (modern Hamilton & Toronto).

Erindale’s Religious Community:

An Anglican congregation was established for the surrounding area in 1825. An early prominent settler, General Peter Adamson, allowed his home to be used for services until a permanent church was built in 1826: St. Peter’s Anglican Church. The first service held in November of 1827. The General used his influence to recruit Reverend James Magrath to become the first rector of St. Peter’s Church. For many years St. Peter’s Church in Erindale was the only Anglican Church west of York, and the village, or specifically General Adamson’s home and later John Beverley Robinson’s cottage, served as the early administrative centre for Toronto Township.

The founding fathers of St. Peter’s Church and surrounding community are General Peter Adamson, Doctor Joseph Adamson, Alexander Proudfoot, Colonel William Thompson, Fredrick Starr Jarvis, and Henry Carpenter. The second St. Peter’s Church still stands today, overlooking the village; with the support and efforts of local citizens, such as Charlotte Schreiber, Alfred Adamson, Thomas Barker and Thomas Hammond, the existing church was erected in 1887, using Credit Valley stone hauled from the river. The spire was added in 1910, and the narthex in 1959.

The Growth of Erindale Village:

Erindale’s many prominent early residents include Emerson Taylor, who operated the Royal Exchange Hotel; John McGill, the first flour miller; Dr. Beaumont Dixie, an early physician, after whom the village of Dixie was named; Duncan Turpel, a blacksmith, notary and stagecoach operator; John Barker, the postmaster and storekeeper; and Edwin Turner and Christopher Boyes, who were prominent merchants. These are just a few of the names from Erindale’s historic past.

The prominence of the village began to decline, however, when Erindale was bypassed by both the Great Western Railway and the Credit Valley Railway. By the time the CVR opened a station on Erindale Station Road in 1879 the village's hopes for prosperity had already begun to decline. Erindale blossomed again in the early 1900s when it became home to an extensive hydroelectric project. This boom lasted until 1919 when Erindale suffered "the great fire".

Erindale was born as a mill-village, but the heady days of industry have passed Erindale by, and the village has remained a quiet, residential area that offers glimpses of more industrious and industrial past. Erindale amalgamated with other villages in Toronto Township in 1968 to form the Town of Mississauga. The town became the City of Mississauga in 1974.

Figure 4 shows the relationship of Erindale (then called Credit) to the subject properties in 1877.

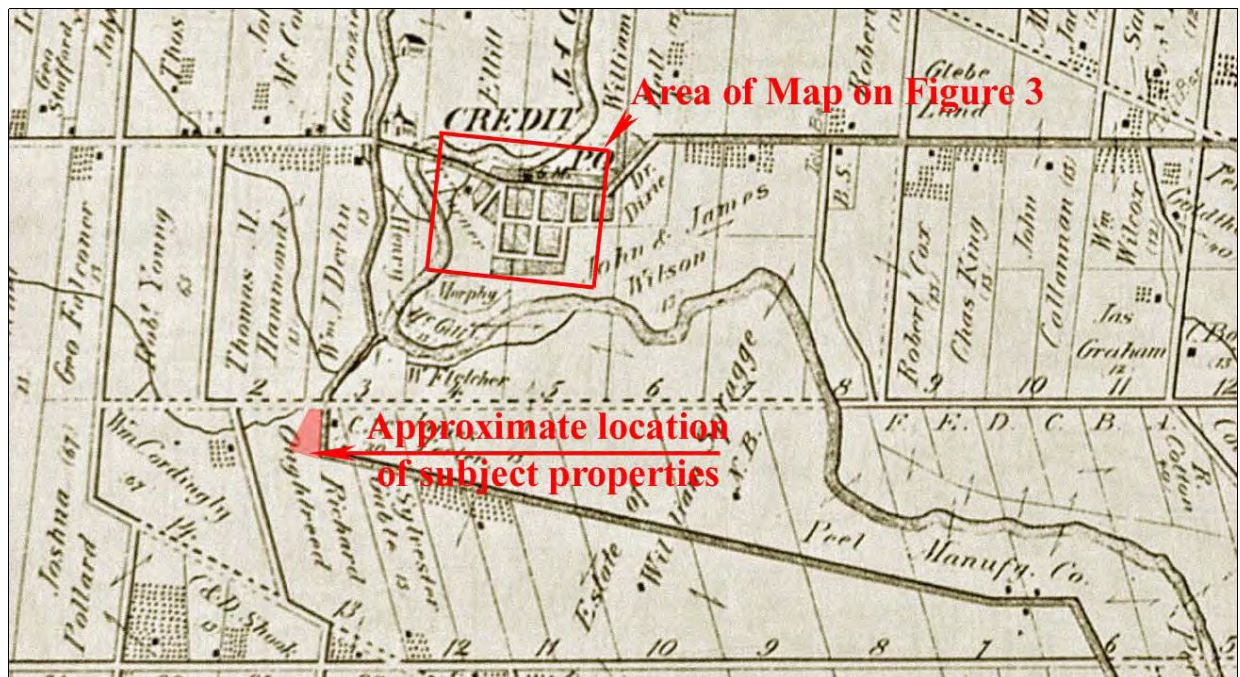


Figure 4

Credit P.O. (Erindale) and subject properties

Illustrated Historical Atlas of the County of Peel, Ont., Toronto: Walker & Miles, 1877

Figure 5 is a 1954 airphoto of the subject properties and environs. The area was comprised of steeply, wooded creek valleys, cultivated orchards, and a large extraction site on the east side of Mississauga Road. There is some residential development south of the site of the subject properties. Orchards were a major land use in this area from the 1800s until 1980. The historic atlas of 1877 (Figure 4) shows numerous orchards in the vicinity of Erindale (Credit). Orchards are visible in the aerial photographs from 1954 (Figure 5), 1975 (Figure 6), and 1980 (Figure 7). The North Sheridan Landfill, a former gravel pit, was officially closed as a garbage dump in 1980. It became Springbank Meadows Park, a naturalized area by the City of Mississauga Recreation and Parks Department and the Credit Valley Horticultural Society⁴. By 1975, the extraction sites were winding down and by 1980, had been abandoned. By 1985, orchards had been replaced by residential development (Figure 8). The subject properties were heavily wooded in 1954 and continue to be to the present. (Figures 5 - 9)

⁴ *Springbank Meadows Park-From Garbage to Glory*, Donna McGlone, Credit Valley Horticultural Society



Figure 5 subject properties & environs - 1954 <http://www.mississauga.ca/portal/services/maps>



Figure 6 subject properties & environs - 1975 <http://www.mississauga.ca/portal/services/maps>



Figure 7 subject properties & environs - 1980 <http://www.mississauga.ca/portal/services/maps>



Figure 8 subject properties & environs - 1985 <http://www.mississauga.ca/portal/services/maps>

By 1985, the extraction site east of Mississauga Road had been re-graded and by 1989, single-family residential development began to occupy the site. By 1999, all of the developable lands adjacent to the subject properties had been built on, leaving only the subject properties undeveloped.



Figure 9 subject properties & environs - 2011 <http://www.mississauga.ca/portal/services/maps>

The subject lands are a small portion of Lot 13, Range 3 of the Credit River Indian Reserve, formerly in the Township of Toronto, County of Peel, now in the City of Mississauga, Region of Peel. The original farm of 90 acres was owned by Richard Oughtred (Oughtred) (Figure 10 from Illustrated Historical Atlas of the County of Peel, 1877). The Oughtreds were a prominent family in the area, building substantial homes in Sheridan, Clarkson, and near Erindale. At least 18 family members are buried in Springcreek Cemetery in Mississauga. The family first came to the area from Guiseborough, England via Quebec. William Oughtred came with his brother, Richard, and settled in the small hamlet of Hammondville, which later became Sheridan. (Mississauga Library System). Richard Oughtred (1813-1881) was a partner in the carpentry business with Jacob Gable and married Jacob's daughter, Esther Ann in 1855. Figure 11 is their first home which was later added on to and bricked.

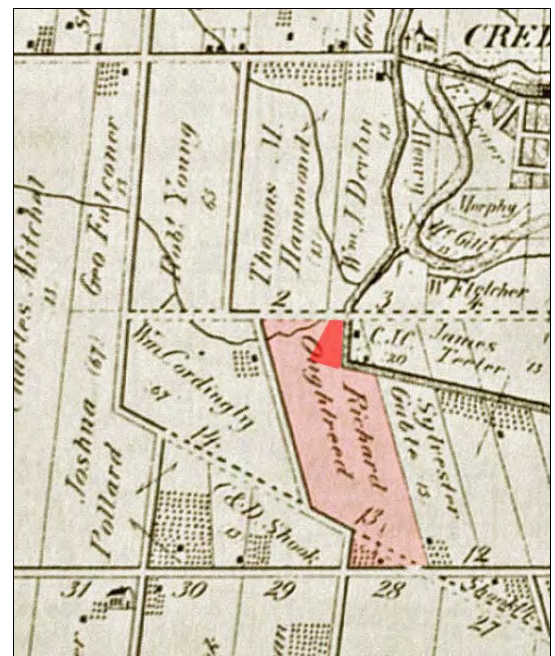


Figure 10 Richard Oughtred farm - 1877 subject properties in darker red

On Richard Oughtred's death the house was sold to his nephew, William Oughtred, son of Stephen Oughtred who lived in Hammondville (Sheridan).

(Mississauga Library System)

Portions of the farm remained in the family until 1976, although some of the lands had been developed by then. Like many of the lands in this area, the Oughtred farm was partially in orchard.



Figure 11

Richard / William Oughtred home
(Mississauga Library System)

Wally Oughtred, along with his late brother Gord, returned home from the Second World War in 1946 to the family owned fruit orchard which occupied a sizeable piece of land stretching from Dundas Street to the Queen Elizabeth Way. They became founding fathers of the Erindale Hockey Association. Wally Oughtred was recognized for his considerable contribution to hockey as one of the 25 Most Influential People in Mississauga Sports during the 25th anniversary of the Mississauga Sports Dinner in 1999.⁵ The brothers formed a real estate / development firm, based on their large land holdings.⁶

The Oughtred farm at Lot 13, Range 3 of the Credit River Indian Reserve was eventually developed for housing and park land in the mid to late 1980s.

The subject properties contribute to the cultural heritage value of the Mississauga Road Scenic Route Cultural Landscape via the mature natural wooded landscape that characterizes this portion of the Scenic Route.

Figure 12 is a survey of the properties, illustrating the current tree cover and topography. As the road curves, it rises towards the south, with the subject properties being approximately 1.5 metres lower than the street at the north end and almost 4 metres lower at the south end. At the westerly edge of the properties, the land slopes steeply downwards to a tributary of the Credit River.

⁵ <http://www1.sportmississauga.org> Mississauga Sports Council, accessed June 13, 2012

⁶ Oughtred Brothers Limited, 905-822-1316, 1900 Dundas St W, Suite 245, Mississauga, ON

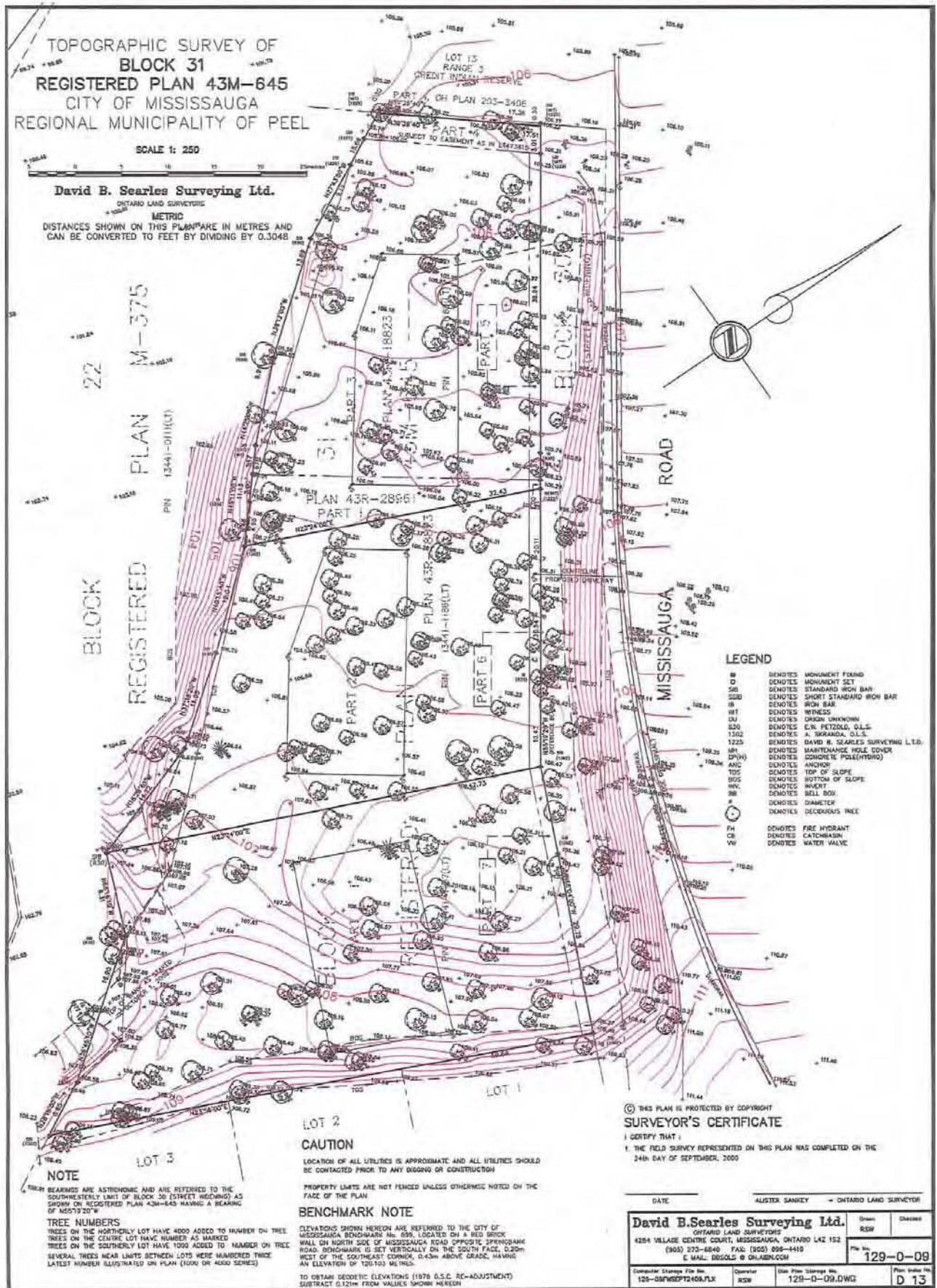


Figure 12

Site Survey - David B. Searles Surveying Ltd., 24 September 2009

In the vicinity of the subject properties, from north to south, the road flows along the west bank of the Credit River, then through the valley of a tributary creek, across a Hydro corridor and up the valley slope to table land and Springbank Meadows Park (Figure 13). The streetscape, throughout this length is characterized by extensive tree cover with relatively modern housing to the north and south and a few interspersed between. A University of Toronto campus is on the east side in the north. Springbank Meadows Park is on the west side in the south.



Figure 13

Mississauga Road streetscape, vicinity of subject properties - Google Maps

The Mississauga Road Scenic Route is one of the oldest roads in Mississauga, its alignment being curvilinear in the south following the west bank of the Credit River and its tributaries. (Figures 14 - 22).



Figure 14
residential streetscape north of subject
properties, opposite U of T campus



Figure 15 Hydro corridor - east side, Mississauga Road



Figure 16 Hydro corridor - west side, Mississauga Road



Figure 17 residential - south of subject properties



Figure 18 residential - south of subject properties



Figure 19 south of Sherwood Forrest



Figure 20 Springbank Meadow Park



Figure 21 entry to Sherwood Forrest community



Figure 22 Seven Oaks Drive & entry to Sherwood Forrest

The Mississauga Road Scenic Route Cultural Landscape character at and adjacent the subject properties is partially captured in the following photographs (Figures 23 - 26).



Figure 23 subject properties - looking north



Figure 24 subject properties - looking south

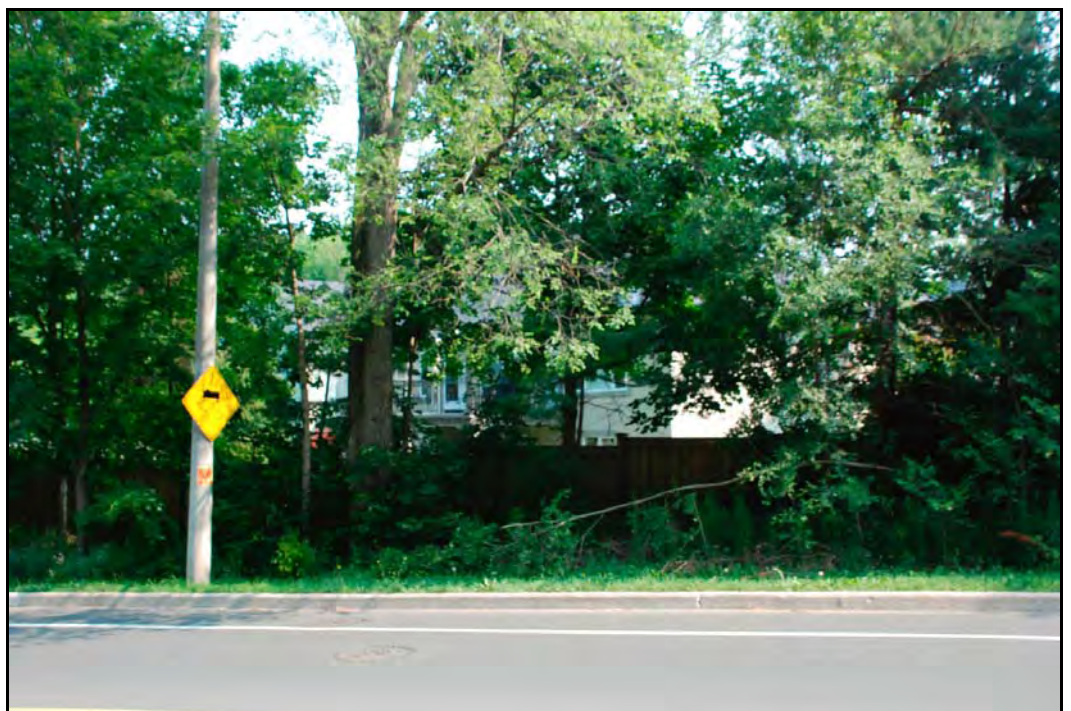


Figure 25 east side of Mississauga Road opposite subject properties



Figure 26

east side of Mississauga Road opposite subject properties

2.3 Addressing the Cultural Landscape criteria ⁷

Cultural Heritage Landscape Inventory Heritage Impact Statements must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and / or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The checked criteria for the Mississauga Road Scenic Landscape are:

LANDSCAPE ENVIRONMENT

- Scenic and Visual Quality
- Horticultural Interest
- Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- Illustrates Style, Trend or Pattern
- Illustrates Important Phase in Mississauga's Social or Physical Development

BUILT ENVIRONMENT

- Aesthetic/Visual Quality

OTHER

- Historic or Archaeological Interest

To conserve the “landscape environment”, “historical association”, “built environment qualities” and

⁷ *Cultural Landscape Inventory, City of Mississauga*, The Landplan Collaborative Ltd., January 2005
http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf. accessed June 25, 2012

“historic or archaeological interest” criteria, the proposed alteration must be consistent with the retention of the appearance of the streetscape to ensure that the character of the street remains intact. The scenic quality of Mississauga Road is notable because it traverses a variety of topography and varying land use. The adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

2.4 Proposed alterations

The undeveloped site is comprised of three lots, upon each of which is to be built a residence. A site plan and elevations of the proposed development are found in Figures 27 through 31. The proposed Site Plan (Figure 31) shows the three houses, their relationship to the street and the valley behind and the existing trees to remain.

The brick and stone, 3-storey houses are substantial, with steeply pitched cedar-shingled roofs, articulated facades, multi-paned windows and tall chimneys. Although unique, they have similar characteristics as other larger homes on Mississauga Road.

Because the site is substantially lower than the road, approximately 4 metres of fill will be placed on the 2610 Mississauga Road building footprint; approximately 2.5 metres of fill on the 2620 Mississauga Road site; and approximately 1 metre on the 2630 site. The existing trees will be removed except for those at the rear of the properties, where more than 50 trees will be retained. Landscape Plans for each of the residences have been prepared by Strybos Barron King, landscape architects. These are illustrated in Figure 34. The streetscape is to be enhanced by a significant amount of planting and low stone walls, with the houses set well back from the street (12 - 18 metres from the curb) and at an elevation 0.25 to 0.8 metres higher than the sidewalk. The existing guard rail is to be removed.



Figure 28



Figure 29



Figure 30



Figure 31

Site Plan ,flanagan, beresford & patterson, architects, July 3, 2013

From a landscape perspective, the Mississauga Road streetscape will be altered. The existing mature vegetation along the road edge will not be retained, but replaced with substantial residential landscape plantings

A plan view shows the relationship of the proposed houses with its neighbours on the street (Figure 32). The proposed front yard setback is consistent houses on both sides of the street. Further description as to how the proposed redevelopment affects the streetscape can be found in paragraph 2.6 - *Impact of development or site alteration*.

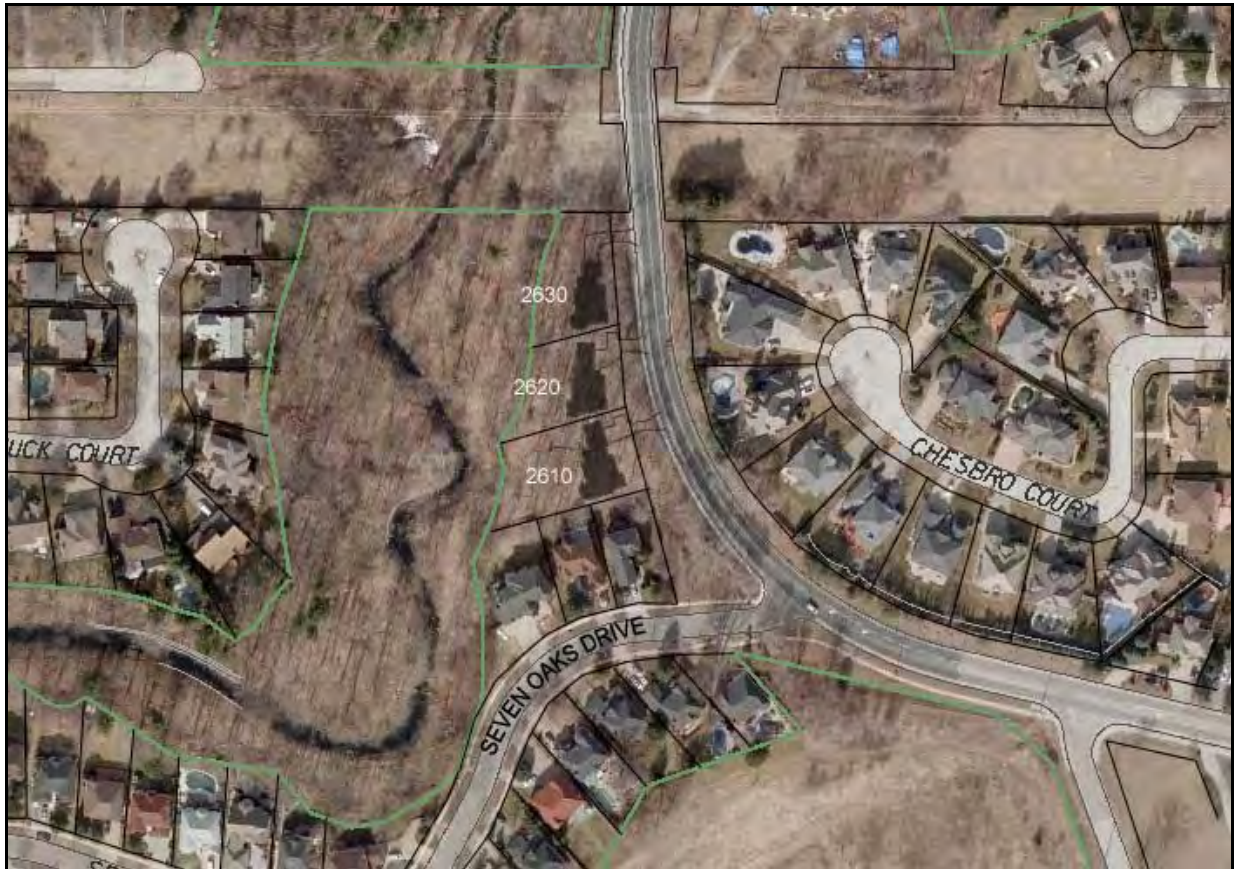


Figure 32 Proposed houses superimposed on 2011 air photo - <http://www.mississauga.ca/portal/services/maps>

2.5 Impact of development or site alteration

Potential negative impacts and an assessment of the proposed site alteration development follows.

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features 	<p>the woodlot that occupies this site is a natural, rather than cultural heritage feature - it is a component; however, of the cultural landscape of Mississauga Road - a substantial portion of the woodlot will be removed</p>

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • Removal of natural heritage features, including trees 	approximately 50 of approximately 180 trees will be preserved
<ul style="list-style-type: none"> • Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance 	historic appearance of this site is a woodlot, which will be mostly replaced by residences
<ul style="list-style-type: none"> • Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden 	no impact expected
<ul style="list-style-type: none"> • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship 	not applicable
<ul style="list-style-type: none"> • Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features 	change in view from woodlot to 3 residences
<ul style="list-style-type: none"> • A change in land use where the change in use negates the property's cultural heritage value 	not applicable
<ul style="list-style-type: none"> • Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources 	removal of woodlot trees, including those within the right-of-way resultant impact of grading required to construct residences

The impact of the proposed development / site alteration is a change in the view from Mississauga Road from a woodlot to three residences.

2.6 Mitigating measures

Alternative methods to minimize the negative impact on the cultural landscape component (view of woodlot) include the following.

- *Alternative development approaches* - any development of these properties will require the removal of a substantial number of woodlot trees due to the fact that the properties are as much as 4 metres lower than the adjacent street.
- *Isolating development and site alteration from the significant built and natural heritage features and vistas* - while development cannot be successfully isolated at the outset, mitigating measures in the form of a re-planting scheme could provide a degree of isolation.
- *Design guidelines that harmonize mass, setback, setting and materials* - the mass, setback, setting and materials of the residences is in keeping with similar developments along the Mississauga Road scenic route.

To mitigate the change in view and loss of woodlot trees, a native tree re-planting scheme in the Mississauga Road right-of-way is suggested (Figure 33 - Streetscape Plan). The view, in the longer term, would be consistent with much of the Mississauga Road streetscape in this area of the cultural landscape (see Figures 22 and 26). The Landscape Plan (Figure 34) responds to this recommendation/mitigating measure.



Figure 33

suggested woodlot re-planting in Mississauga Road right-of-way



Figure 34

Landscape Plan, Strybos, Barron, King Landscape Architects, June 26, 2013

3.0 RECOMMENDATION

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.⁸

The PPS defines “built heritage resource” as one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal Jurisdictions. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The properties do not contain a built heritage resource that has cultural value and interest per the criteria for heritage designation under the Ontario Regulation 9/06 of the *Ontario Heritage Act*.

The terms of reference require the consultant to provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06. The following questions should be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?

Ontario Regulation 9/06 states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. *The property has design value or physical value because it,*
 - *is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - *displays a high degree of craftsmanship or artistic merit, or*
 - *demonstrates a high degree of technical or scientific achievement.*
- *The property has historical value or associative value because it,*
 - *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*

⁸ *Provincial Policy Statement (PPS, 2005) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*

- *The property has contextual value because it,*
 - *is important in defining, maintaining or supporting the character of an area,*
 - *is physically, functionally, visually or historically linked to its surroundings, or*
 - *is a landmark.*

The properties do not meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The properties do not contain a built cultural heritage resource. It is a natural landscape and a component of the Mississauga Road cultural landscape.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement.*

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The essence of the landscape of the properties, which is comprised of a woodlot of native trees, is worthy of conservation. While it cannot be developed and preserved, mitigating measures to preserve as many trees at the rear of the properties as possible and to re-plant the Mississauga Road right-of-way will restore the view from the road in the longer term.

This Cultural Landscape Heritage Impact Statement is respectfully submitted by:

The Landplan Collaborative Ltd.



per: Owen R. Scott, OALA, FCSLA, CAHP

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Leading today for tomorrow



Cultural Landscape Heritage Impact Statement Terms of Reference

Introduction

The City of Mississauga adopted a Cultural Landscape Inventory in 2005. Cultural landscapes include neighbourhoods, roadways, waterways and more. The Cultural Landscape Inventory is available online at http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.

All of the properties listed on the Cultural Landscape Inventory are listed on the City's Heritage Register. As such, as per section 3.20.2.2 of the Mississauga Plan, applications to develop such property require a Heritage Impact Statement. Properties adjacent to a property identified on the City's Heritage Register as a cultural heritage landscape may also require a Heritage Impact Statement.

- **General requirements include:**

- Property owner contact information
- A location map
- A site plan of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing, and topographical features
- A written and visual inventory (photographs) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal photographs and floor plans are also required.
- A site plan and elevations of the proposed development
- For cultural landscapes or features that transcend a single property, a streetscape plan is required, in addition to photographs of the adjacent properties
- Qualifications of the author completing the report
- Three hard copies and a PDF

The City reserves the right to require further information, or a full Heritage Impact Statement.

2. Addressing the Cultural Landscape or Feature Criteria

Cultural Heritage Landscape Inventory Heritage Impact Statements must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape and/or feature. Each cultural heritage landscape and feature includes a checklist of criteria. The Heritage Impact Statement need only address the checked criteria for the pertinent cultural heritage landscapes or features. (Please note, some properties constitute more than one cultural heritage landscape.) Criteria include the following:

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference**Landscape Environment**

- scenic and visual quality
- natural environment*
- horticultural interest
- landscape design, type and technological interest

Built Environment

- aesthetic/visual quality
- consistent with pre World War II environs
- consistent scale of built features
- unique architectural features/buildings
- designated structures

Historical Associations

- illustrates a style, trend or pattern
- direct association with important person or event
- illustrates an important phase of social or physical development
- illustrates the work of an important designer

Other

- historical or archaeological interest**
- outstanding features/interest
- significant ecological interest
- landmark value

Descriptions of these criteria are available in the Cultural Landscape Inventory document (pages 13 to 16).

* For cultural landscapes or features noted for their natural environment, a certified arborist's report is required.

** For cultural heritage landscapes or features with archaeological interest, a stage 1 archaeological assessment is required.

3. Property Information

The proponent must include a list of property owners from the Land Registry office. Additional information may include the building construction date, builder, architect/designer, landscape architect, or personal histories.

4. Impact of Development or Site Alteration

An assessment identifying any impact the proposed development or site alteration may have on the cultural heritage resource(s). Negative impacts on a cultural heritage resource(s) as stated in the Ontario Heritage Tool Kit include, but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features
- Removal of natural heritage features, including trees
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use where the change in use negates the property's cultural heritage value
- Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources

The proponent must demonstrate how the new proposed built form reflects the values of the identified cultural landscape and its characterizations that make up that cultural landscape.

5. Mitigation Measures

The Heritage Impact Statement must assess alternative development options and mitigation measures in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on cultural heritage resources, noted by the Ministry of Culture, include but are not limited to the following:

- Alternative development approaches
- Isolating development and site alteration from the significant built and natural heritage features and vistas
- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

6. Qualifications

The qualifications and background of the person(s) completing the Heritage Impact Statement will be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The Statement will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

7. Recommendation

The consultant should provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions should be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under Ontario Regulation 9/06, Ontario Heritage Act?
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.”

Mississauga Cultural Landscape Heritage Impact Statement Terms of Reference

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Statement.

8. Approval Process

Three copies of the Heritage Impact Statement will be provided to Heritage staff, along with a PDF version. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Statement will be reviewed by City staff to determine whether all requirements have been met and to evaluate the preferred option(s). The applicant will be notified of Staff's comments and acceptance, or rejection of the report.

All Heritage Impact Statements will be sent to the City Heritage Advisory Committee for information.

An accepted Heritage Impact Statement will become part of the further processing of a development application under the direction of the Planning and Building Department. The recommendations within the final approved version of the Heritage Impact Statement will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

References:

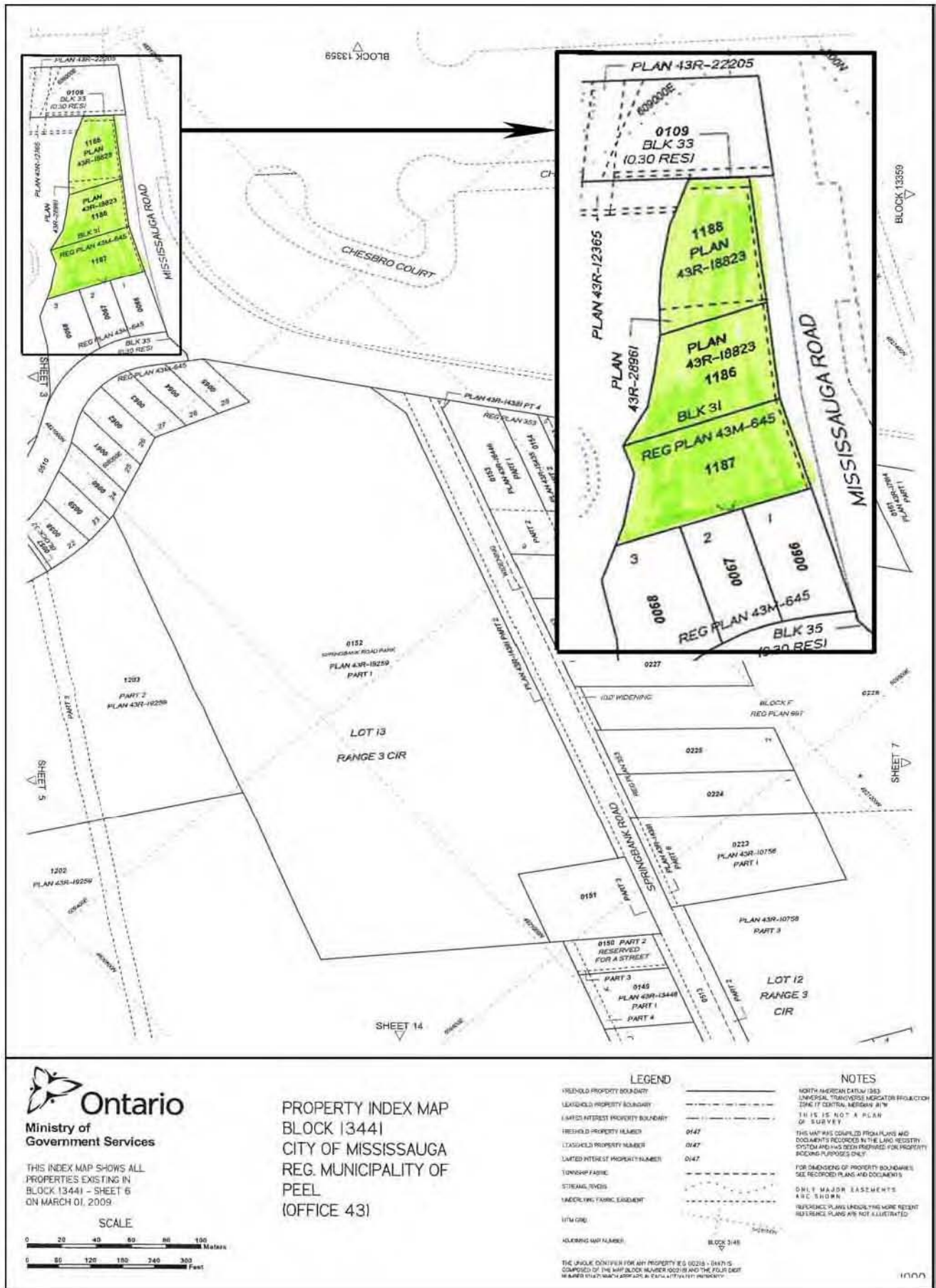
Applicants looking for professional assistance may wish to refer to the Canadian Association of Heritage Professionals website: www.caphc.ca.

For more information on Heritage Planning at the City of Mississauga, visit us online at www.mississauga.ca/heritageplanning.

CHAINS of TITLE - PINS 13441-1186, 13441-1187 & 13441-1188

date	action	from - to	instrument no.
31 Aug 1938	Grant	Estate of W. G. Oughtred to Arthur W. Oughtred	38621
31 Jan 1951	Grant	Arthur W. Oughtred to Arthur W. Oughtred/Oughtred Fruit Farms	61629
21 May 1958	Grant	Oughtred Fruit Farms to Guismont Holdings Limited	110624
04 May 1976	Grant	Guismont Holdings Limited to Magic Meadows Limited	390501VS
11 June 1976	Quit Claim Deed	Oughtred Fruit Farms to Magic Meadows Limited	VS394546
06 Sept 1978	Notice of Application	Magic Meadows Limited and Urban Equities Limited applied to be registered owners in fee simple	488646
12 Dec 1978	Certificate of First Registration	Magic Meadows Limited registered owner	500970
28 Nov 1980	Plan	Reference Plan recorded	43R-8632
12 Feb 1983	Easement	Magic Meadows Limited to Corporation of the City of Mississauga	473815
11 April 1985	Transfer	Magic Meadows Limited to Wilsondale Investments Inc.	LT554860
04 April 1989	Transfer	Wilsondale Investments Inc. to John Eric Hanson	LT992997
10 Jan 2001	Transfer	John Eric Hanson to Diane Helen Hanson	PR31933
30 Mar 2010	Transfer	Diane Helen Hanson to John Charles Posocco	PR1797230
30 Mar 2010	Transfer	John Eric Hanson to Domenic Malfara	PR1797225
30 Mar 2010	Transfer	John Eric Hanson to Ron Fisico	PR1797239
02 Aug 2011	Transfer	Domenic Malfara to Ron Fisico	PR2048427
02 Aug 2011	Transfer	Ron Fisico to Domenic Malfara	PR2048599

CHAINS of TITLE - PINS 13441-1186, 13441-1187 & 13441-1188





Mississauga Road Scenic Route

F-TC-4

Heritage or Other Designation Scenic Road

Location Parallels the Credit River on its west bank

Landscape Type Transportation

LANDSCAPE ENVIRONMENT

- Scenic and Visual Quality
- Natural Environment
- Horticultural Interest
- Landscape Design, Type and Technological Interest

BUILT ENVIRONMENT

- Aesthetic/Visual Quality
- Consistent Early Environs (pre-World War II)
- Consistent Scale of Built Features
- Unique Architectural Features/Buildings
- Designated Structures

HISTORICAL ASSOCIATION

- Illustrates Style, Trend or Pattern
- Direct Association with Important Person or Event
- Illustrates Important Phase in Mississauga’s Social or Physical Development
- Illustrates Work of Important Designer

OTHER

- Historical or Archaeological Interest
- Outstanding Features/Interest
- Significant Ecological Interest
- Landmark Value



Mississauga Road Scenic Route

F-TC-4

SITE DESCRIPTION

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

Qualifications of the Author

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (M.L.A.) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (B.S.A.) University of Guelph, 1965

Professional Experience:

1977 - present President, The Landplan Collaborative Ltd., Guelph, Ontario

1965 - present President, Canadian Horticultural Consulting Company Limited, Guelph, Ontario

1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC

1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, Ontario

1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph

1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, Ontario

1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, Ontario

Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise

Current Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation

Member: Canadian Association of Heritage Professionals (formerly CAPHC)

Member: Association for Preservation Technology

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Personal and Professional Honours and Awards (Heritage):

National Award 2009 Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON

Award of Merit 2009 Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON

Award 2001 Ontario Heritage Foundation Certificate of Achievement

Award 1998 Province of Ontario, Volunteer Award (10 year award)

Award 1994 Province of Ontario, Volunteer Award (5 year award)

Regional Merit 1990 Canadian Society of Landscape Architects (CSLA), Britannia School Farm Master Plan

National Honour 1990 CSLA Awards, Confederation Boulevard, Ottawa

Citation 1989 City of Mississauga Urban Design Awards, Britannia School Farm Master Plan

Honour Award 1987 *Canadian Architect*, Langdon Hall Landscape Restoration, Cambridge, ON

Citation 1986 *Progressive Architecture*, The Ceremonial Routes (Confederation Boulevard), Ottawa,

National Citation 1985 CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK

National Merit 1984 CSLA Awards, St. James Park Victorian Garden, Toronto, ON

Award 1982 Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Selected Heritage Publications:

Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.

Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.

Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.

Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.

Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.

Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc.

Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the Architectural Conservancy of Ontario Inc.

Qualifications of the Author

- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter*, American Society of Landscape Architects - Ontario Chapter, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the many heritage landscape projects undertaken by Owen R. Scott** in his capacity as a landscape architect with Project Planning Associates Ltd., as principal of Owen R. Scott & Associates Limited, principal of CHC Limited, and as principal of The Landplan Collaborative Ltd.

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Alton Mill Landscape, Caledon, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- Cruickston Park Farm - Cultural Heritage Resources Study, Cambridge, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- Feasibility Study for a Heritage Resource Centre, Regional Municipality of Waterloo, ON
- George Brown House Landscape Restoration, Toronto, ON
- Government of Ontario Light Rail Transit Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- John Galt Park, City of Guelph, ON
- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- St. George's Square, City of Guelph, ON

Qualifications of the Author

- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, MVA/Saskatoon, SK
- University of Toronto Heritage Conservation District Study, City of Toronto, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice

Heritage Impact Assessments, Heritage Impact Statements and Heritage Conservation Plans:

- Barra Castle Heritage Impact Assessment, Kitchener, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment, Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Hancock Woodlands Cultural Heritage Assessment and Heritage Impact Statement, City of Mississauga, ON
- Hart Farm Heritage Impact Assessment, Guelph, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- University of Guelph, Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- 927 Victoria Road South Heritage Impact Assessment, Guelph, ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON

Expert Witness Experience:

Owen R. Scott has been called as an expert witness at a number of hearings and trials. These include **Ontario Municipal Board Hearings, Conservation Review Board Hearings, Environmental Assessment Board** and **Environmental Protection Act Board Hearings**, and civil and criminal trials. The heritage evidence he has presented has been related to cultural heritage issues where historical and landscape resources were evaluated.

Owen R. Scott