

## AGENDA

## HERITAGE ADVISORY COMMITTEE

## THE CORPORATION OF THE CITY OF MISSISSAUGA

## TUESDAY, JULY 23, 2013 – 9 A.M.

## COUNCIL CHAMBER SECOND FLOOR, CIVIC CENTRE 300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1 www.mississauga.ca

Members

Councillor George Carlson, Ward 11 (CHAIR) Councillor Jim Tovey, Ward 1 (VICE-CHAIR) Robert Cutmore, Citizen Member David Dodaro, Citizen Member Mohammad N. Haque, Citizen Member James Holmes, Citizen Member Rick Mateljan, Citizen Member Cameron McCuaig, Citizen Member Deanna Natalizio, Citizen Member Michael Spaziani, Citizen Member Michelle Walmsley, Citizen Member Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Julie Lavertu, Legislative Coordinator Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181 Julie.Lavertu@mississauga.ca

## CALL TO ORDER

## DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

## PRESENTATIONS/DEPUTATIONS

A. Mark Howard, Project Lead, Credit River Parks Strategy, and Planner, Long Term Planning, Park Planning Section, with respect to the Credit River Parks Strategy Update.

## MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held June 18, 2013.

## **RECOMMEND APPROVAL**

2. <u>Request to Alter a Heritage Designated Property, Old Derry Road Right-of-Way, Ward</u> <u>11</u>

Corporate Report dated June 18, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property, the Old Derry Road right-of-way.

## RECOMMENDATION

That the request to alter the Old Derry Road right-of-way, as described in the report from the Commissioner of Community Services, dated June 18, 2013, be approved, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

## RECOMMEND APPROVAL

3. <u>Request to Alter a Heritage Designated Property, Meadowvale Village Heritage</u> <u>Conservation District, 7005 Pond Street, Ward 11</u>

Corporate Report dated July 2, 2013 from the Commissioner of Community Services with respect to a request to alter a heritage designated property in the Meadowvale Village Heritage Conservation District located at 7005 Pond Street.

## **RECOMMENDATION**

That the request to alter the property at 7005 Pond Street, as described in the report from the Commissioner of Community Services, dated July 2, 2013, be allowed to proceed in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law

(3.) entitled "Delegation to Staff during Summer and Election Recess."

## RECOMMEND APPROVAL

4. <u>Request to Demolish a Heritage Listed Property, 1389 Glenwood Drive, Ward 1</u>

Corporate Report dated June 18, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1389 Glenwood Drive.

## RECOMMENDATION

That the property at 1389 Glenwood Drive, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal Bylaw 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

## **RECOMMEND APPROVAL**

5. <u>Request to Demolish Outbuildings on a Heritage Listed Property, 2151 Camilla Road,</u> <u>Ward 7</u>

Corporate Report dated July 2, 2013 from the Commissioner of Community Services with respect to a request to demolish outbuildings on a heritage listed property located at 2151 Camilla Road.

## **RECOMMENDATION**

That the shed and three glass greenhouse roofs located on the property at 2151 Camilla Road, which is listed on the City's Heritage Register, are not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

## **RECOMMEND APPROVAL**

6. Request to Demolish a Heritage Listed Property, 1425 Stavebank Road, Ward 1

Corporate Report dated July 3, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1425 Stavebank Road.

## RECOMMENDATION

That the property at 1425 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By (6.) law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

## RECOMMEND APPROVAL

7. <u>Proposed City-Initiated Amendments to Mississauga Official Plan and Zoning By-law</u> 0225-2007 for the Meadowvale Village Neighbourhood Character Area

Memorandum dated June 20, 2013 from Karen Crouse, Community Planner, Policy Planning Division, Planning and Building Department, with respect to proposed Cityinitiated amendments to Mississauga Official Plan and Zoning By-law 0225-2007 for the Meadowvale Village Neighbourhood Character Area.

## RECOMMEND RECEIPT

8. <u>Ontario Ministry of Transportation Notice of Filing: Transportation Environmental Study</u> <u>Report, Highway 403 and Queen Elizabeth Way Improvements from Trafalgar Road to</u> <u>Winston Churchill Boulevard</u>

Correspondence dated June 19, 2013 from Jim Dowell, P. Eng., Consultant Project Manager, McCormick Rankin, with respect to the Ontario Ministry of Transportation Notice of Filing: Transportation Environmental Study Report, Highway 403 and Queen Elizabeth Way improvements from Trafalgar Road to Winston Churchill Boulevard.

## RECOMMEND RECEIPT

9. <u>Heritage Planning Workshop: Huntsville</u>

Correspondence dated June 19, 2013 from the Heritage Resources Centre with respect to the Heritage Planning Workshop: Huntsville on August 15-16, 2013 at the Waterloo Summit Centre for the Environment in Huntsville, Ontario.

## **DIRECTION REQUIRED**

## 10. <u>Status of Outstanding Issues from the Heritage Advisory Committee</u>

Chart dated July 23, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

## RECOMMEND RECEIPT

## SUBCOMMITTEE UPDATES FROM CHAIRS

11. <u>Heritage Designation Subcommittee</u>

## 12. <u>Heritage Tree Subcommittee</u>

12.1 Correspondence dated July 9, 2013 from Sean Stuckless, Ward 6 resident, with respect to participation request, Heritage Tree Subcommittee.

DIRECTION REQUIRED

- 13. <u>Meadowvale Village Heritage Conservation District Review Committee</u>
- 14. <u>Public Awareness Subcommittee</u>

## **INFORMATION ITEMS**

15. CBC News Article on Modernist Designation in Waterloo Region

Memorandum dated June 28, 2013 from Laura Waldie, Heritage Coordinator, with respect to a CBC news article on a modernist designation in Waterloo Region.

## RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, September 17, 2013 at 9 a.m., Council Chamber

## OTHER BUSINESS

## ADJOURNMENT

## IT IS RECOMMENDED THAT HERITAGE ADVISORY COMMITTEE MEMBERS VISIT THE PROPERTIES LISTED ON THE AGENDA PRIOR TO THE MEETING.

Heritage Advisory Committee			
JUL	2	3	2013



## **MINUTES**

## HERITAGE ADVISORY COMMITTEE THE CORPORATION OF THE CITY OF MISSISSAUGA TUESDAY, JUNE 18, 2013 – 9 A.M. COUNCIL CHAMBER SECOND FLOOR, CIVIC CENTRE 300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1 www.mississauga.ca MEMBERS PRESENT: Councillor George Carlson, Ward 11 (CHAIR) Robert Cutmore, Citizen Member David Dodaro, Citizen Member James Holmes, Citizen Member Cameron McCuaig, Citizen Member Michael Spaziani, Citizen Member Matthew N. Wilkinson, Citizen Member MEMBERS AB Councillor Jim Tovey, Ward 1 (VICE-CHAIR) (Other Municipal Business) Mohammad N. Haque, Citizen Member Rick Mateljan, Citizen Member Deanna Natalizio, Citizen Member Michelle Walmsley, Citizen Member Elaine Eigl, Heritage Coordinator STAFF PRESENT: Paula Wubbenhorst, Senior Heritage Coordinator

CONTACT PERSON: Julie Lavertu, Legislative Coordinator Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181 Julie.Lavertu@mississauga.ca

## CALL TO ORDER - 9:25 a.m.

## DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST

Mr. Spaziani and Mr. Dodaro declared a conflict on Item 2 and left the Council Chamber during discussion of this item.

## PRESENTATIONS/DEPUTATIONS - Nil

## MATTERS CONSIDERED

1. <u>Approval of Minutes of Previous Meeting</u>

Minutes of the meeting held May 28, 2013

Approved (R. Cutmore)

2. Request to Demolish a Heritage Listed Property, 142 Queen Street South, Ward 11

Corporate Report dated May 21, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 142 Queen Street South.

Ms. Wubbenhorst asked for the Committee's feedback on the two possible elevations illustrated in Appendices 4 and 5. The Chair discussed the elevations. In response to the Chair, Ms. Wubbenhorst responded that Heritage Planning staff does not have a preference on the elevations. The Chair discussed the property, its Site Plan, and the need to demolish and redevelop the property, as it is located in a derelict part of Streetsville.

Mr. Wilkinson suggested that a mural be included in the proposed property, as it would benefit the streetscape and highlight the former Crombie house that was located near the property. He said that he could assist with the imagery, if needed. The Chair and Mr. Wilkinson discussed various heritage properties and their history in Streetsville.

Recommendation

HAC-0050-2013

That the property at 142 Queen Street South, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (J. Holmes)

## 3. Request to Demolish a Heritage Listed Property, 57 Inglewood Drive, Ward 1

Corporate Report dated May 21, 2013 from the Commissioner of Community Services

with respect to a request to demolish a heritage listed property located at 57 Inglewood Drive.

Recommendation

HAC-0051-2013

That the property at 57 Inglewood Drive, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (M. Wilkinson)

4. Request to Demolish a Heritage Listed Property, 63 Veronica Drive, Ward 1

Corporate Report dated May 21, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 63 Veronica Drive.

## Recommendation

HAC-0052-2013

That the property at 63 Veronica Drive, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (C. McCuaig)

5. <u>Request to Demolish a Heritage Listed Property, 1661 Blythe Road, Ward 8</u>

Corporate Report dated May 28, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 1661 Blythe Road

## Recommendation

HAC-0053-2013

That the property at 1661 Blythe Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (M. Wilkinson)

6. Heritage Impact Statement, 6, 8, and 10 Ann Street, Ward 1

Memorandum dated May 28, 2013 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division, with respect to the Heritage Impact Statement for the properties located at 6, 8, and 10 Ann Street.

The Chair discussed the recent change to Committee agendas and, specifically, the fact that large appendices in agendas (e.g., Heritage Impact Statements, Cultural Heritage Assessments, etc.) will no longer be distributed via hard copies. In response to the Chair,

- 3 -

1 - 4

Ms. Lavertu discussed the change and said that it was implemented to support the City's corporate waste reduction efforts and that all large appendices will be available online at the following web link: http://www.mississauga.ca/portal/cityhall/heritageadvisory.

Recommendation

HAC-0054-2013

That the Memorandum dated May 28, 2013 from Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division, entitled "Heritage Impact Statement, 6, 8, and 10 Ann Street (Ward 1)," be received.

<u>Received</u> (C. McCuaig)

7. Queen Elizabeth Way Credit River Bridge, Notice of Filing: Transportation Environmental Study Report, Preliminary Design and Class Environmental Assessment Study

Correspondence dated June 3, 2013 from Michael Chiu, P. Eng., Consultant Project Manager, McCormick Rankin, with respect to the Queen Elizabeth Way Credit River Bridge, Notice of Filing: Transportation Environmental Study Report, Preliminary Design and Class Environmental Assessment Study.

Mr. McCuaig asked if a pedestrian bridge is within the scope of this project. In response, Ms. Wubbenhorst said that she would review this matter. Mr. Spaziani discussed three issues regarding the project that were raised by the Committee in the past: namely, the design of the bridge as an interface with its heritage arches and the possibility of building a Stavebank Road connection under the highway to the north and a connection across the Credit River. In response to Mr. Spaziani, Ms. Wubbenhorst said that she would check to see whether the Committee's concerns regarding the project are part of the public record.

The Chair suggested that Mr. McCuaig and Mr. Spaziani's concerns be sent to Councillor Tovey's office for follow-up because he is the Ward Councillor and is most up-to-date on this matter. Ms. Eigl discussed the purpose of this correspondence, noting that it is to inform the public and stakeholders that the Transportation Environmental Study Report has been prepared to document the study findings and is available for a 45-day public review period beginning June 4, 2013 at various locations and on the project's website.

## Recommendation

### HAC-0055-2013

That the correspondence dated June 3, 2013 from Michael Chiu, P. Eng., Consultant Project Manager, McCormick Rankin, with respect to the Queen Elizabeth Way Credit River Bridge, Notice of Filing: Transportation Environmental Study Report, Preliminary Design and Class Environmental Assessment Study, be received.

<u>Received</u> (M. Spaziani)

### 8. <u>Status of Outstanding Issues from the Heritage Advisory Committee</u>

Chart dated June 18, 2013 from Julie Lavertu, Legislative Coordinator, Heritage

Heritage Advisory Committee

1 - 5

Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Ms. Wubbenhorst discussed the Designated Heritage Property Grants vis-à-vis the eligibility of property owners of recent properties in the Meadowvale Village Heritage Conservation District (MVHCD). She said that this issue was discussed by the MVHCD Review Committee and that consensus was reached that these property owners should be eligible because they are subject to the MVHCD's guidelines. Ms. Wubbenhorst added that the City's grants would be comprehensively reviewed in 2015 and that this issue could be discussed again when this review takes place. She requested that this item be removed from the chart and discussed the MVHCD's guidelines and the grants criteria.

Mr. Holmes expressed support for Ms. Wubbenhorst's comments. The Chair discussed the grants criteria and maintenance requirements in the MVHCD and agreed with Ms. Wubbenhorst's suggestion to defer discussion of this issue until the grants are reviewed.

Mr. Wilkinson said that the Designated Heritage Property Grant Subcommittee's concern was that one of the property owners seeking a 2013 grant had poorly maintained their property which raised issues about whether this was within the scope/intent of the grants.

#### Recommendation

HAC-0056-2013

That the chart dated June 18, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee, be received.

<u>Received</u> (J. Holmes)

## SUBCOMMITTEE UPDATES FROM CHAIRS

- 9. Heritage Designation Subcommittee Nil
- 10. Heritage Tree Subcommittee Nil
- 11. Meadowvale Village Heritage Conservation District Review Committee
  - 11.1 Correspondence dated June 4, 2013 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to the Chung residence located at 7004 Second Line West in Ward 11.

Mr. Holmes discussed the correspondence and said that the MVHCD Review Committee had reviewed the preliminary plans and recommended approval in principle at this time.

### Recommendation

HAC-0057-2013

That the correspondence dated June 4, 2013 from James P. Holmes, Chairman, Meadowvale Village Heritage Conservation District Review Committee, with respect to

the Chung residence located at 7004 Second Line West in Ward 11, be received.

<u>Received</u> (J. Holmes)

11.2 Correspondence dated June 7, 2013 from James P. Holmes, Chairman, and Mike Byrne, Vice-Chairman, Meadowvale Village Community Association, with respect to the Meadowvale Village Draft Heritage Guidelines.

The Chair discussed the MVHCD Plan Review and the past and upcoming consultations and meetings with residents. He also discussed the challenge of inaccurate information being circulated and the need to review and amend the draft MVHCD Plan before it is formally adopted. The Chair also discussed the importance of the MVHCD Plan Review and concerns regarding lot severances vis-à-vis the Plan Review and proposed guidelines.

Mr. Holmes discussed the matter, praised the Chair for his role in the process thus far, and discussed the overall value of the Plan Review and proposed MVHCD guidelines. Mr. Spaziani discussed the guidelines vis-à-vis limits on area of properties below grade.

#### Recommendation

HAC-0058-2013

That the correspondence dated June 7, 2013 from James P. Holmes, Chairman, and Mike Byrne, Vice-Chairman, Meadowvale Village Community Association, with respect to the Meadowvale Village Draft Heritage Guidelines, be received.

Received (J. Holmes)

12. <u>Public Awareness Subcommittee</u> – Nil

## INFORMATION ITEMS

The Chair noted that the June 2013 edition of the CHO*news* was distributed to Committee members and staff by Ms. Lavertu for their information and review.

DATE OF NEXT MEETING Tuesday, July 23, 2013 at 9 a.m., Council Chamber

In response to the Chair, Ms. Lavertu confirmed that the Committee currently has meetings scheduled in July and August 2013. Ms. Wubbenhorst said that various matters were being finalized for the Committee's meeting in July. The Chair suggested that the meetings in July and August be combined, if at all possible, to avoid issues with quorum due to vacations and to provide Committee members with a break during the summer.

### OTHER BUSINESS – Nil

ADJOURNMENT – 9:48 a.m. (R. Cutmore)



Clerk's Files

Origi**na**tor's Files Heritage Advisory Committee JUL 2 3 2013

DATE:	June 18, 2013
то:	Chair and Members of the Heritage Advisory Committee Meeting Date: July 23, 2013
FROM:	Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services
SUBJECT:	Request to Alter a Heritage Designated Property Old Derry Road Right-of-Way (Ward 11)
RECOMMENDATION:	That the request to alter the Old Derry Road right-of-way, as described in the report from the Commissioner of Community Services, dated June 18, 2013, be approved, in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."
BACKGROUND:	The City designated the subject property under Part V of the <i>Ontario</i> <i>Heritage Act</i> in 1980 as part of the Meadowvale Village Heritage Conservation District (HCD). As such, any changes are subject to approval by Council, in consultation with the City's Heritage Advisory Committee and the Meadowvale Village HCD Review Committee.
COMMENTS:	At the request of the Meadowvale Village Community Association, the City's Transportation and Works Department seeks to install two directional signs on Old Derry Road. (The signs are intended to direct the public to the Meadowvale Conservation Park, which is north of the village, accessed from Second Line West.) One sign is proposed east of Second Line West, approximately forty metres from the intersection, on a new four by four post. The other is proposed west of the intersection on an existing utility pole. The proposed locations are

Heritage Advisory Committee

- 2 -

shown in the aerial photograph, attached as Appendix 1.

As per the letter, attached as Appendix 2, the Meadowvale Village HCD Review Committee recommends the plain sign, without a logo, shown at the bottom of Appendix 3.

The 2003 Meadowvale Village Heritage Conservation District Guidelines do not make reference to directional signs. However, they do state that "street name signs should always be simple in design." The proposed sign, selected by the Review Committee, is plain and simple, therefore Heritage Planning staff recommend the signs and the required post be approved.

FINANCIAL IMPACT: There is no financial impact.

## CONCLUSION:

The Meadowvale Village Community Association has requested directional signs, pointing the way to the Meadowvale Conservation Park. The sign, recommended by the Review Committee, is simple and does not detract from the heritage character of the village. As such, the installation of these signs should be approved.

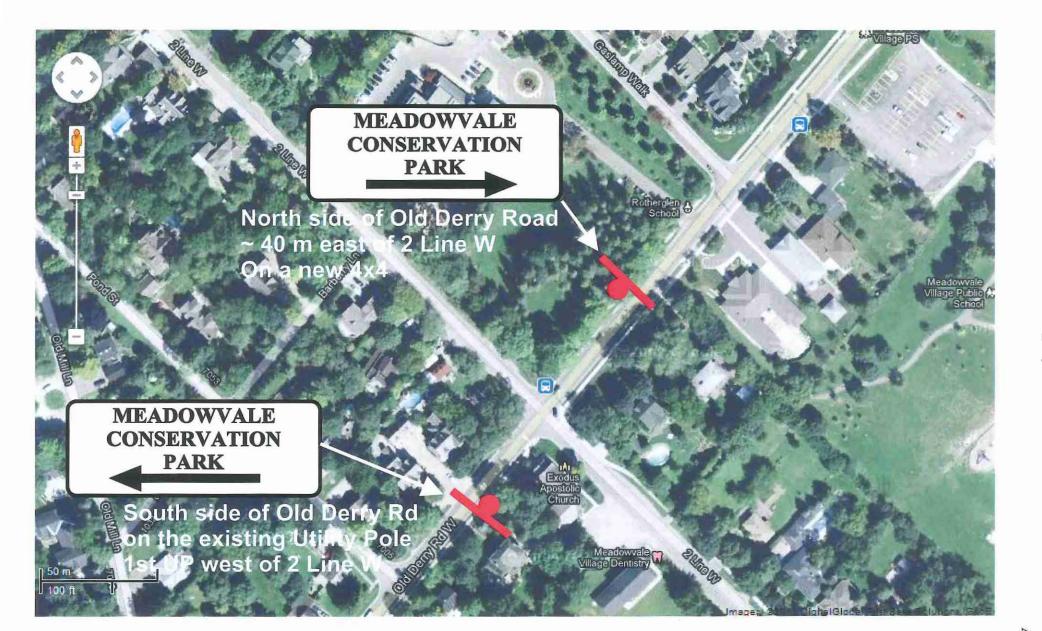
## **ATTACHMENTS:**

Appendix 1: CVC Directional Sign Proposed LocationsAppendix 2: Meadowvale Village HCD Review Committee LetterAppendix 3: CVC Directional Sign Proposed Designs



Paul A. Mitcham, P.Eng, MBA Commissioner of Community Services

Prepared By: P. Wubbenhorst, Senior Heritage Coordinator



**APPENDIX 1** 



March 15, 2013.

Heather Coupey, Community Development Co-ordinator Recreation & Parks 201 City Centre Drive Mississauga, ON L5B 2T4

Dear Heather:

Re: CVC Directional Signs

The Heritage Review Committee met March 13<sup>th</sup> and reviewed the proposed signs indicating the direction to the Credit Valley Conservation area.

This Committee recommends the simple black letters on white background as shown on the attached illustration.

Thank you for your assistance in this regard, and should Further information or input be required, please do not hesitate to contact me.

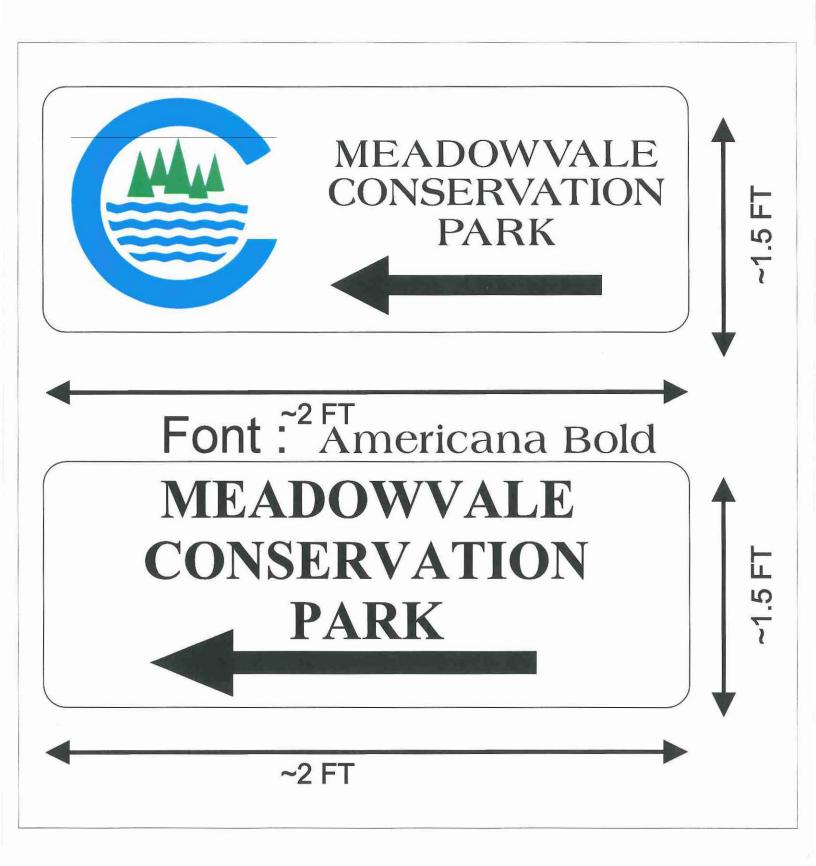
Yours truly,

MEADOWVALE VILLAGE H.C.D.R.C.

Jas. P. Holmes, Chairman

cc Councillor George Carlson Mississauga HAC

**APPENDIX 3** 



Clerk's Files

Originator's Files

DATE:	July 2, 2013
то:	Chair and Members of the Heritage Advisory Committee Meeting Date: July 23, 2013
FROM:	Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services
SUBJECT:	Request to Alter a Heritage Designated Property Meadowvale Village Heritage Conservation District 7005 Pond Street (Ward 11)
RECOMMENDATION:	That the request to alter the property at 7005 Pond Street, as described in the report from the Commissioner of Community Services, dated July 2, 2013, be allowed to proceed in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."
BACKGROUND:	The subject property is one of the original mid-nineteenth century stacked plank-on-plank structures located within the Meadowvale Village Heritage Conservation District. This structure is indicated on the 1856 Bristow Survey of the Village. This residence was the home of William McKee who was the Village carpenter from 1878 until 1915 and was known for his window sashes. It is a one-and-one-half storey structure with a stone foundation and stucco façade (a location map is attached as Appendix 1). The City designated the property, as part of the Meadowvale Village Heritage Conservation District, in 1980.
COMMENTS:	The property owners seek to build an addition onto the main structure, set off to the north side and behind the original portion. The exterior of the new one and a half storey addition will be clad in board and batten.

3 - 1





Heritage Advisory Committee

- 2 -

3 - 2

Designed by architect Bill Hicks, the proposed addition has been carefully planned to add living space yet respect the original nineteenth century dwelling. The proposed addition does not dominate or compete with the original building. The Meadowvale Village Heritage Conservation District Review Committee has provided a letter of support for the addition provided that the addition will be clad in board and batten (Appendix 2).

A Heritage Impact Statement was prepared for the owner by ATA Architects and is attached (Appendix 3). It indicates that the addition was designed to retain, protect and maintain the heritage attributes of the structure and to be in keeping with the neighbourhood residences. Staff believe the addition is in keeping with the overall structure and so recommend approval of the request. Additionally, architectural drawings prepared by architect Bill Hicks are attached (Appendix 4).

FINANCIAL IMPACT: There is no financial impact.

**CONCLUSION:**The property owners seek to build an addition onto the main structure,<br/>set off to the north side and behind the original portion. The exterior of<br/>the new one and a half storey addition will be clad in board and batten.<br/>As the subject property forms part of the Meadowvale Village heritage<br/>conservation district, and is thus designated under the *Ontario*<br/>*Heritage Act*, a heritage permit is required. Review of the proposal<br/>reveals that the proposal complies with the Meadowvale Village<br/>Heritage Conservation District Design Guidelines. Staff recommends<br/>approval of the request to alter the property.

ATTACHMENTS:Appendix 1:Location MapAppendix 2:Letter from MVHCD Review CommitteeAppendix 3:Heritage Impact StatementAppendix 4:Architectural Drawings



Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

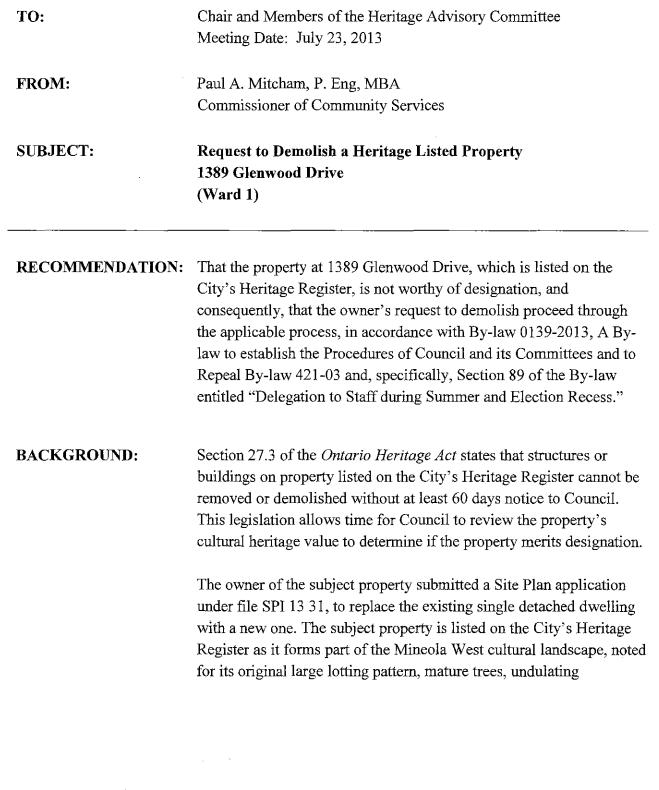
*Corporate Report* 

June 18, 2013

DATE:

Clerk's Files

Originator's Files Heritage Advisory Committee



Heritage Advisory Committee

4 - 2

-2-

topography and overall character of early twentieth century development.

### **COMMENTS:**

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by James Bailey Architect, is attached as Appendix 1. It is the consultant's conclusion that the house at 1389 Glenwood Drive is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure that the project respects the character of the surrounding community.

#### FINANCIAL IMPACT:

There is no financial impact.

## CONCLUSION:

The owner of 1389 Glenwood Drive has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

## ATTACHMENTS:

Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services

Prepared By: P. Wubbenhorst, Senior Heritage Coordinator



Clerk's Files

Heritage Advisory Committee

Originator's Files

DATE:	July 2, 2013
то:	Chair and Members of the Heritage Advisory Committee Meeting Date: July 23, 2013
FROM:	Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services
SUBJECT:	Request to Demolish Outbuildings on a Heritage Listed Property 2151 Camilla Road (Ward 7)

**RECOMMENDATION:** That the shed and three glass greenhouse roofs located on the property at 2151 Camilla Road, which is listed on the City's Heritage Register, are not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process in accordance with By-law 0139-2013, A By-law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."

**BACKGROUND:** Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least a 60 day notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the structure in question merits designation.

> In 2010, the City of Mississauga acquired all of the woodland area and the nursery area of this property which forms Plan 43R-32995, Parts 1 and 2. The subject property is listed on the City's Heritage Register as a significant cultural landscape with its woods, natural pathways,

5 - 1

Heritage Advisory Committee

July 2, 2013

gardens and abundant assortment of floral species. This property is approximately ten acres and until 2010, was a commercial site known as Hancock Woodlands, a nursery, but also residence to the Hancock family. Macklin Hancock, the nursery's founder in 1930, was an internationally noted planner who was a leader in the development of the 1950s Don Mills community. The property exists as an oasis of natural and built heritage. One of the conditions of sale to the City of Mississauga was that the property's wood lot be designated under the Ontario Heritage Act in order to protect its natural heritage value.

Through a Placemaking consultative process held by Park Planning, a park program and block plan was developed for the future park (attached as Appendix 1). Plans for this property includes the retention of the existing woodland, walking trails, passive recreational uses for the remainder of the site and option for the existing Header House, Greenhouses and Office building. Park Development is currently preparing an RFP for the park design of the site. Once this park development plan has been approved, the plan is to seek designation of the property under Part IV of the Ontario Heritage Act. In the meantime, Park Planning is requesting demolition of the Shed and glass roofs of the three Greenhouses based on recommendations from the Building Condition Report (Appendix 2).

**COMMENTS:** The property contains a number of detached buildings such as the Office, Header House, Greenhouses, Potting Sheds, Cold Frame remnants and storage sheds.

In August 2012, Golder Associates conducted a site analysis of the structures on the property and produced a Building Condition Report which was submitted to Facilities and Property Management. The report states that the Shed and Greenhouse roofs are beyond the point of possible repair and it is Hertage Planning staff's conclusion that these structure do not hold enough cultural heritage significance under the Ontario Heritage Act to warrant designation.

Park Planning is seeking to demolish the Shed and three Greenhouse roofs as shown in the photographs (Appendix 3). At this time, Heritage Planning staff is supportive of the application for demolition of the Shed and Greenhouse roofs on the condition that the glass

5 - 2

Heritage Advisory	y Committee
-------------------	-------------

panels from the Greenhouses are salvaged where possible and donated to a heritage salvaging company for adaptive reuse in other structures.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 2151 Camilla Road has requested permission to demolish the Shed and Greenhouse roofs on a property listed on the City's Heritage Register. Staff is supportive of the removal of these structures. The plan, however, is to seek designation of the property once Heritage Planning staff have had time to conduct thorough research of the property and write a supporting Cultural Heritage Assessment report.

**ATTACHMENTS:** 

Appendix 1: Preliminary Development Plan for the siteAppendix 2: Building Condition Report by Golder and AssociatesAppendix 3: Photos of structures proposed for demolition



Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator



,

Clerk's Files

Originator's Files Heritage Advisory Committee JUL 2 3 2013

DATE:	July 3, 2013
то:	Chair and Members of the Heritage Advisory Committee Meeting Date: July 23, 2013
FROM:	Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services
SUBJECT:	Request to Demolish a Heritage Listed Property 1425 Stavebank Road (Ward 1)
<b>RECOMMENDATION:</b>	That the property at 1425 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of designation, and consequently, that the owner's request to demolish proceed through the applicable process in accordance with By-law 0139-2013, A By- law to establish the Procedures of Council and its Committees and to Repeal By-law 421-03 and, specifically, Section 89 of the By-law entitled "Delegation to Staff during Summer and Election Recess."
BACKGROUND:	Section 27.3 of the <i>Ontario Heritage Act</i> states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least a 60 day notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.
	The owner of the subject property submitted a Site Plan application under file SPI 13 68, to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West cultural landscape, noted

- 2 -

for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS: The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by Richard Collins, is attached as Appendix 1. It is the consultant's conclusion that the house at 1425 Stavebank Road is not worthy of heritage designation. Staff concurs with this opinion.

> The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

Heritage Advisory Committee

CONCLUSION: The owner of 1425 Stavebank Road has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA Commissioner of Community Services

Prepared By: Laura Waldie, Heritage Coordinator

6 - 2

Memorandum Planning and Building Department



7 - 1

		-		y Commi 2013	ittee
	2.1	201	à N		

DATE:	June 20, 2013	
FILE:	CD.03.MEA	
TO:	David Marcucci, Manager, Park Planning Darren Morita, Manager, Development Engine Steve Barrett, Manager, Transportation Asset M Mark Warrack, Cultural Planner Julie Lavertu, Chair/Secretary of Municipal He	Management
FROM:	Karen Crouse, Community Planner	
RE:	Proposed City-Initiated Amendments to Mississ By-law 0225-2007 for the Meadowvale Village N	8

The Planning and Building Department is initiating amendments to the Meadowvale Village Neighbourhood Character Area Policies of Mississauga Official Plan and changes to Zoning By-law 0225-2007. A link to a copy of staff's corporate report presented at the April 15, 2013 meeting of the City's Planning and Development Committee is found below. This report outlines the proposed changes to Mississauga Official Plan. A link to the report presented at the June 10, 2013 meeting of the City's Planning and Development Committee is also found below. It provides more detail regarding the proposed zoning changes.

http://www7.mississauga.ca/Documents/research\_catalogue/PDC\_2013/April\_15\_2013\_Meadowvale\_Village.pdf

http://www6.mississauga.ca/onlinemaps/planbldg/MeadowvaleVillageReview/MDV\_CharacterAreaJune2013Report.pdf

The intent of the proposed amendments is to:

- expand the boundary of the Meadowvale Village Heritage Conservation District;
- remove the Extended Village Precinct;
- update policies as necessary to reflect current legislation (primarily the Ontario Heritage Act, 2005); and,
- to revise the current policies to reflect existing as-built conditions.

The proposed policies should be read in conjunction with general policies in Mississauga Official Plan found at the link below:

#### http://www.mississauga.ca/portal/residents/mississaugaofficialplan

We would appreciate receiving any comments you may have regarding these proposed amendments by August 6, 2013. Should you have any questions, please contact Karen Crouse, Planner at (905) 615-3200 ext.5526.

our crossel

Karen Crouse, MCIP, RPP Community Planner, Policy Planning Division Planning and Building Department

K:\PLAN\POLICY\GROUP\2013 Districts\Meadowvale Village\OPA\_Circulation\_Memo.doc



Heritage Advisory Committee JUL 2 3 2013

McCormick Rankin 2655 North Sheridan Way, Suite 300 Mississauga, ON Canada L5K 2P8 t: 905.823.8500 | f: 905.823.8503

www.mrc.ca

June 19, 2013

Mississauga Heritage Advisory Committee 300 City Centre Drive Mississauga, ON L5B 3C1

## RE: ONTARIO MINISTRY OF TRANSPORTATION NOTICE OF FILING: TRANSPORTATION ENVIRONMENTAL STUDY REPORT HIGHWAY 403 AND QUEEN ELIZABETH WAY IMPROVEMENTS FROM TRAFALGAR ROAD TO WINSTON CHURCHILL BOULEVARD W.O. 09-20007

8 - 1

## Dear Sir/Madam:

The Ontario Ministry of Transportation (MTO) has completed a Preliminary Design and Class Environmental Assessment Study to identify operational and capacity needs, evaluate alternatives, and develop a preferred plan for improvements to Highway 403 and the QEW in the following sections:

- QEW from Trafalgar Road easterly to east of Winston Churchill Boulevard.
- Highway 403 from Trafalgar northerly to Highway 407 and beyond to Winston Churchill Boulevard.

The key features of the preferred plan include:

- addition of HOV lanes on the QEW;
- addition of general purpose lanes on Highway 403;
- rehabilitation/replacement of structures; and
- addition of 'north to east' and 'east to north' freeway to freeway ramps at the Highway 403/QEW interchange in the long term.

The study has followed the approved environmental planning process for Group "B" projects under the *Class Environmental Assessment for Provincial Transportation Facilities* (2000). Consultation with First Nations and Aboriginal groups, external agencies and the public has taken place throughout the study, including two rounds of Public Information Centres.

The purpose of this letter is to inform you that a Transportation Environmental Study Report (TESR) has been prepared to document the study findings. The TESR is available for a 45-day public review period beginning **Wednesday June 26, 2013** at the following locations:



Ministry of Transportation Central Region 1201 Wilson Ave 3rd Floor, Building 'D' Downsview, ON M3M 1J8

Regional Municipality of Halton Office of the Clerk 1151 Bronte Road Oakville, Ontario L6M 3L1 Ministry of the Environment Central Region Office 5775 Yonge Street, 8th Floor North York, ON, M2M 4J1

8 - 2

City of Mississauga Office of the City Clerk 300 City Centre Drive Mississauga, Ontario L5B 3C1 **Town of Oakville** Office of the Clerk 1225 Trafalgar Road Oakville, Ontario L6H 0H3

**Regional Municipality of Peel** 

Office of the Clerk

10 Peel Centre Drive, 5th Floor, Suite A

Brampton, Ontario L6T 4B9

Clarkson Library 2475 Truscott Drive Mississauga, Ontario L5J 2B3 Oakville Public Library 2860 Kingsway Drive Oakville, ON L6J 6R3

Please review this document and provide any comments or concerns you may have by Friday August 9, 2013.

If, after consulting with the Ministry's consultant and staff, you have serious unresolved concerns, you have the right to request that the Minister of the Environment (11th Floor Ferguson Block, 77 Wellesley Street West, Toronto, Ontario, M7A 2T5) issue a Part II Order (bump-up) for this project. This may lead to the preparation of an Individual EA. A copy of the Part II Order request should be forwarded to MTO and McCormick Rankin at the addresses below. If there are no outstanding concerns after **Friday August 9, 2013**, the project will be considered to have met the requirements of the Class EA.

If you wish to obtain additional information about the project or provide input, please contact the project team members listed below.

Mr. Jim Dowell, P. Eng. Consultant Project Manager McCormick Rankin (MRC) A member of MMM Group Limited 2655 North Sheridan Way Mississauga, ON L5K 2P8 Phone: (905) 823-8500 ext. 1244 Toll Free: 1-877-562-7947 Fax: (905) 823-8503 E-mail: jdowell@mrc.ca Mr. Greg Moore, B.E.S. Consultant Environmental Planner Ecoplans A member of MMM Group Limited 2655 North Sheridan Way Mississauga, ON L5K 2P8 Phone: (905) 823-4988 ext. 1323 Toll Free: 1-877-562-7947 Fax: (905) 823-2669 E-mail: gmoore@ecoplans.com

If you have any accessibility requirements in order to participate in this project, please contact one of the Project Team members listed above. Information will be collected in accordance with the Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record

Yours truly,

McCormick Rankin, a member of MMM Group Limited

sibud

Jim Dowell, P.Eng. Consultant Project Manager

cc: Joseph Lai, P.Eng., MTO, Senior Project Engineer Rebecca Li, P.Eng., MTO, Senior Project Engineer Rhonda Gribbon, MTO, Environmental Planner Greg Moore, Ecoplans, Consultant Environmental Planner

## Heritage Advisory Committee JUL 2 3 2013

## Julie Lavertu

From:

Sent: To: Subject: Heritage Resources Centre <kajonas=uwaterloo.ca@mail182.wdc02.mcdlv.net> on behalf of Heritage Resources Centre <kajonas@uwaterloo.ca> 2013/06/19 11:31 AM Julie Lavertu [MARKETING] Special Announcement: Huntsville Heritage Planning Workshop

Use this area to offer a short teaser of your email's content. Text here will show in the preview area of some email clients.

Is this email not displaying correctly? <u>View it in your browser</u>.



Heritage Resources Centre Centre des ressources du patrimonie

## Heritage Planning Workshop: Huntsville

# August 15-16, 2013

Waterloo Summit Centre for the Environment

87 Forbes Hill Drive Huntsville, ON P1H 0B6 Canada

## The Program

A number of themes will be covered including:

Examining the Concept of Heritage

The International Context

Heritage Legislation

Planning Tools

The Heritage Development Business

The use of Building Stories Website

## Who Might Benefit

Those who might gain from this program include:

Planning and other professionals

Elected officials

Citizens concerned about and involved in heritage work

Members of heritage and related organizations

## The Professor

**Dr. Robert Shipley** is Director of the Heritage Resources Centre, Associate Professor in the School of Planning, University of Waterloo and Research Fellow of Oxford Brookes University in Oxford, England. Professor Shipley is recognized as a leading international expert in the area of culture, heritage and tourism and particularly in the economics of heritage development. He is a founding member and former VP of the Canadian Association of Heritage Professionals. In 2013 he was awarded the Queen's Diamond Jubilee Medal for his work in heritage.

## **Registration & Accommodation**

Registration is \$275.00 (includes coffee breaks, lunches, course materials). To register, fill out <u>Heritage Planning Workshop Registration Form.doc</u>.

A limited number of accommodations are available on site. For inquiries pertaining to bookings, please contact the Waterloo Summit Centre directly. (<u>kcooper@uwaterloo.ca</u> or 705-571-0259).

## Questions

For information or to register, please contact

**Kira Cooper**, Director of Environmental Education Waterloo Summit Centre for the Environment University of Waterloo 87 Forbes Hill Drive · Huntsville, ON P1H

0B6 kcooper@uwaterioo.ca · 705 571 0259 or use the form attached.

#### follow on Twitter | friend on Facebook | forward to a friend

Copyright © 2013 Heritage Resources Centre, All rights reserved. You are receiving this e-mail because you are on the HRC mailing list.

Our mailing address is: Heritage Resources Centre 200 University Avenue West Waterloo, Ontario N2L 3G1 Canada

Add us to your address book

unsubscribe from this list | update subscription preferences

9 - 3



## STATUS OF OUTSTANDING ISSUES FROM THE HERITAGE ADVISORY COMMITTEE Prepared by Julie Lavertu, Legislative Coordinator, for the July 23, 2013 Heritage Advisory Committee Agenda

Property Name	Property Address	HAC Recommendation (if adopted)	Status	
<b>Outdoor Rifle</b>	1300 Lakeshore	N/A	Heritage staff is currently working with Region of Peel staff to	
Range	Road East		designate this property.	
Heritage Advisory Committee's Budget	N/A	HAC-0023-2011	designate this property.That the Legislative Coordinator for the Heritage AdvisoryCommittee, in consultation with the Director of Arts andCulture, prepare a Memorandum for the Heritage AdvisoryCommittee's May 24, 2011 meeting regarding the HeritageAdvisory Committee's draft 2011 budget and includeinformation about budget allocations for the City ofMississauga's other Advisory Committee's budget and spending history.	
			Information regarding the Committee's budget and spending history will be provided to the Committee after the completion of the City Council Committee Structure Review in 2013.	

10 - 1

12.1 - 1

Heritage Advisory Committee JUL 2 3 2013

## Julie Lavertu

From: Sent: To: Subject: George Carlson 2013/07/09 4:30 PM Julie Lavertu FW: Participation request, Heritage Tree Subcommittee

Hi Julie,

Please refer to the e-mail from Sean Stuckless below. Councillor Carlson would like to place this item on a future HAC agenda.

Best regards,

Anita A. Solomon Executive Assistant to Councillor George Carlson, Ward 11

-----Original Message-----From: Sympatico Sent: July 9, 2013 11:15 AM To: George Carlson Subject: Participation request, Heritage Tree Subcommittee

Dear Councillor Carlson,

I was recently invited by the Chair, Michelle Walmsley, to join the Heritage Tree Subcommittee as a member. I understand that this is a subcommittee of the Heritage Advisory Committee which you Chair.

I am writing to formally request joining the Heritage Tree Subcommittee. I became aware of the subcommittee's excellent work during the drafting process of Mississauga's Private Tree Protection Bylaw. As you may recall, I wrote a letter as a concerned citizen to all Councillors in September 2012. I also made a submission to the City as part of the public information process.

I am a resident of Ward 6 in the Credit Woodlands neighbourhood. I am currently active in The Riverwood Conservancy's Native Plant Propagation Program and produce a newsletter for the group, in addition to growing plants for naturalization at the park, and sitting in as a member of Riverwood's Native Plant Committee. I was nursery manager at Ontario Native Plants between 2000-2003.

Mississauga's natural heritage is unique and public education is of great importance to me. I foresee lots of work in this area, and hope to make a lasting difference to the subcommittee and to Mississauga. I am committed to telling the story of natural habitats in Mississauga and bring a strong ethos of conservation to places that I value and cherish.

Should you wish for more information, please contact me at at

or on my cell

I look forward to serving on the subcommittee.

2

Sincerely,

Sean Stuckless

Heritage Advisory Committee JUL 2 3 2013



Memorandum Community Services Department Culture Division

TO:	Chair and Members of the Heritage Advisory Committee
FROM:	Laura Waldie, Heritage Coordinator
DATE:	June 28, 2013
FILE:	Heritage Designations in Other Municipalities
SUBJECT:	CBC News Article on Modernist Designation in Waterloo Region

The following is a news article which appeared June 18, 2013 on <u>www.cbc.ca</u> and describes the recent designation in Waterloo Region of a 1950s modernist residence. It was described by Waterloo Council's Finance and Strategic Planning Committee as a "good representation of residential, mid-century modern architecture arising from the International Style". The article and accompanying photos are attached for your information

LawaWaldre

Laura Waldie Heritage Coordinator Culture Division 905-615-3200, ext. 5366 laura.waldie@mississauga.ca

**ATTACHMENTS:** 

Appendix 1: C

tix 1: CBC News Article

Appendix 2: Property Photographs

# Why this modernist Waterloo home is a heritage property

15 - 2

<u>CBC News</u> Posted: Jun 18, 2013 5:22 AM ET Last Updated: Jun 18, 2013 8:25 AM ET

A Waterloo couple's labour of love has become the first mid-century modern heritage home in the region.

The house, on 222 Stanley Dr. in Waterloo's Westmount neighbourhood, is officially a heritage landmark after a vote by Waterloo council's finance and strategic planning committee Monday.

Built in 1956 and designed by Minnesota architect Carl Graffunder, the home is a "good representation of residential, mid-century modern architecture arising from the International Style," city staff wrote in a report.

The heritage designation means the owners of the property, Mary and R.J. Stadus, will have to first get the OK from council before it makes any changes to heritage features.

The building is "characteristically simple and elegant in its use of materials, design and form," staff said.

Key features include the spare front facade, the low roofline, elongated grey bricks, the cantilevered garage roof and the six metal poles supporting it.

Comments on this story are pre-moderated. Before they appear, comments are reviewed by moderators to ensure they meet our <u>submission guidelines</u>. Comments are open and welcome for three days after the story is published. We reserve the right to close comments before then.

Login | Sign up

0 Comments

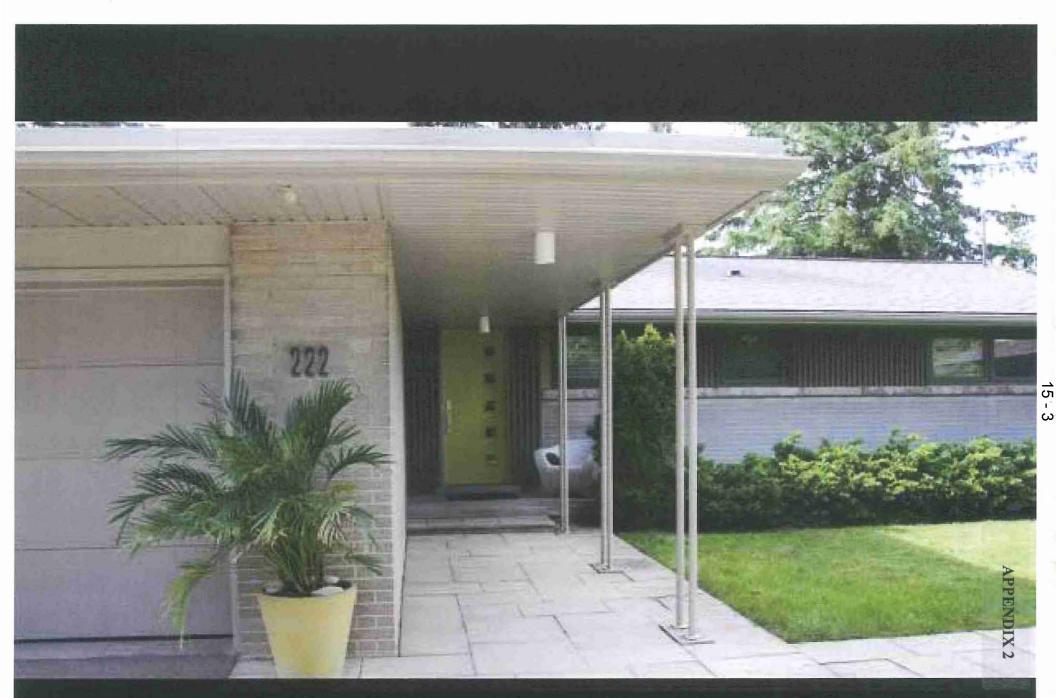
**Commenting is Closed** 

Follow

Newest

## Submission Policy

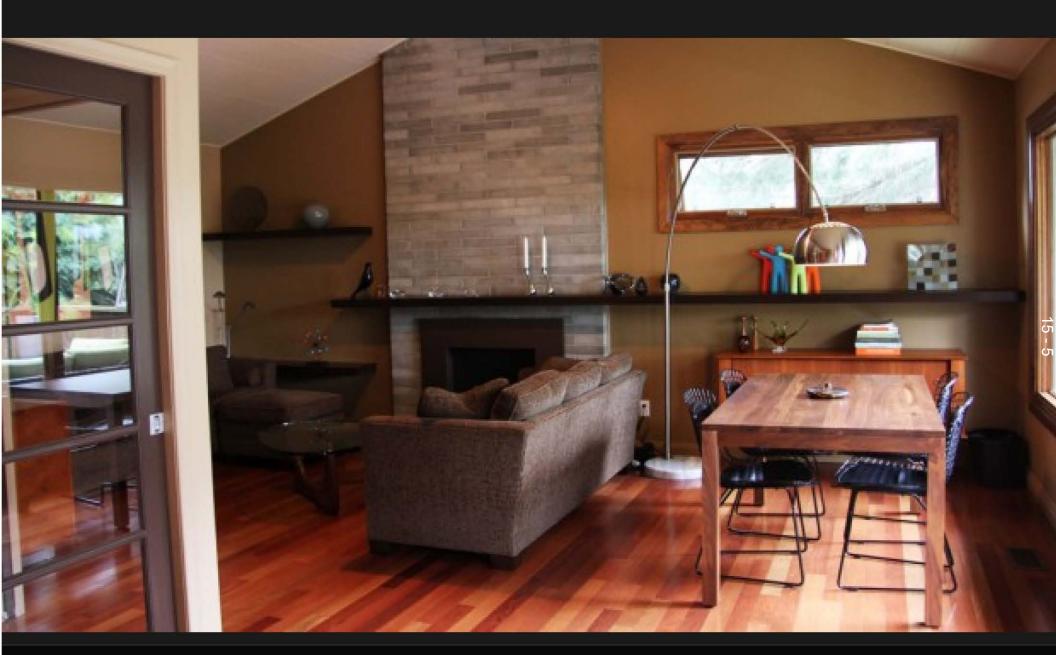
Note: The CBC does not necessarily endorse any of the views posted. By submitting your comments, you acknowledge that CBC has the right to reproduce, broadcast and publicize those comments or any part thereof in any manner whatsoever. Please note that comments are moderated and published according to our <u>submission guidelines</u>.



Some of the home's distinguishing features are the fiat garage roof that extends over the front walkway, the metal poles that support it, the unornamented double garage door and the elongated grey brick façade. (Amanda Grant/CBC)



The house, which was built in 1956, was designed by Minnesota architect Carl Graffunder. City staff say it is a good example of mid-century modern residential architecture. (Amanda Grant/CBC)

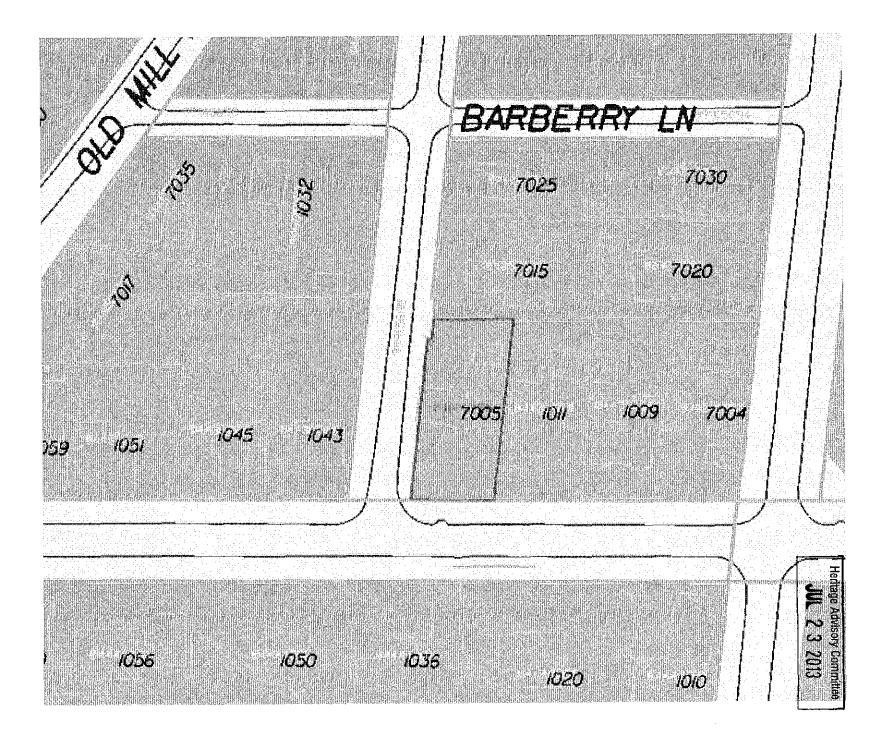


Inside the home, the Staduses have collected pieces that reflect the mid-modern aesthetic, mixing vintage finds with new pieces and copies. (Amanda Grant/CBC)

# seven children... and tranquil parents



The plans for the Stadus's house were featured in a 1955 issue of Better Homes and Gardens. (Amanda Grant/CBC)



<u>Item 3, Appendix 1</u> Heritage Advisory Committee Agenda – July 23, 2013

Item 3, Appendix 2 Heritage Advisory Committee Agenda – July 23, 2013

Heritage Advisory Committee

Meadowvale Village Heritage Conservation District Review Committee

June 28, 2013.

Heritage Advisory Committee City of Mississauga 300 City Centre Dr. Mississauga, Ont. L5M 3C1

Attention: George Carlson, Chairman

Dear Councillor Carlson:

Re: 7005 Pond Street, Meadowvale Village - Boeykens

The Meadowvale Village Heritage Conservation District Review Committee has reviewed the preliminary plans for an addition to the residence at the above address.

This Committee recommends approval in principle of the plans. Final approval will be determined after review of the site plan working drawings, which should indicate all exterior materials and window sizes.

Should further information or comment be required, please do not hesitate to contact the writer.

Yours truly, Meadowvale Village HCDRC

Jas. P. Holmes, Chairman

### 7005 POND STREET



#### HERITAGE ASSESSMENT

Heritage Advisory Committee

**JUNE 2013** 

<u>Item 3, Appendix 3</u> Heritage Advisory Committee Agenda – July 23, 2013



#### TABLE OF CONTENTS



Photo taken March. 18, 2013 by ATA Architects Inc.

#### **INTRODUCTION**

OWNFR

Meghan and Martin Boeykens

ATA Architects Inc. was retained by the owner, Mr. and Mrs. Boeykens, to undertake a Heritage Impact Assessment of the property listed as 7005 Pond Street, Mississauga, ON.

7005 Pond Street has been designated by the City of Mississauga under Part V of the Ontario Heritage Act because it is located in the Meadowvale Village Heritage District.

ATA Architects Inc. undertook the following process in completing this assessment:

- ٠
- Inspect current site and prepared photographic documentation of existing conditions. Conducted a land registry search at the Peel Land Registry Office Gathered additional information from the City of Mississauga web site pertaining to Property Records & Building Permits, and from the Mississauga Heritage Archivist. ٠
- Undertook research at the Peel Archives and Canadiana Room at the Mississauga Central ٠ Library librarian.

ATA Architects Inc. has utilized the criterion for determining cultural heritage value as outlined in the Ontario Heritage Act.



Photograph of the Pond Street elevation taken in 1990.

Source: Mississauga Historic Image Gallery,

http://www.mississauga.ca/portal/residents/allhistoricimages?paf\_gear\_id=13400033&imageId=5500010n&index=537&retur nUrl=%2Fportal%2Fresidents%2Fallhistoricimages%3Fstart%3D521

#### **ONTARIO HERITAGE ACT**

ONTARIO HERITAGE ACT ONTARIO REGULATION 9/06 CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

#### CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s.1(1).

- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
  - 1. The property has design value or physical value because it,

i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,

ii. displays a high degree of craftsmanship or artistic merit, or

- iii. demonstrates a high degree of technical or scientific achievement.
- 2. The property has historical value or associative value because it,

i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

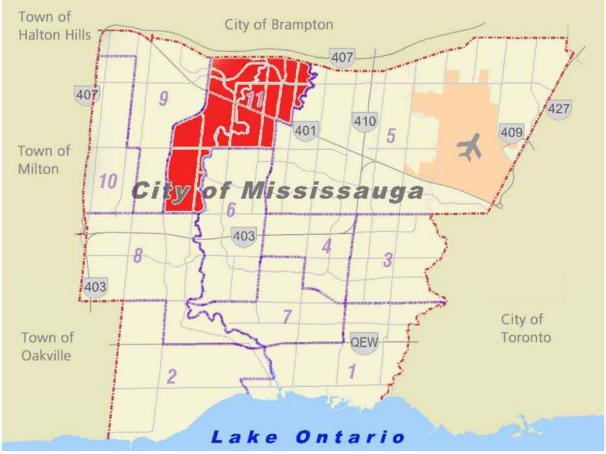
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

#### TRANSITION

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

NOTE: The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

#### LOCATION



Location of Meadowvale within Ward 11, City of Mississauga Source: City of Mississauga - http://www6.mississauga.ca/eMaps

#### HISTORY OF MEADOWVALE

In 1805 1 mile of land each side of the Credit River, then known as the Missinke or "Trusting River" by the Mississauga Tribe, was sold from the First Nations to the Crown. This was followed later in 1818 with a further purchase of 648,000 acres for \$2,500 from the Mississauga Tribe. This land along the Credit River would first be settled by John Beatty.

John left New York with his family on May 1st, 1819 in a wagon train in order to leave behind the anti-British sentiment prevalent in the U.S. after the war of 1812. In 1821, after completing settlement duties such as construction of a dwelling and clearing and fencing a percentage of the land, he would receive a Crown Grant of 200 acres of land.

In the early 1830's Meadowvale began to prosper due to its abundance of white pine, a material extensively used in ship and canal construction. Beatty would stay in Meadowvale until he was named Steward of the Upper Canada Academy by the Canada Conference of the Wesleyan Methodist Church in 1831. He would sell his land to James Crawford who would establish the first sawmill in the village. John Simpson moved into the village and established another sawmill and a carding mill in competition with Crawford. Francis Silverthorn buys Crawford's land in 1847 and would continue operating the sawmill and built a grist mill. Despite the grist mill burning down in 1853 and the cost he incurred in rebuilding it, Silverthorn was a successful business man in the community for awhile due to the increased demand for flour during the Crimean War.

#### LOCATION



Following the war the bottom dropped out of the flour market was the beginning of the end. To recover his losses he had part of his property (Lot 11) surveyed, registered a subdivision and sold off the land and took out another mortgage on his mill. It wasn't to succeed though as another fire in 1859 would cost him everything. Gooderham & Worts would take over the sawmill, grist mill and store Silverthorn had built as they were major shareholders in the Bank of Canada from whom he had taken the mortgage.

The Gooderham family would remain active important figures in the Meadowvale community. They would build a cooper factory to supply their business with barrels and would upgrade Silverthorn's store so that it could supply groceries, general goods and custom clothing items to the community.

Aerial view of 7005 Pond Street, Meadowvale. Source: City of Mississauga - http://www.mississauga.ca/eMaps

#### ZONING



The adjacent zoning map from the City of Mississauga's website indicates the property at 7005 Pond Street is zoned as R1-32 Residential Zone. This zoning permits detached dwellings with a maximum lot coverage of 25% and a maximum height of 7 meters to the highest ridge of a sloped roof. Flat roofs are not permitted under this zoning.

Zoning map of 7005 Pond Street, Meadowvale

Source: City of Mississauga - http://www6.mississauga.ca/onlinemaps/planbldg/maps/100m39e. pdf

#### HISTORICAL SIGNIFICANCE

The property at 7005 Pond Street was originally part of the land that Francis Silverthorne subdivided and sold in order to raise the money he needed to pay off his debts. Over the years the land would pass from owner to owner as per the list below:

- Francis Silverthorne to Matthew Laidlow September 2nd, 1859
- Sarah Elvidge to Daniel Spillane July 10th, 1882
- John Spillane to Ann Hanton December 9th, 1895
- Ann Hanton to John McCabe December 9th, 1895
- John McCabe to Ann Hanton February 22nd, 1904
- Ann Hanton to William McKee February 22nd, 1904
- Vincent J. McKee to Ewart V. McKee October 10th, 1952
- Lillian McKee and Ewart V. McKee to Lillian McKee March 23rd, 1954
- Lillian McKee to Gilbert V. and Margaret A. Hale March 27th, 1956
- Gilbert W. Hale to William Philip Houston July 25th, 1985
- William Philip Houston and Larie Honsberger to Jennifer and John Mastrogiacomo June 2nd, 1997
- Jennifer and John Mastrogiacomo to Natasha Delicata September 27th, 2005
- Natasha Delicata to Clemente Medeiros and Christine Chiang July 31st, 2008
- Christine Chiang and Clemente Medeiros to Meghan Sara Kerrigan and Martin Boeykens September 15th, 2011

In research the individuals associated with the property ATA conducted research online, through the Canadiana Room at the Mississauga Central Library and the archives at PAMA. Information was not available on most of the past owners except for Ann Hanton and the McKee's.

In the "William Perkins Bull Fonds, Series 5" reference was found of a Ann Hanton (born Ann Spillane) married to Thomas Hanton. No information was found as to whether Ann



Photo of looking north along Pond Street from Old Derry Road taken approximately in the 1910's. 7005 Pond Street is highlighted. Source: Tweedsmuir History of Meadowvale, Vol.2

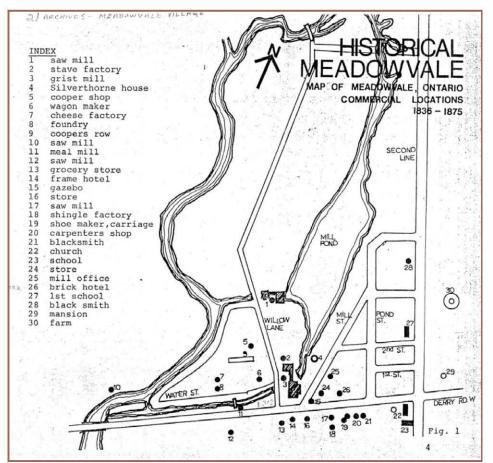
#### HISTORICAL SIGNIFICANCE

and John Spillane were related; but its likely they were. Later in the files an article was found dated October 6th, 1916 from Caledon East stating that Ann Hanton died after a long convalescence from an illness. The same article indicates Ann Hanton was the hostess for the Albion Hotel.

More information was found about William McKee. An obituary from the "William Perkins Bull Fonds, Series 5" dated October 10th, 1929 indicates he was born in Ormstown Quebec and moved to Meadowvale and lived there for forty years preceding his death. McKee initially ran a contracting business and worked as a carpenter, the "Tweedsmuir History of Meadowvale" indicates he kept a small carpentry workshop across the street from 7005 Pond Street. He would later take over the running of one of the last saw mills in the area with his son. The Tweedsmuir History also states that he worked on the construction of buildings for the World's Fair in Chicago in 1892. Both Ewart and Vincent were brothers of William were living in Toronto when he died, another brother, John, was living in Cincinatti, Ohio.

#### CONCLUSIONS

The history of the residence is of moderate significance to the Village. Like several houses in the neighbourhood it can be tied to Francis Silverthorn and the collapse of his business as the property cam into existence when he had to sell land to cover his debts. The only other person the house can be tied to of any significance is William McKee, a carpenter/ contractor who ran the last saw mill in the area for a while and is reported to have worked on construction at the 1892 World's Fair in Chicago. The original portion of the house is fairly typical of the early housing in the community for the local businessmen and labourers who lived and worked in the area.



Historical Map of Meadowvale, 1836-1875 Source: Canadiana Room, Meadowvale File, Mississauga Central Library

#### ARCHITECTURAL SIGNIFICANCE

The Kerrigan-Boeykens Residence at 7005 Pond Street, Meadowvale is a small storey and a half residence clad in rough stucco. The house exemplifies the vernacular style common in Old Meadowvale and many rural Ontario communities.

The house has been extensively renovated and updated. The proportions, general massing and details are reflective of the original design, but the materials appear to have been largely replaced, likely when the addition was added.

The house has been re-stuccoed in a troweled finish in lieu of the rough cast of the original. The windows are new with accurate simulated divided lights and new trim with a back band. The shutters are new and of a proper scale, but are not adjustable or operable. Historic photos however, don't indicate the house ever had shutters. Similarly, corner boards, columns, railings, facia boards have been replaced with new matching members. Some liberties in restoration have been taken, but they are largely minor in nature. Care was taken on the exterior of the front portion of the original home to retain the general historic character on the home which sits exposed at the edge of the public sidewalk.

The existing addition maintains the height of the original roof ridge. The gable is turned creating a long roof slope on the south side. The new roof creates a new eave line that distinguishes new from old, without creating a more formal break by way of a stagger in the footprint of the addition.

On the north side, the addition is inset from the north wall of the original house and a shed entry and porch provide an appropriate transition.

The windows in the rear area of the addition are narrow casements in series. The window style is different but consistent with the period of the addition. The window series with divided lights provides texture and detail that in the author's opinion does not substantially detract from the heritage value of the original home.

The architectural features that distinguish the original residence and contribute to its heritage value are as follows:

- Storey and a half massing
- 3 bay façade (front door and windows are not symmetrical)
- Original flooring inside the home would appear to confirm the main division of front area and therefore the door and window locations
- Front shed porch below eaves
- Windows centered in upper gable ends
- Stucco exterior
- Multi-pane windows
- Simple vernacular style, minimal detailing.

#### CONCLUSIONS

Architecturally the house's basic form has changed little except for the addition added to the back of the house. Many of the finishes have been replaced overtime. The entire house has been re-stuccoed and wood trim has been added. The renovations have created a unified appearance to the building that blurs the line on the exterior between the original house and the addition. The building is typical construction for the period and as such it is not technically or scientifically innovative or unique.

#### CONTEXTUAL SIGNIFICANCE

The length of Pond Street from Old Derry Road to Barberry Lane is home to several houses of a similar size and scale to that of 7005 Pond St. and are representative of the farming/mill worker roots of the community. The adjacent picture from the PAMA archives is one of the earliest photos of Pond Street.

The original portion of the house remains unobscured from Pond Street. The later addition is hidden behind the original house in views from Pond Street. It is also obscured from view along Old Derry Road due to the sloping terrain of the site and the trees and bushes planted along this side of the property.

The house does not have the same visual impact as its neighbour to the north, the Hill House. The Hill House still visually maintains the attributes that speak to its age and draw the eye, whereas 7005 Pond Street looks as if it could have been new construction done to fit into the prevailing architectural style of the neighbourhood. Its major visual impact along Pond Street is that the entrance is built up from the street level making it appear taller than its neighbour. It is visually important due to its corner location and the retention of the vernacular form and style of the village's early history.

#### CONCLUSIONS

Contextually the building is important. It helps maintain and define the character of the neighbourhood and is historically linked to the street, the Pond Street view remaining largely unchanged.



Postcard from PAMA files showing the Residential section of Pond Street in Meadowvale Source: "Residential section, Meadowvale" postcard, image PN2009\_02661, PAMA, Brampton, ON L6W 1Y1

## RATING SYSTEM E - Excellent VG- Very Good G - Good F - Fair

JW

Municipal Address: 7005 Pond Street, Mississauga, ON			Date: A	pr. 09, 2	013	Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.
HISTORICAL VALUE OR ASSOCIATIVE VALUE			Grade			Rationale
<ol> <li>Has direct associations with a person, organization, or institution that is significant to a community.</li> </ol>	E	VG	G	F	L	Francis Silverthorne initially owned the land and subdivided the properties to payoff his debts. The house can also be tied to William McKee who worked as a carpenter/contractor and operated one of the last saw mills in the area. He is also reported to have been involved in the construction of buildings at the 1892 World's Fair in Chicago.
2. Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L	Typical early housing for people who lived and worked in the village.
<ol> <li>Has direct associations with a theme or belief that is significant to a community.</li> </ol>	E	VG	G	F	L	The site has an association with the collapse of Francis Silverthorne's business and the entry of Gooderham and Worts into the community as the lot was subdivided from Francis' property to payoff his debts. The resulting house is representative of the lifestyle of the working people of Meadowvale Village.
<ol> <li>Yields, or has the potential to yield, information that contributes to an understanding of a community.</li> </ol>	E	VG	G	F	L	Like other houses in the neighbourhood dating from the same period this would have been a home for businessmen and labourers who lived and worked in the community. It is representative of the homes of early village settlers.
<ol> <li>Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.</li> </ol>	E	VG	G	F		The building is typical of homes built by local craftsmen.
DESIGN OR PHYSICAL VALUE			Grade			Rationale
<ol> <li>Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.</li> </ol>	E	VG	G	F	L	Though the building form remains largely unchanged it has been refinished in the same materials as the later addition, blurring the line on the exterior where one stops and the other begins.
7. Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L	The building is not highly detailed and while it has a three bay façade, it lacks the symmetry common in similar buildings. Based on the 1990 photograph, a substantial amount of work was undertaken to replace the character elements previously lost in order to create a modest and visually pleasing residence.
8. Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F		From what is visible of the structure the house is of typical construction for the period and is not technically or scientifically innovative.
CONTEXTUAL VALUE			Grade			Rationale
9. Is important in defining, maintaining, or supporting the character of an area.	Е	VG	G	F	L	The building is important in defining the character of the community similar to its neighbour 7015 Pond Street, also known as Hill House.
10. Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L	Is historically linked to its surroundings. A photo in the Tweedsmuir History from the 1910's shows the house largely unchanged from how it looks today.
11. Is a landmark.			-			The building stands out due to the change in elevation between grade at Pond Street and the ground floor of the house. This makes it appear visibly larger. It retains the historic character of the corner and closely retains the image of Pond Street's streetscape shown in

#### **SUMMARY**

In summary the house at 7005 Pond Street is worthy of preservation. It is a physical link to the history of the community and plays a role in maintaining the character of the heritage conservation district. Historically the building is of equal significance as the designated Hill House at 7015 Pond Street to the north. Like Hill House, 7005 Pond Street can be tied to Silverthorne and the events around his business collapse. It can also be tied to at least one craftsman in the community. Physically the house is in fairly good condition and the form of the original house is largely unchanged but it has been refinished and the line between the original house and the addition has been blurred. The house has a visual presence on the corner of Pond Street and Old Derry Road largely due to the change in elevation and its proximity to the street.

Note: Photos in this section were taken during site visit, March 18 2013 EXTERIOR PHOTOS

Pond street facade of 7005. The front entrance is accessed by the porch. A drastic change in elevation occurs across the property leading to the height difference between grade and the ground floor.



North facade of 7005 Pond Street. The building has been stuccoed over in grey with white trim accents. Six-over-six window's located in gable.



Small mud/laundry room addition on the north side of the house is proposed to be demolished. It is part of a later addition, not original to the house.



The photo below and two the right show the east facade of the house which is largely blank with the exception of the window in the gable and the window on the ground floor at the south end of the facade



Small porch and access into house through the mud/laundry room at the east end of the house..



Large windows located in the southeast corner of the addition provide light into the kitchen area. Photo below show the use of wood shingles/shakes on the house. This material is used over the entirety of the roof.



The topography of the property and the planting along the southern edge of the site screen the house from view of Old Derry Road.



A second six-over-six window is located in the southern gable end of the house.



Wood paneling painted to match the colour of the stucco is used along the porch at Pond Street. White wood trim and posts provide accents.



The porch at Pond Street containts more architectural features than any other location on the building. A line of small wood dentils runs along the top of the entablature and a simplified spandrel mimicking spindle work hangs below.

#### Eight-over-eight windows with shutters.





One and a half storey stucco house at 7053 Pond Street. Has more elaborate detailing than 7015 Pond Street, such as the vergeboarding on the central gable end.



7025 Pond Street, one and a half storeys with wood siding.



View of the northwest corner of Pond Street and Barberry Lane. A one and a half storey stucco building in the foreground. In the background a much larger two storey house clad in wood siding can be seen on Old Mill Lane.



1043 Old Derry Road, one and a half storey, clad in wood siding.



7015 Pond Street, also known as Hill House. One and a half storey, building, the original portion is stuccoed and the later addition is clad in board and batten.



1011 Old Derry Road. This property sits on an elevated portion of land behind 7005 Pond Street. It has an older two storey brick portion facing onto Old Derry Road and a smaller one and a half storey addition to the back of the site clad in blue board and batten siding. The two structures visually dominate the rear yard of 7005 Pond Street.



Note: Photos in this section were taken during site visit, March 18 2013 **INTERIOR PHOTOS** 

#### GROUND FLOOR, ORIGINAL HOUSE

Front entrance space in the original house.



New wood multi-paned window with interior operable shutters.





Main hall leads from the entrance in the original house through to the addition at the rear. The wainscotting is new.



#### GROUND FLOOR, ORIGINAL HOUSE

New wood panelling along the base of the walls in the entrance and hall.



Large wood floor boards in the original portion of the house illustrates the original wall division of the front area.

The following three photos show the living room.



The ceiling has exposed original timbers and the floor consists of large wood planks.



#### GROUND FLOOR, ORIGINAL HOUSE

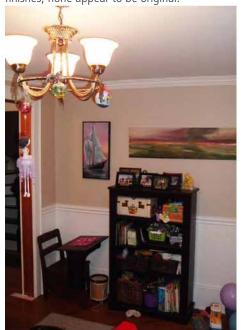
The living room has been equipped with a gas or electric corner fireplace.



The following three photos show the play room in the original portion of the house.



The play room has been done with simple finishes, none appear to be original.





#### GROUND FLOOR, LATER ADDITION

The rear kitchen/dining room is a later addition. Two large windows in the southeast corner bring natural light into the space.



Addition has a cathedral ceiling.



Stairs in addition provide access to second

floor.



Kitchen space.



#### GROUND FLOOR, LATER ADDITION

Wood flooring in the addition is different in colour and size to what was found in the original portion of the house.



Washroom located in the later addition



Access from the later addition to the south side Small corridor below the stair into the laundry/ of the house.



mudroom addition of the house.



#### GROUND FLOOR, LATER ADDITION

The laundry/mudroom in the photos below is to be demolished as part of the construction of the new addition.



#### SECOND FLOOR, ORIGINAL HOUSE

Corridor from the top of the stairs in the addition into the original house.



Transition in flooring material between the addition and the original house.



Master bedroom, the slope of the roof makes for a low ceiling height in areas of this space. One window in the gable end provides natural light.



#### SECOND FLOOR, ORIGINAL HOUSE

Children's bedroom and bathroom accessed from the master bedroom.



Children's bedroom suffers from same low ceiling height issues as the master bedroom. One window in the gable end provides natural light.



#### SECOND FLOOR, ORIGINAL HOUSE



The bathroom is a long narrow space designed in a heritage theme. The ceiling height is impacted by the slope of the roof. There is no natural light in this space.



# **INTERIOR PHOTOS**

#### CRAWLSPACE

This accessible portion of basement is located below the original portion of the house, a crawl space extends under the rest of the building. The walls in the photo below are made of rubble stone.



The photo below shows the wood floors of the original house supported by timber joists. Steel beams and jacks were added at a later date to reinforce the structure.

#### HERITAGE IMPACT

The addition by the Hicks Partners removes the north entrance and sets the addition behind the original house setting a window between new and existing. In the sketch elevations, a shadow line is shown that highlights the transition from stucco to wood siding. The break in the wall plane at this location is not identified in plan and is very important to provide a clear break between new and old. It will help also to visually identify the form of the original house.

The stepping back of the new addition to the rear of the original home is sympathetic to heritage value of the structure and an important strategy in preserving the visibility and presence of the heritage defining elements.

The historical importance of the original home is reinforced in the complementary nature of the addition which also has a non-symmetrical 3 bay façade with porch. The north façade is an end gable with an upper window centred in the gable and symmetrical, shuttered windows at the ground floor level. A consistent roof height is maintained. The repetition of the original vernacular form emphasizes its importance and its ongoing relevancy in the 21st century. The architect has added additional character and individuality by encompassing a fireplace chimney within the rear porch entry of the new addition. It skillfully creates an interesting sense of depth, detail and human scale. It balances solid and void and interrupts the roof slope while creating an interesting balance between this brick feature and the large gable clad in wood siding.

On the east elevation, Hicks Partners have been able to create an attractive balancing between the original building form and the need for second floor headroom and space. The double gable design of the East elevation allows retention of the existing roof height, and a complementary and symmetrical façade with porches to either end, both north and south. Separate multi-pane windows are centered on the gables with

two others centered between. Note: the sketch seems to illustrate a 4 over 4 window configuration; however, I believe the intent is to match the existing 6 over 6 in the gables or 8 over 8 at the front of the house.

What is achieved by the design is a blending of the new addition with the previous addition. It prevents the past addition from becoming an oddity in conflict with the design of the remainder of the house. At the same time, a well articulated, visually pleasing solution consisting of vernacular elements is created.

The roof slope of the short rear portions of the addition match the slope of the previous addition. The chimney and the dormer introduced in these sections visually reduce the area of the roof and provide architectural interest. It should be noted that the dormer will likely require widening to accommodate a 6 over 6 window from the sketches provided.

The application of wood siding on all the elevations of the new addition will provide a complementary contrast in texture and material to the stucco.

#### SUMMARY:

Based on the siting of the addition and the consistency for form, height and vernacular elements, it is the opinion of the author that the addition will not adversely affect the heritage value of the original home. Due to the original home's location adjacent the public sidewalk it shall always be the dominant focus of the property.

#### HERITAGE IMPACT

#### MITIGATING MEASURES:

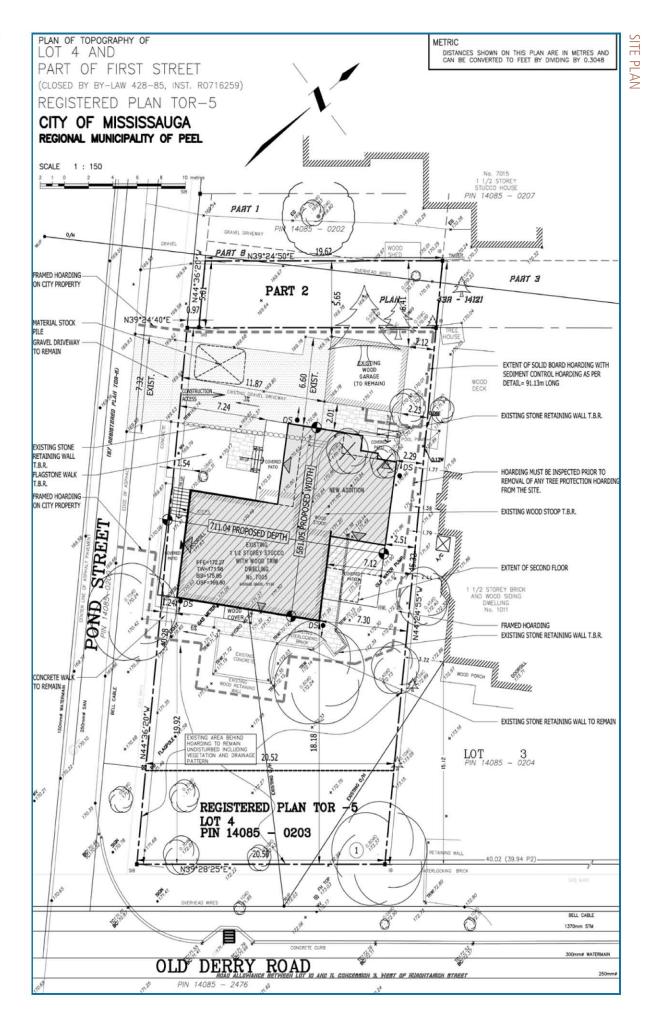
The colour of the new addition was not provided and should be carefully considered. Due to the medium grey stucco colour and white trim of the existing house, grey and white might be first considered, but are not appropriate solutions.

A matching grey will tend to blend the additions and original section as one construction. White will be brighter and appear larger and more reflective than the matte grey stucco. A white addition will, as a result, compete visually with the grey heritage house.

A charcoal deeper grey or another cool tone (blue or green) with a significant grey component are likely going to be the most effective in allowing the new addition to visually recede.

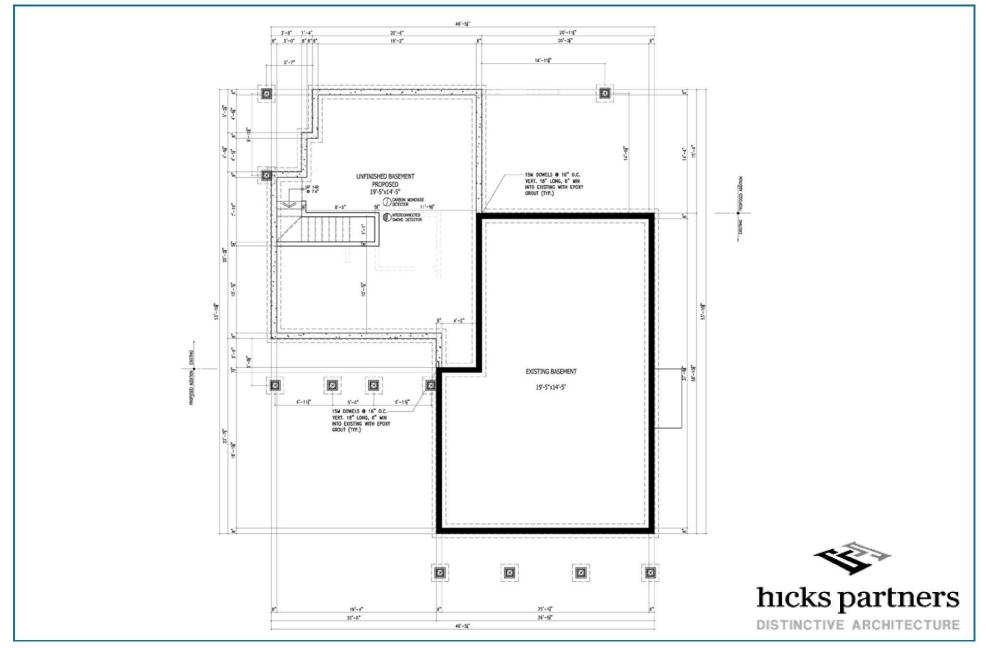
Due to the similarities of the new facades, access to the new porch should be from the driveway rather than directly from the public sidewalk to avoid confusion and duality of two main entrances.

Side stairs such as on the original porch might also be considered for the addition in lieu of the front steps situated in the centre bay of the porch. This visually will further reinforce the original entrance as the formal entry and the new porch as the daily family entry from the driveway. Landscaping with native species can also reinforce whatever approach taken, to further define the entries.

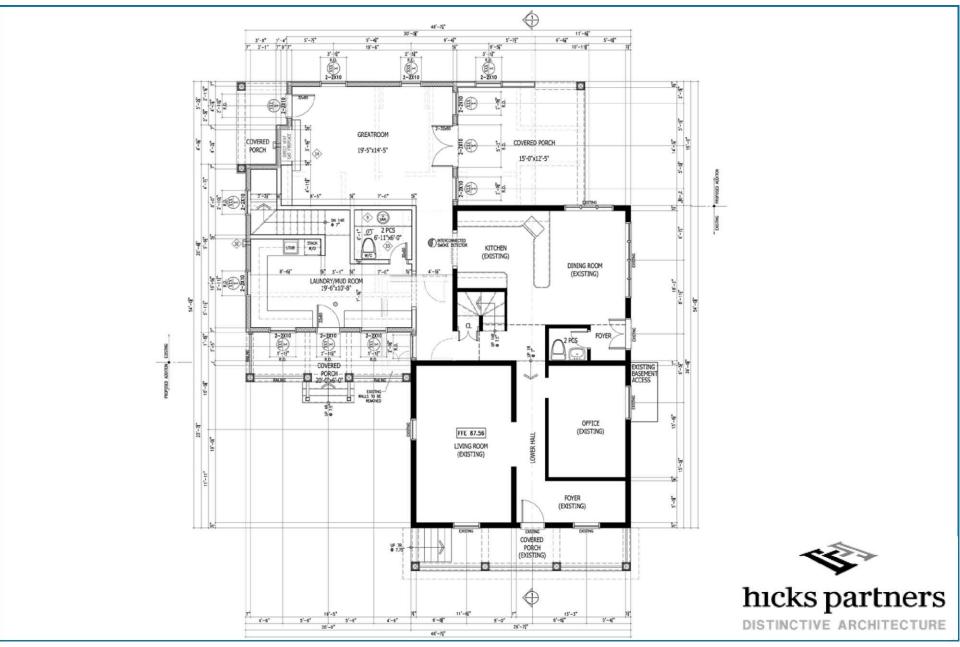


ω ω

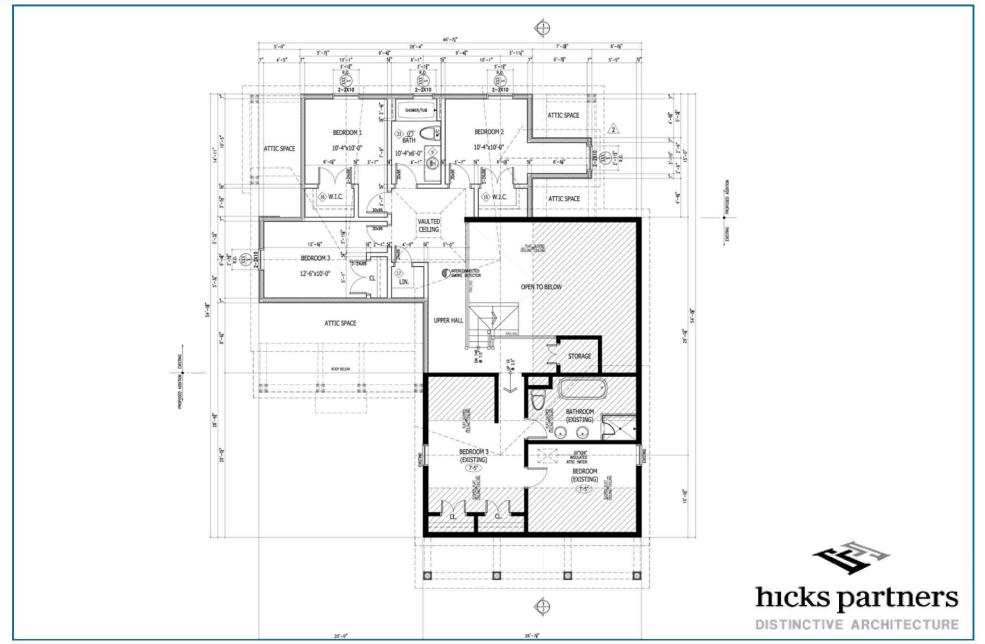
# BASEMENT PLAN



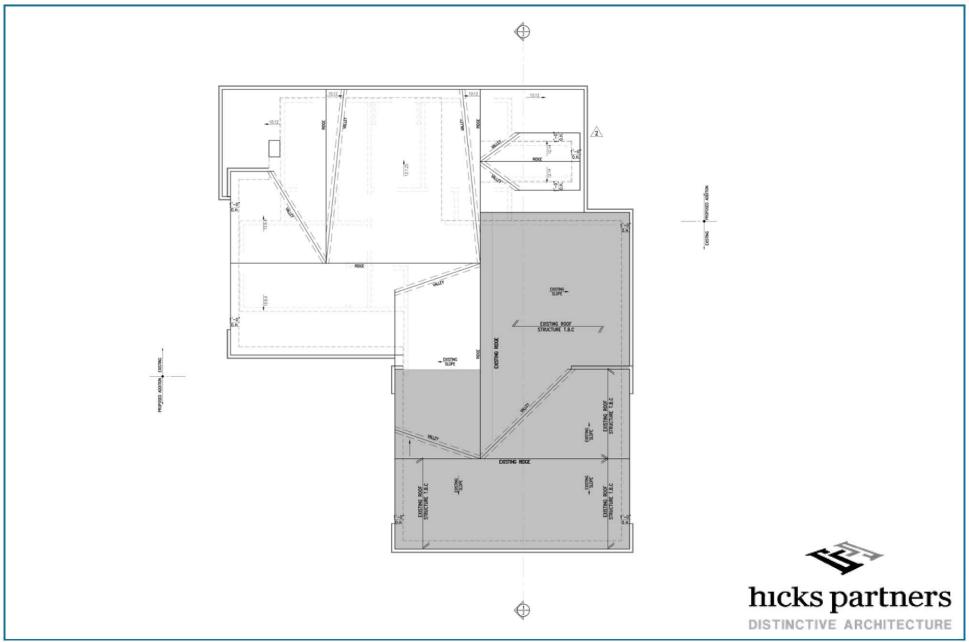
#### GROUND FLOOR PLAN



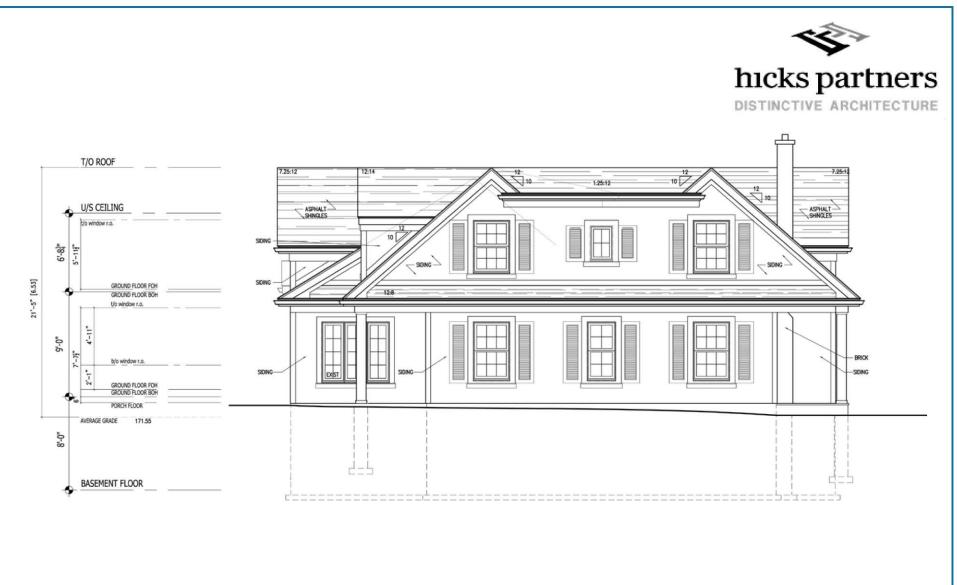
## SECOND FLOOR PLAN

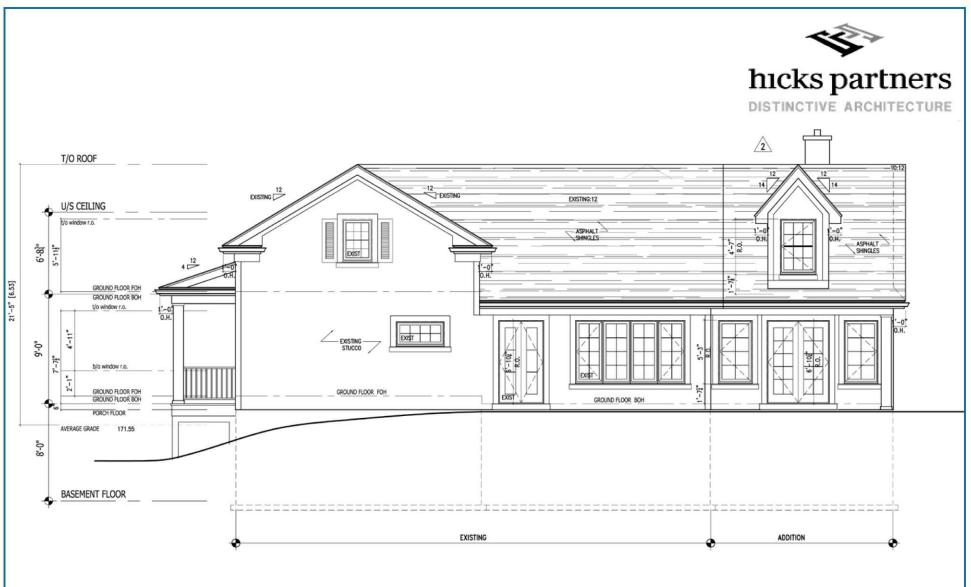


# ROOF PLAN



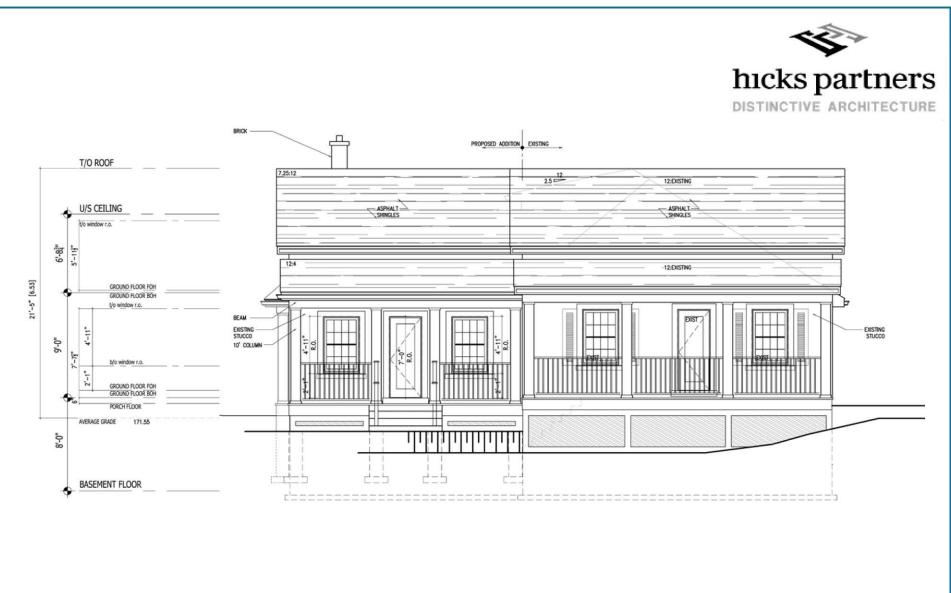
NORTH ELEVATION





### EAST ELEVATION

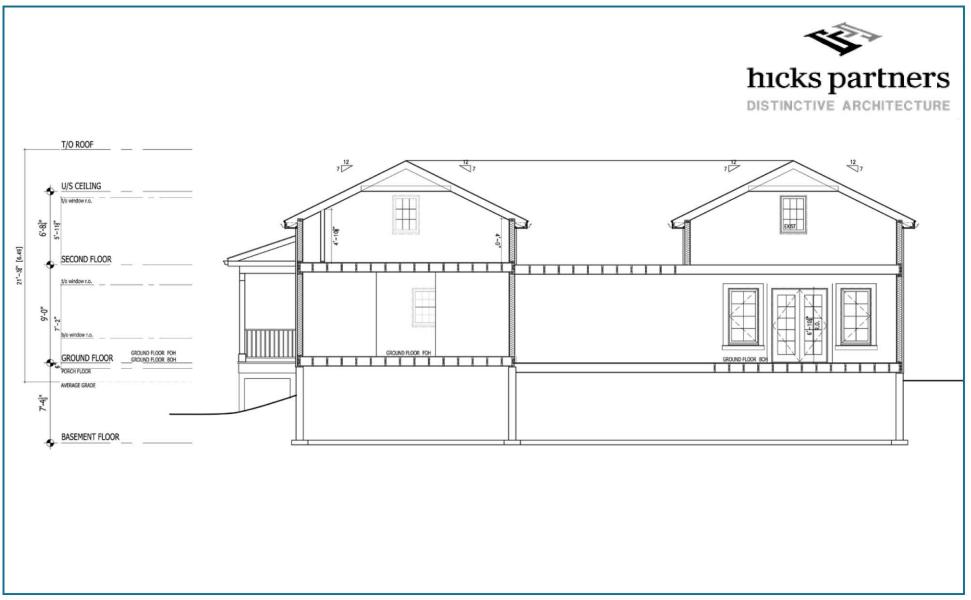
SOUTH ELEVATION





#### WEST ELEVATION

BUILDING SECTION



STREETSCAPE ALONG POND STREET



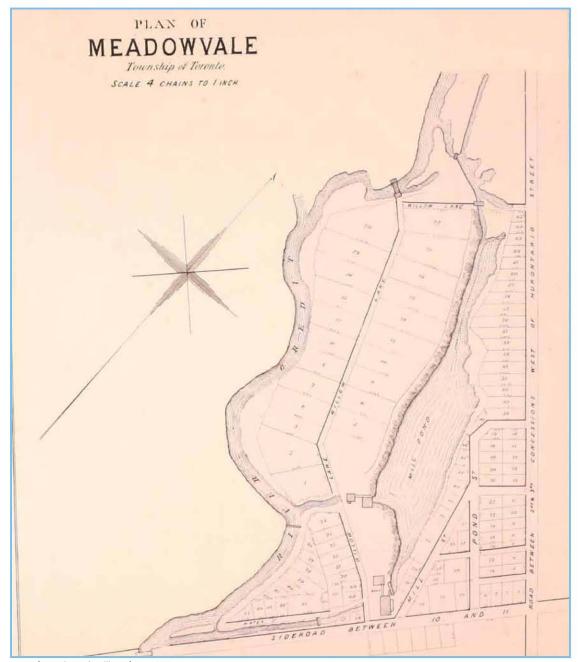
STREETSCAPE ALONG OLD DERRY ROAD



# EVALUATION AGAINST 2003 MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT GUIDELINES

Guidelines - Alterations and Additions to Existing Buildings	Yes No
1. Preserve and use existing buildings.	Х
2. Buildings should not be moved to accommodate new additions.	Х
3. Alterations should not make the structure appear to be older than it is.	Х
4. Additions should take into account and respect the form, use, and setting of the original structure.	Х
5. Locate additions so that no alteration is made on the front facade.	Х
6. Maintain the original roof shap and orientation.	Х
7. Dormers may be added to increase bedroom.	
8. Skylights and solar panels should not face the street.	Not applicable
9. Maintain original front porches and verandahs.	Х
10. Maintain primary entrance in its original location.	Х
11. Side and rear doors should be simple and unornamented.	Х
12. Maintain original windows pattern and proportions.	Х
13. Repair and retain original windows.	Х
14. Maintain original exterior cladding	Х
15. Centralized heating and cooling units, such as heat pumps, should not be visible form the street.	Х
16. Garages must be detached structures and should be located to the side or rear of the house.	Existing detached garage to be retained.
17. Minimize the impact of on-site parking.	Existing on-site parking to be retained.
18. Walks and driveways should be constructed so they do not damage tree roots.	Х
19. Retain mature trees.	Х
20. Fences demarking property lines should be retained.	Not applicable

# APPENDIX



Map of Meadowvale Village from 1877 Source: Illustrated Historical Atlas of the County of Peel, by J.H. Pope, Esq., Walker & Miles, Toronto, 1877, http://www.archive.org/details/illustratedhisto00popeuoft **46** 

					$\times$
d)>	Ontario	ServiceOn		PARCEL REGISTER (AMBREVIATED) FOR PROPERTY IDE TRY E #43 TIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT *	PAGE 3 OF 3 PREPARED FOR JASON TRUELOV ON 2013/C3/01 AT 09:49:11
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	Parties to
PR1507213	2008/07/31	CHARGE		*** COMPLETELY DELETED *** MEDEIROS, CLEMENTE CHIANG, CHRISTINE	CHIANG, CHRISTINE CIBC MORTGAGES INC.
		DISCH OF CHARGE		*** COMPLETELY DELETED *** CAMMISULI, SALVATORE CAMMISULI, TRACY	
	ARKS: RE: PR	DISCH OF CHARGE		*** COMPLETELY DELETED ***	
RE	MARKS: RE: PR	\$33373		MACQUARIE FINANCIAL LTD.	
	2009/08/11 NARKS: ENCROP	NOTICE CHMENT AGREEMENT	\$2	THE CORPORATION OF THE CITY OF MISSISSAUGA	
R2073945	2011/09/15	TRANSFER	\$565,000	CHIANG, CHRISTINB MEDEIROS, CLEMENTE	KERRIGAN, MEGHAN SARA DDEYKENS SORS, MARTIN
9F2073546	2611/09/15	CHARGE	\$565,000	KERRIGAN, MEGHAN SARA BOEYKENS SORS, MARTIN	ROYAL BANK OF CANADA
		DISCH OF CHARGE		*** COMPLETELY DELETED *** CIEC MORTGAGES INC.	
RE	MARKS: PRI507	213.			

50	Ontario	ServiceOn	CILLC	PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENT TRY 12 #43 TIFIED BY LAND REGISTRAR IN ACCOMMANCE WITH LAND TITLES ACT * S	PAGE 2 OF 3 PREPARED FOR JASON TRUELOVE ON 2013/03/01 AT 09:49:11
REG. NUM.	DATE	INSTRUMENT TYPE	akount	PARTIES FROM	PARTIES TO
RO1088678	1995/04/21	CHARGE	1	*** COMPLETELY DELEYED ***	SCOTIA MORTGAGE CORPORATION
RO1088879	1995/04/21	CHARGE		*** COMPLETELY DELETED ***	THE BANK OF NOVA SCOTIA
R01143725	1397/06/02	TRANSPER		*** DELETED AGAINST THIS PROPERTY ***	MASTROGIACOMO, JOHN MASTROGIACOMO, JENNIFER
R01143726	1997/06/02	CHARGE	6 5. 1. 7 1.	*** COMPLETELY DELETED ***	KATEDNAL BANK OF CANADA
1.72057426	2000/03/27	NOTICE		HER MAJESTY THE OVER IN RIGHT OF THE DEPARTMENT OF TRANSPORT	
R E2	MARKS: PEARSC	N AIRPORT ZONING REG	ULATION	CENADA	
		DISCH OF CHARGE		*** COMPLETELY DELETED *** SCOTIA MORTGAGE CORPORATION	
REI PR207579	NARKS: RE: RC	DISCH OF CHARGE		*** COMPLETELY DELETED ***	
	ARKS: RE: RC			THE BANK OF NOVA SCOTTA	
BR933372	2005/09/27	TRANSFER	2) Lingui V	*** OOKPLETELY DELETED *** MASTROGIACOMO, JENNIPER MASTROGIACOMO, JOHN	DELICATA, NATASHA
PR933373	2005/09/27	CHARGE		*** COMPLETELY DELETED *** DELICATA, NATASHA	CERVUS FINANCIAL CORP.
PR968658	2005/11/24	DISCH OF CHARGE		*** COMPLETELY DELETED *** NATIONAL BANK OF CANADA	
RE	MARKS: RE R	01143726			
PR1219890	2007/02/28	CHARGE		*** COMPLETELY DELETED *** DELICATA, NATASHA	CAMMISULT, SALVATORE CAMMISULT, TRACY
PR1507212	2008/07/31	TRANSFER		*** COMPLETELY DELETED *** DELICATA, NATASHA	MEDEIROS, CLEMENTE

Г

	Ontario	ServiceOn	GFFIC:	1		PAGE 1 OF 3 PREPARED FOR JASON TRUELOVE ON 2013/03/01 AT 09:49:11 S IN CROWN GRANT *
PROPERTY DES	CRIPTION:	LT 4 PL TOR5 TORON	TO; PT FIRST ST PL .	TORS TOROWIO CLOSED BY RO716259 PT 2 43814121; CITY OF MISSISSA	UGA	
PROPERTY REM ESTATE/GUALI FEE SIMPLE 1.T CONVERSIO	FIER: M QUALIFIED			CN 14085-1564		<u>N CREATION DATE:</u> 99/03/06
OWNERS' NAME KERRIGAN, ME BOEYKENS SOR	CHAN SARA		<u>Capacity</u> S Jten Jten Jten	EASC	1999-1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1990 - 1	
REG. NUM.	DATE	INSTRUMENT TYPE	ANOUNT	PARTIES FROM		PARTIES TO
**EFFECTIVE	2000/07/29	THE MOTATION OF THE	"BLOCK IMPLEMENTAT	NUM PATE" OF 1997/07/29 ON THIS PIN**		yner fan de alwelde Barnellen weren en en en en en en en de alle ar de fan de fan de fan de alle ar de seren e
**WAS REPLA	CED WITH THE	"PIN CREATION DATE	0F 1999/03/08+	-	a5	
** PRINTOUT	TREIJDES AL	L DOCUMENT TYPES AND	DELETED INSTRUMEN	TS SIMCE: 1999/03/08 **		
**SUBJECT,	ON FIRST REG	STRATION UNDER THE	LAND TITLES ACT, T	0:		
**	SUBSECTION 4	4(1) OF THE LAND TI	LES ACT, EXCEPT PA	RAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *	2	
	AND ESCHEAT	OR FORFEITURE TO T	VE CROWN.			
**	THE RIGHTS	P ANY PERSON WHO WO	ULD, BUT FOR THE L	AND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF		m
**	IT THROUGH .	ENGTH OF ADVERSE PO.	SESSION, PRESCRIPT	ION, MISDESCRIPTION OR BOUNDARIES SETTLED BY		
	CONVENTION.					
	any lease i	WHICH THE SUBSECTI	ON 70(2) OF THE REC	HEIRY ACT APPLIES.		
**DATE OF (	OWVERSION TO	LANC TITLES: 1999/	3/09 **		3	
77159154 RM	1963/10/15 WARKS: CONDI:					
VS248789 . RE	1973/02/12 ARKS: AMENDI		N AIRFORT SONING RA	GULATIONS LT248789 AMENDED TO READ 248789VS 55/11/14 KATHY POW	ur.	
R0677042 <i>RE</i> I	1984/04/05 MARKS: SKETCI	BYLAW ATTACHED; ADDED 93;	\$3/02 BY LAND REGIS	TRAR #2.		
R0726726 RE	1985/09/11 MARKS: TT159	DIS NOTICE SEC INT				
43R14121	1966/12/18	PLAN REFERENCE				<u>.</u>
the second s					AN FRANK ON A DESCRIPTION	Land Registry Records

Source: Peel Land Registry Office #43 Records

<b>F</b> )			Side_Road	& Pond Street			
nterko 👔		DAY MON YR		Parties to	Censideration	Land/Remarks	2
Registration Number Nomarc d'enregistrement	Instrument Type Type d'acte	Date & oning strement VY VM DC AA MM DC	Parties from Parties	Parties	Contrepartie	Bien-tunds/Observations	
159154	Cond Sale		The Consumers Gas Company	Gilbert W. & Margaret Hale	764.50	11A	•
248789vs	Notice	12 Feb 1973	Amendment of Airport Zoning Reg	ulations		A11 & OL	
677042	By-Law No 453-80	05 04 84	THE City of Mississauga	2		To designate as a Heritage Conservation District All & O.L. Sketch attached.	
				_		A71	Ě
720995	Grant	25 07 85	Estate of HALE, Gilbert W.	HOUSTON, William P.		ATT	
- 720996			₩OUSTCK, ₩\$}};;am-P.	- CREDIT Fronctor Trust So. Bischarged by = 801195		nd Reg. Jrn. 97. Ole. C.F.	, see
726726	Dis.	11 09 85	THE Consumers' Gas Company Ltd		n na hann ann an 1971 an 1972 an thair an thairteach a thairteach a stàirteach an thairteach a stàirteach a stài	Not. of Security Interest No. <u>159153</u> P of A MCNEIL, Bruce W.	, which,
7 <del>53447</del>		<del>- 02-05-86</del>	- <del>1083792, 11111an P.</del>	PEED Sheridan Bufferin Educatio - Credic Union Ltd	m <del>al \$25,000.00</del>	DISCHARGED BY ATT: # RO 1141827 ASST. DEP. LAND REG COR. 97-05-12	y trents
RD 1016707	Grant	92 09 03	HOUSTON William Philip	HOUSTON William Philip 50% HONSBERGER Larie 50 %	90.000.00	A11	ч <sub>л</sub> .
R01143725	Transfer	97 06 02	HOUSTON, William Philip HONSBERGER, Larie	MASTROGIACOMO, John MASTROGIACOMO, Jennifer as JT	190,000.00	lstly: All Planning Act Statement re: Section 50 completed OL	
R01143726	Charge	97 06 02	MASTROGIACCMO, John MASTROGIACOMO, Jennifer	NATIONAL Bank of Canada	142,500.00	lstly: All OL	5
							× 2
uá21 (28)	NOTIC PAN Document/Ins	truments				Continued on Sulte a 'e page	
	subsequer	no Construction	97 67-17 el				

Land Registry Records Source: Peel Land Registry Office #43 Records

	MEADOWVA	LE	Lot	pertoire par lot Pian/Concession	TOR-5	Page	
<b>W</b>			Side	Road and Pond Street			
Ragistration Number Numero d'enregistreinent	instrument Type Type d'acte	DAY MON YR Fiegistration Data Pote Anomolisticament YY MIA DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contropartie	Land/Remarks Blen-fonds/Obcervations	
7166 21/8/70 FS	B. & S.		Francis Silverthorne et ux	Natthew Luclow	£ 30.	A11	
3690	B. & S.	10 Jul 1882	Sarah Elvidge et al	Daniel Spillan	200.00	2/5 acre. All	
8989	Q.C.	9 Dec 1895	John Spillane	Ann Hanton	1.00	A11	
8990	B. & S.	9 Dec 1895	Ann Hanton et ux	John McCabe	200.00	A11	
8991	MORTGAGE	9 Dec 1895	John McCabe	Ann Hanton	150.00	A11.	
11395	B, & S.	22 Feb 1904	John McCabe (unmarried)	Ann Kanton	1.00	A17	
11397	B. & S.	22 Feb 1904	Ann Hanton	William McKee	150.00	Γĭ Α	
14339	MORTGAGE	4 Mar 1911	Wm, McKee et ux	Albert S. Lambe	416.00	A11	
366	BY-LAW	3 JULY/50	RE SUBDIV. CONTROL				
70283	Grant	10 Oct 1952	Vincent J. McKee	Ewart V. McKee	\$1.00 & c	All & OL. Consent (C. & D.) For Mary E. McKee Estate attached.	
8717 G.R.	Cert.	2 Feb 1956	Ewart V. McKee Est	Treas. Consent		A11 & OL	
79976	Grant	23 Mar 1954	Lillian McKee Extrx. Ewart V. McKee Est.	Lillian KcKee	\$1,00	All & DL Dom, Consent attached	
426	BY-LAW	9 JUNE/54	RE SUBDIV. CONTROL				
94648	Grant	27 Mar 1956	Lillian McKee	Margaret A. Hale & Gilbert V. Hale as joint cenants	\$6000.00	A11	

The Conservator, October 10th, 1929.

# Obituary - William McKee.

The funeral took place to the Churchville Cemetery on Saturday, of William McKee, a resident of Meadowvale village for the past 40 years.

Mr. McKee came to Meadowcale from Ormstown, Quebec, his birthplace, and carried on a building and contracting business, later running one of the last saw mills in this part of the country.

He is survived by his wife, formerly Miss Craig of Meadowvale, and three brothers, Ewart and Vincent of Toronto, and John of Cincinatti, Ohio.

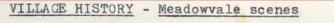
Obituary for William McKee Source: William Perkins Bull Fonds, Series 5

whit cand 3 Meredith Crescent, Toronto, Ontario. 17 November, 1938. Memo for Rev. Michael Barrack, Albion P.O., Ontario. Could you please give us the full name of the Mrs. Hanton who donated the arucifix to St. John's? Mrs. Here The The The St. mo Thos . H enton Was she the Mrs. Thos: Hanton, hostess of the Albion hotel for many years? - 44 What was her maiden name? - Anne fullance SPIK Was the late Daniel Hanton (see obituary clipping enclosed) a connection of Thomas Hanton? Any information you can give us will be much appreciated. MARB

Memo to Rev. Michael Barrack seeking name of woman (Ann Hanton) who donated crucifix to St. John's Source: William Perkins Bull Fonds, Series 5

white card 3 Meredith Crescent, Toronto, Ontario. 17 November, 1938. Memo for Rev. Michael Barrack, Albion P.O., Ontario. Could you please give us the full name of the Mrs. Hanton who donated the arucifix to St. John's? Mrs. Henton Was she the Mrs. Thos. Hanton, hos-tess of the Albion hotel for many years? - 44 What was her maiden name? - Anne fullance SPIK Was the late Daniel Hanton (see obituary clipping enclosed) a connection of Any information you can give us will be much appreciated. MARB

FAMILY HESTORY Ann Hanton Name ? Lot and Concession ? Caledon E. Con 6 Lot 5 1900 Date of Birth ? 1844 Date of Birth Place of Burial ? St. John the Evangelist. Parents Name ? Parents place of Residence ? From where did they come, and when ? Husband's name ? Thomas Hanton Husband's place of residence? Cal. E. Cou. 6 -ALSO OWNED? ANY ADDITIONAL INFORMATION?



Corner of Main and Pond Streets.

House at right was the home of Mr. and Mrs. Wm. McKee. Mr. McKee was the local carpenter and across from his house can be seen his Carpentry Shop.

In 1892 Mr. McKee worked on construction of buildings for the World's Fair in Chicago, Ills.





Looking north on Pond St.

Notice cow on road probably one of the reasons why property was fenced in.

House at corner of Pond and Barberry Lane - the home of Mr. and Mrs. John Farnell, later to become Appletree Inn.

As of 1975 the old apple tree seen in this picture is still there.

Tweedsmuir History of Meadowvale, Vol 2 Source: Region of Peel Archives, PAMA, Brampton

#### BIBLIOGRAPHY

#### REFERENCES:

William Perkins Bull Fonds, Series 5, PAMA Archives

Tweedsmuir History, Meadowvale District Vol.2, RPA, Meadowvale Women's Institute, 1997.006

*Mills to Millenium,* Kathleen A. Hicks, published by The Friends of Mississauga Library System; 301 Burnhamthorpe Road West, Mississauga, ON L5B 3Y3, Copyright 2004

City of Mississauga, Meadowvale Village District Plan, May 1980

*Souvenir of Meadowvale,* 1904 found in the *Tweedsmuir History, Meadowvale District Vol.2,* RPA, Meadowvale Women's Institute, 1997.006

Mississauga.ca - Property Information, http://www.mississauga.ca/portal/services/property

Mississauga.ca - eMaps, http://www6.mississauga.ca/eMaps

*A Heritage Tour: Streetsville North Section 2012*, Guided walking tour brochure, Streetsville Historical Society.

*Illustrated Historical Atlas of the County of Peel*, Published by Walker & Miles, Toronto, 1877.

*History of the Great Lakes*, Chapter 37 1851-1860, http://www.maritimehistoryofthegreatlakes.ca/documents/hgl/default.asp?ID=s046

*History of the Great Lakes*, Daily British Whig (Kingston, ON), 8 Oct 1851 http://images.maritimehistoryofthegreatlakes.ca/d12579/data?n=4

Meadowvale Village File, Canadiana Room

A Heritage Tour of Meadowvale Village, Ontario's First Heritage Conservation District, Heritage Mississauga, http://www.heritagemississauga.com/assets/Meadowvale%20Village%20Heritage%20Tour%20 Brochure%20-%20Final%202011.pdf

#### **RESOURCES:**

Land Registry Records, Peel Land Registry Office #43

Kyle Neill Reference Archivist at the Region of Peel Archives 9 Wellington St. E., Brampton, ON L6W 1Y1

Canadiana Room Mississauga Central Library 301 Burnhamthorpe Rd. W., Mississauga, ON L5B 3Y3

Ancestry.ca Library Edition Mississauga Central Library 301 Burnhamthorpe Rd. W., Mississauga, ON L5B 3Y3

### ALEXANDER TEMPORALE CV

#### Alexander Temporale, B.Arch., O.A.A., F.R.A.I.C, CAHP

Education University of Toronto, B.Arch.

#### Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase in revenue. The Master Plan reorganized the site and its uses, as well as facilitating

future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. Below are other previous offices held:

#### Past Offices

- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board

Heritage Assessment and Urban Design Studies

- > The Bowie Medical Hall Heritage Assessment, 264 Queen Street South, Mississauga
- > Fred C. Cook (Old Bradford Highschool) Heritage Assessment, Simcoe County District School Board
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario
- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 11953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)

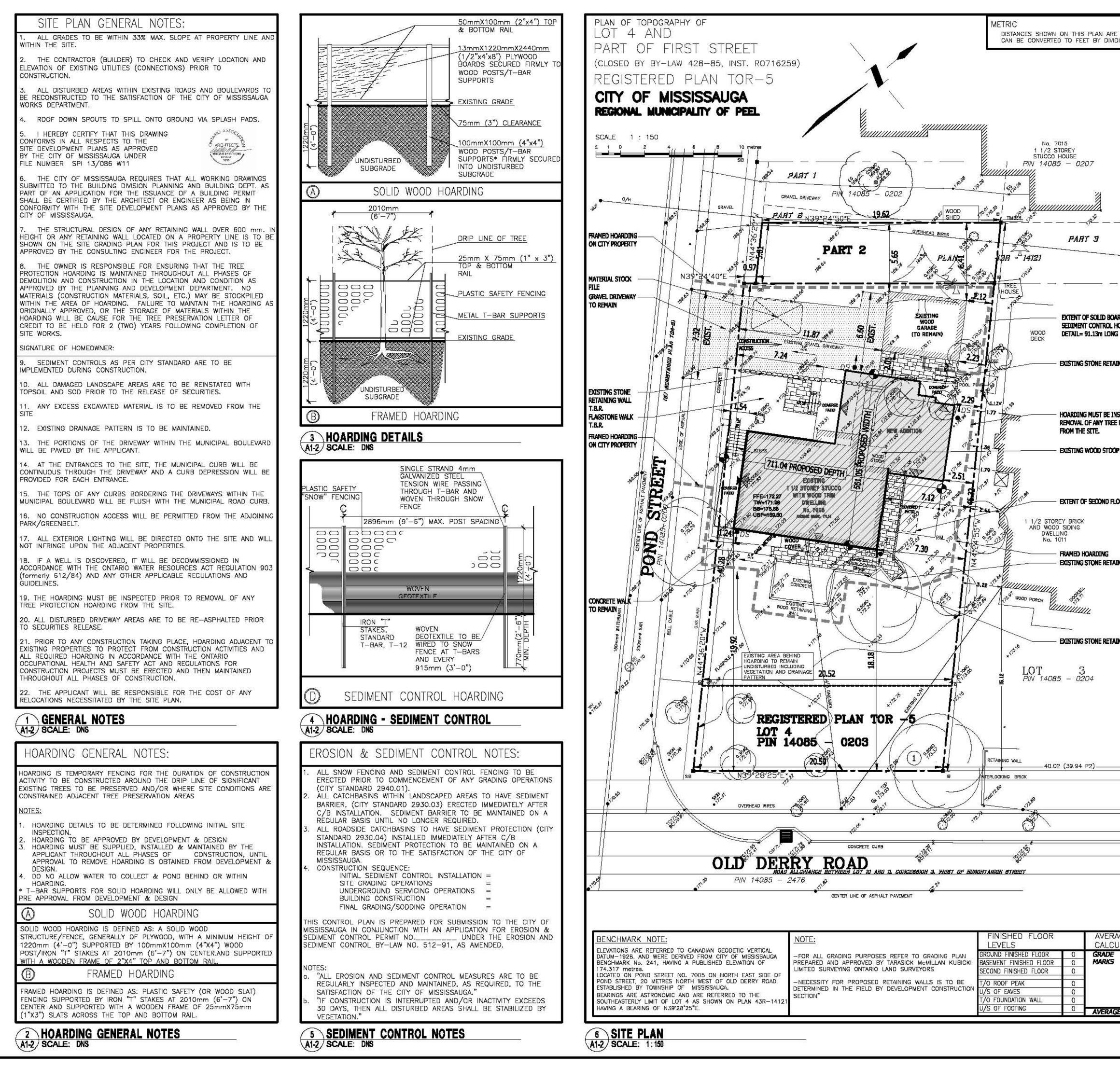
- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road
- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission

- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

#### Partial List of Heritage Restoration Projects

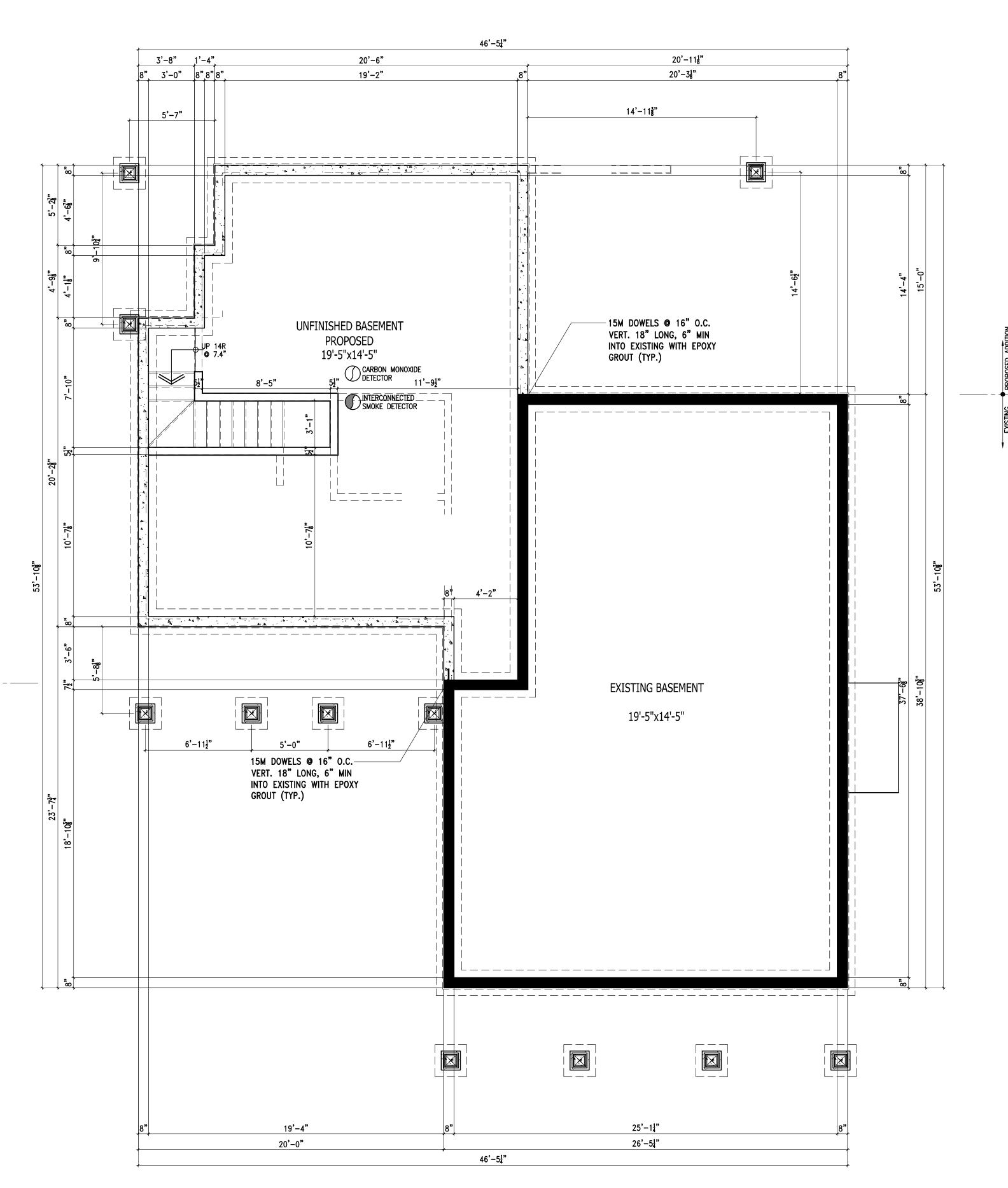
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)

- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappell Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby
- > Heritage Strategy for City of Brampton re Municipality owned heritage buildings.
- > Greenwood Residence, 1830's Renovation/Additions, Oakville
- > Reynolds Street, Heritage District 1940's Cape Cod Style Renovation/Addition, Oakville
- > Gray Residence, 1940's Cape Cod Style Addition/Renovation, (twin of Reynolds Street).
- > Uxbridge Museum Visitor Centre Design, Town of Uxbridge, (competition winner)

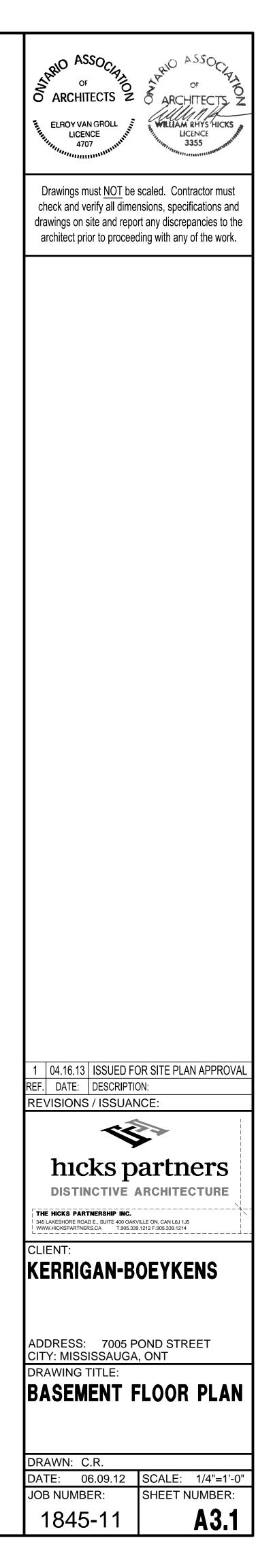


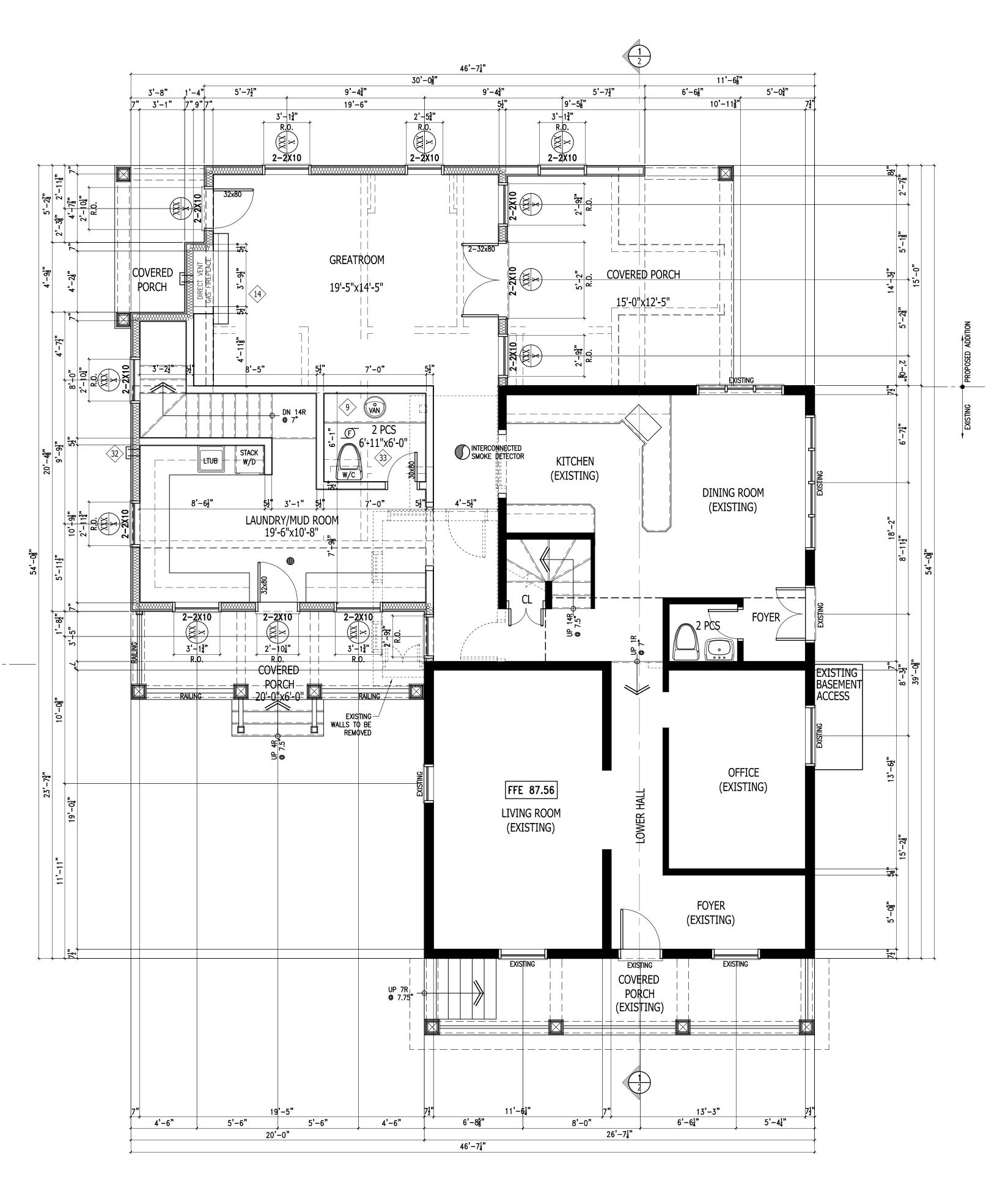
OWNER:		1		BIO ASSOCIA	AND ASSOCK
ETRES AND Y 0.3048			-wo	ARCHITECTS Z	ARCHITECTS Z
L5W 1A1 416-716-3499	_	_			allunk
ARCHITECT: THE HICKS PARTNERSHIP INC. 345 LAKESHORE ROAD EAST, SUITE 400				ELROY VAN GROLL	WILLIAM RHYS HICKS LICENCE 3355
OAKVILLE, ONTARIO L6J 1J5 ATTENTION: WILLIAM R. HICKS PH: 905-339-1212 EXT, 222		_			
APPLICANT:				영양한 다양, 학생 것들 김 영양감과 다양한 다시는 <u>요즘 안에 들었다.</u> 다양한 것은 것	scaled. Contractor must sions, specifications and
THE HICKS PARTNERSHIP INC. ATTENTION: Susan Summers PH: 905-339-1212 EXT. 233 FX: 905-339-1214			dra	wings on site and repoi	t any <b>discrepancies</b> to the ling with any of the work.
SITE STATISTICS ADDRESS:		Pond Street ISSAUGA, ONTARIO	NOT	Y PLAN	2
LEGAL DESCRIPTION: ZONING:		Reg Plan Tor 5		Pond	「「「Caslight」
LOT AREA:		IC MPERIAL	3.35	Barberry	Gaslamp Walk Lessord Ln
AT STREET AS PER DEFINITION		20.5 67	7.26	SITE	Less Less
(7.5m back from property line)				Old Derr	
GROSS FLOOR AREA: EXISTING GARAGE		31.59	340	SITE LEGEN	<u>,</u> ND•
GROUND FLOOR SECOND FLOOR	1	88.48	952		10.
TOTAL	20	00.38 2,	157 "Q <sup>2</sup>		
GROSS FLOOR AREA: ADDITION GROUND FLOOR		58.24	735 F.F.E		τι ετγάτιων
RDING WITH SECOND FLOOR		47.89	515 250 F.B.E		THE CONTRACT MEETING
IG AS PER GROSS FLOOR AREA: PROPOSED			F.D.E		EVATION
PROPOSED GARAGE GROUND FLOOR			340	MAIN ENTRANCE	ANCE
ALL T.B.R. SECOND FLOOR TOTAL	13	28.20 1,	360 407	PROPOSED ADDITIO	
TOTAL BASEMENT			687	TREE HOARDING	DELLAN
FINISHED AREA UNFINISHED AREA			021	EXISTING TREE TO	2010/03/07/22
PRIOR TO LOT COVERAGE: (Includes porches & decks more than 10sq.m.	& more than 0 (	and the second sec			
ION HOARDING PERMITTED PROPOSED DWELLING PROPOSED COVERED PORCHES	17 1	56.73 1.	478 687 512		
PROPOSED TOTAL			199		
MAXIMUM HEIGHT TO HIGHEST RIDGE: PERMITTED	8	10.70 35-1*			
ALL TO REMAIN					
			1 REF.	DATE: DESCRIPTIO	NR SITE PLAN APPROVA
			1 REF.	04.16.13 ISSUED FO	NR SITE PLAN APPROVA
1			1 REF. RE\	04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN	R SITE PLAN APPROVA
			1 REF. RE\	04.16.13 ISSUED FO DATE: DESCRIPTIO	R SITE PLAN APPROVA
			1 REF. RE\	04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN	R SITE PLAN APPROVAL IN: ICE:
			1 REF. REV		R SITE PLAN APPROVAL N: ICE: artners Architecture
			1 REF. REV		
				04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN /ISIONS / ISSUAN /ISIONS / ISSUAN /ISSUAN	R SITE PLAN APPROVA N: ICE: Artners Architecture
A TERMAIN				04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN hicks p DISTINCTIVE / HICK& PARTNENSHEF INC. MEDISTINCTIVE / ENT: RRIGAN-BO SIDENCE	
JLE TM NATERMAIN 250mm#					R SITE PLAN APPROVA N: ICE: Artners Architecture
CABLE 1 STM WATERMAIN 250mm# 1 250mm# 1 EL=0 EL=0 EL=0 EL=0 EL=0					
CABLE m 5TM m 5TM 250mm# 3 250mm# 3 250mm# 3 250mm# 3 250mm# 4 250mm# 4 250mm# 4 250mm# 4 250mm# 5 250mm# 4 250mm# 4 250mm# 4 250mm# 5 250mm# 5 250mm# 4 250mm# 5 250mm# 5 250mm				04.16.13 ISSUED FO DATE: DESCRIPTION /ISIONS / ISSUAN /ISIONS / ISSUAN /ISIONS / ISSUAN /ISIONS / ISSUAN /ISSUAN DISTINCTIVE // DISTINCTIVE /	R SITE PLAN APPROVA
CABLE m 5TM m 5TM 250mm# 2 250mm# 2 250mm				04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN /ISIONS / ISSUAN DISTINCTIVE A DISTINCTIVE A DISTINCTIVE A HICK& PARTHENIAND INC. AND PARTHENIAND INC.	R SITE PLAN APPROVA
GRADE ONS - EL=O - EL=O - EL=O - EL=O - EL=O - EL=O - EL=O	ICATE			04.16.13 ISSUED FO DATE: DESCRIPTIO /ISIONS / ISSUAN /ISIONS / ISSUAN DISTINCTIVE A DISTINCTIVE A DISTINCTIVE A HICK& PARTHENIAND INC. AND PARTHENIAND INC.	R SITE PLAN APPROVA N: ICE: ARCHITECTURE INTERNAL SALE OEYKENS OND STREET SAUGA, ON V11











PROPOSED ADDITION EXISTING

1 GROUND FLOOR PLAN A3.2 SCALE: 1/4"=1'-0"

K	FY	•
- 1\	LI	•

DENOTES	EXISTING	WALLS	T0	REMAIN

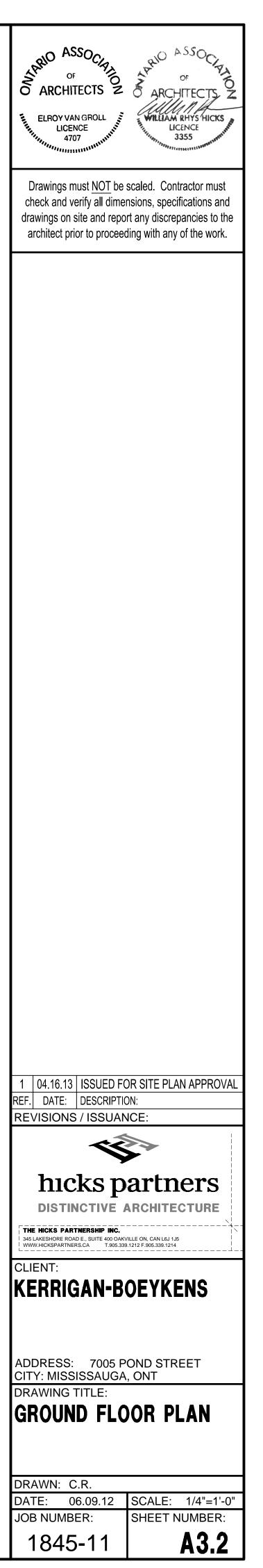
	DENOTES	NEW	CONSTRUCTION
<u> </u>			

DENOTES ITEMS TO BE DEMO'D

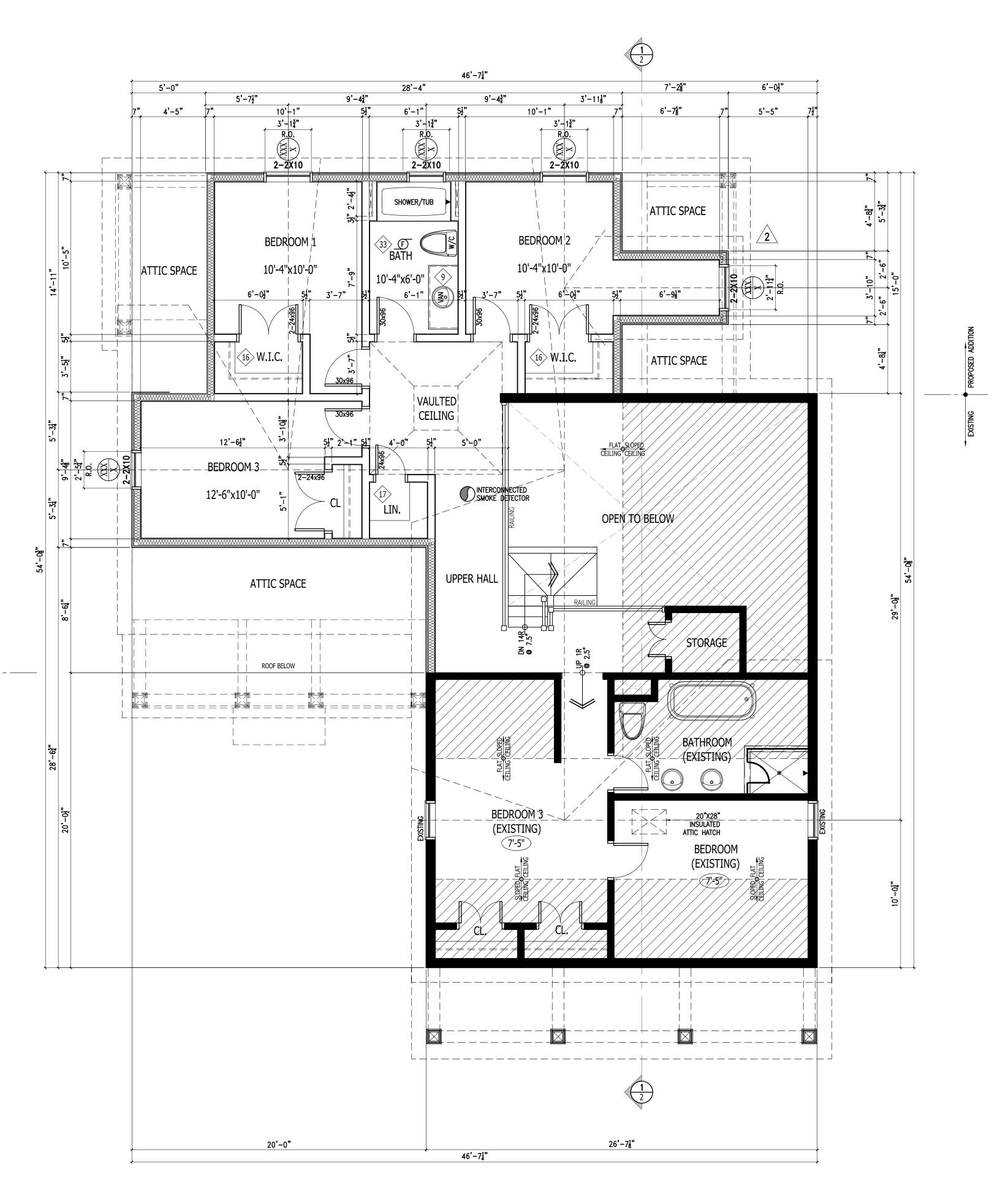
NOTES:

- I. DIMENSIONS TO EXISTING WALL ARE GIVEN TO FACE OF FINISH DIMENSIONS TO NEW CONSTRUCTION WALLS ARE GIVEN TO FACE OF STUDS.
- SUITABILITY OF EXISTING STRUCTURE TO BE SITE VERIFIED BY ENGINEER.
- . LEVEL ALL WOOD STRUCTURE BEARING ON EXISTING MASONRY WITH NON SHRINK GROUT.

TYPICAL ALL NEW WASHROOMS PROVIDE SUITABLE BLOCKING IN STUD WALLS TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO,
1) A WATER CLOSET IN THE LOCATION REQUIRED BY O.B.C. CLAUSE 3.8.3.8. (1)(d)
2) A SHOWER OR TUB IN THE LOCATION REQUIRED BY O.B.C. CLAUSE 3.8.3.13. (1)(f) REFER TO O.B.C. 9.5.2.3. <u>STUD WALL REINFORCEMENT</u>







1 SECOND FLOOR PLAN A3.3 SCALE: 1/4"=1'-0"

	_			
K	F	Υ	•	
- 17	L		٠	

DENOTES EXISTING WALLS TO REMAIN

DENOTES NEW CONSTRUCTION

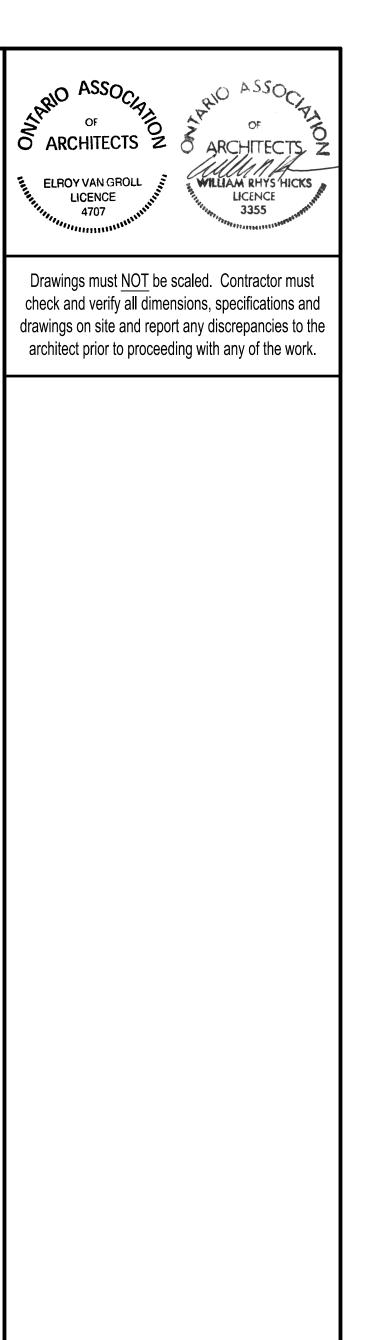
\_\_\_\_\_ DENOTES STRUCTURE OVER

denotes items to be demo'd

# NOTES:

DIMENSIONS TO EXISTING WALL ARE GIVEN TO FACE OF FINISH DIMENSIONS TO NEW CONSTRUCTION WALLS ARE GIVEN TO FACE OF STUDS. SUITABILITY OF EXISTING STRUCTURE TO BE SITE VERIFIED BY ENGINEER. LEVEL ALL WOOD STRUCTURE BEARING ON EXISTING MASONRY WITH NON SHRINK GROUT.

TYPICAL ALL NEW WASHROOMS PROVIDE SUITABLE BLOCKING IN STUD WALLS TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO, 1) A WATER CLOSET IN THE LOCATION REQUIRED BY O.B.C. CLAUSE 3.8.3.8. (1)(d) 2) A SHOWER OR TUB IN THE LOCATION REQUIRED BY O.B.C. CLAUSE 3.8.3.13. (1)(f) REFER TO O.B.C. 9.5.2.3. <u>STUD WALL REINFORCEMENT</u>



1	04.16.13	ISSUED FOR SITE PLAN APPROVAL			
REF.	DATE:	DESCRIPTION:			
REVISIONS / ISSUANCE:					



 THE HICKS PARTNERSHIP INC.

 345 LAKESHORE ROAD E., SUITE 400 OAKVILLE ON, CAN L6J 1J5

 WWW.HICKSPARTNERS.CA

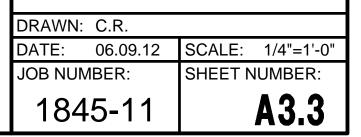
 T.905.339.1212 F.905.339.1214

CLIENT:

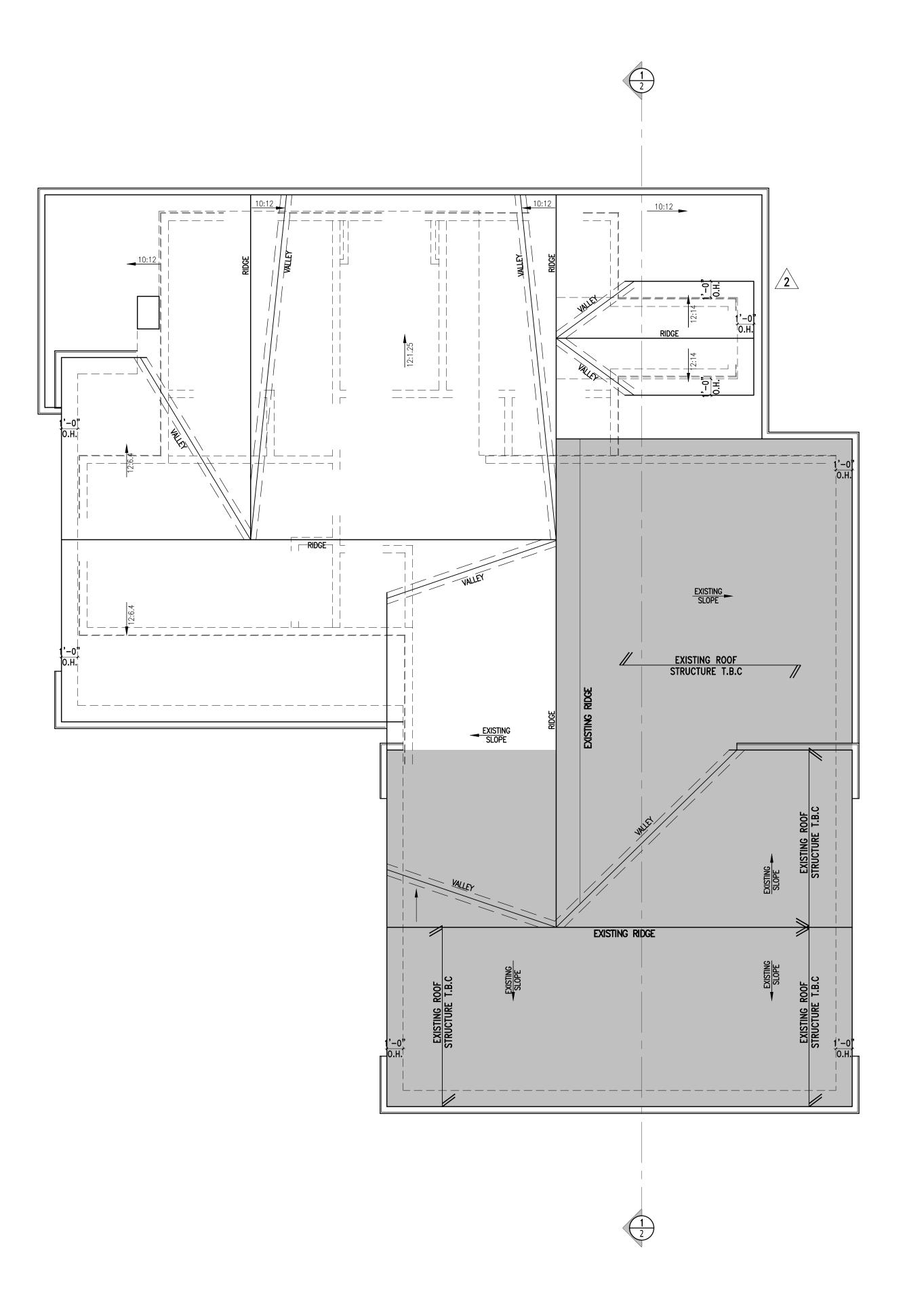
# **KERRIGAN-BOEYKENS**

ADDRESS: 7005 POND STREET CITY: MISSISSAUGA, ONT DRAWING TITLE:









DENOTES EXISTING ROOF TO REMAIN UNCHANGED

ROOF VENTILATION: (HIGH) INSTALL #-COLOURED PLASTIC MUSHROOM TYPE VENTS TO PROVIDE VENT AREA OF 1/300 OF THE INSULATED CEILING AREA, OR VENT AREA OF 1/150 WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6.

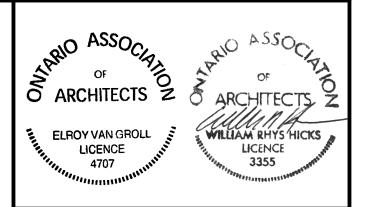
ROOF VENTILATION: (LOW) INSTALL 1" CONTINUOUS CORE VENT BETWEEN CROWN MOULDING AND EXTERIOR WALL.

PROVIDE ICE AND WATER SHIELD PROTECTIVE MEMBRANE BY 'W.R. GRACE & Co." OR APPROVED EQUAL. APPLY MEMBRANE OVER PLYWOOD SHEATHING, MEMBRANE TO EXTEND FROM EDGE OF ROOF OVERHANG (AT LOW SIDE) TO A POINT MINIMUM 5'-0" BEYOND INSIDE FACE OF EXTERIOR WALLS. ALSO INSTALL MEMBRANE UP VALLEYS MINIMUM 1'-6" UP SLOPE EACH WAY TYPICAL.

VERIFY ALL ROOF SLOPES ON SITE AGAINST EXISTING



DOWNSPOUT, PLAN VIEW – 3"X5" 🗔

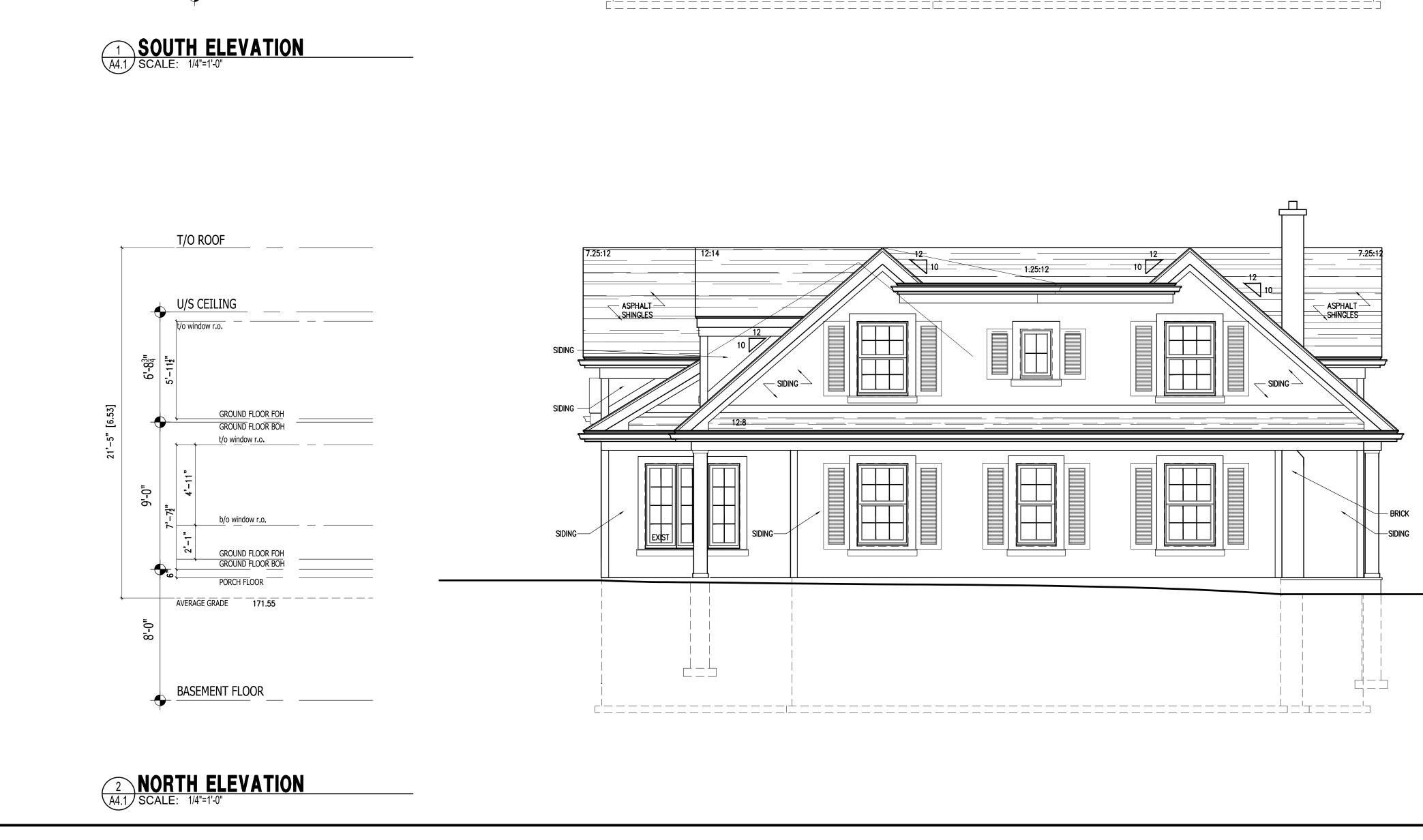


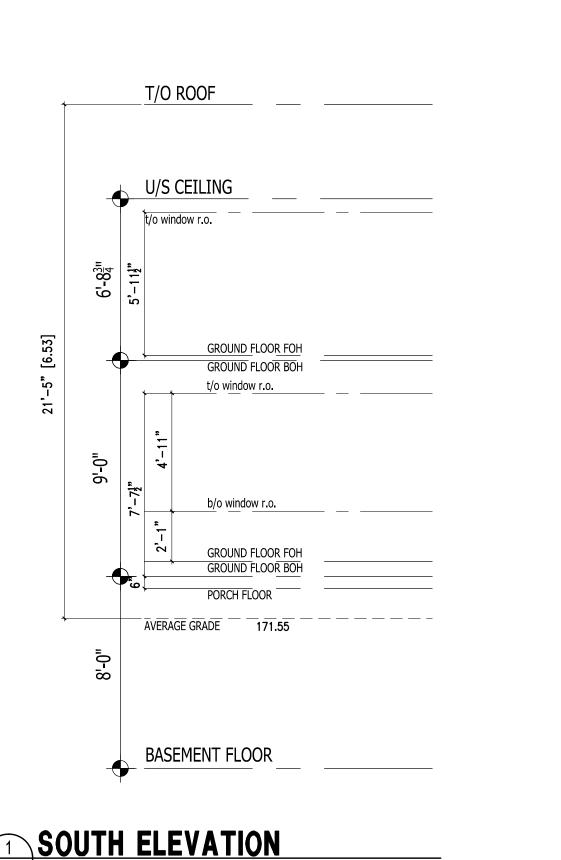
Drawings must <u>NOT</u> be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.

	OR SITE PLAN APPROVAL
	-
REVISIONS / ISSUANCE:	
7	
hicks partners	
DISTINCTIVE A	ARCHITECTURE
THE HICKS PARTNERSHIP INC. 345 LAKESHORE ROAD E., SUITE 400 OAKV WWW.HICKSPARTNERS.CA T.905.339	//LLE ON, CAN L6J 1J5   0.1212 F.905.339.1214
CLIENT:	
<b>KERRIGAN-B</b>	OFYKENS
ADDRESS: 7005 P	
CITY: MISSISSAUGA, ONT	
DRAWING TITLE:	
ROOF PLAN	
DRAWN: C.R.	
DATE: 06.09.12	SCALE: 1/4"=1'-0"
JOB NUMBER:	SHEET NUMBER:

1845-11

A3.4





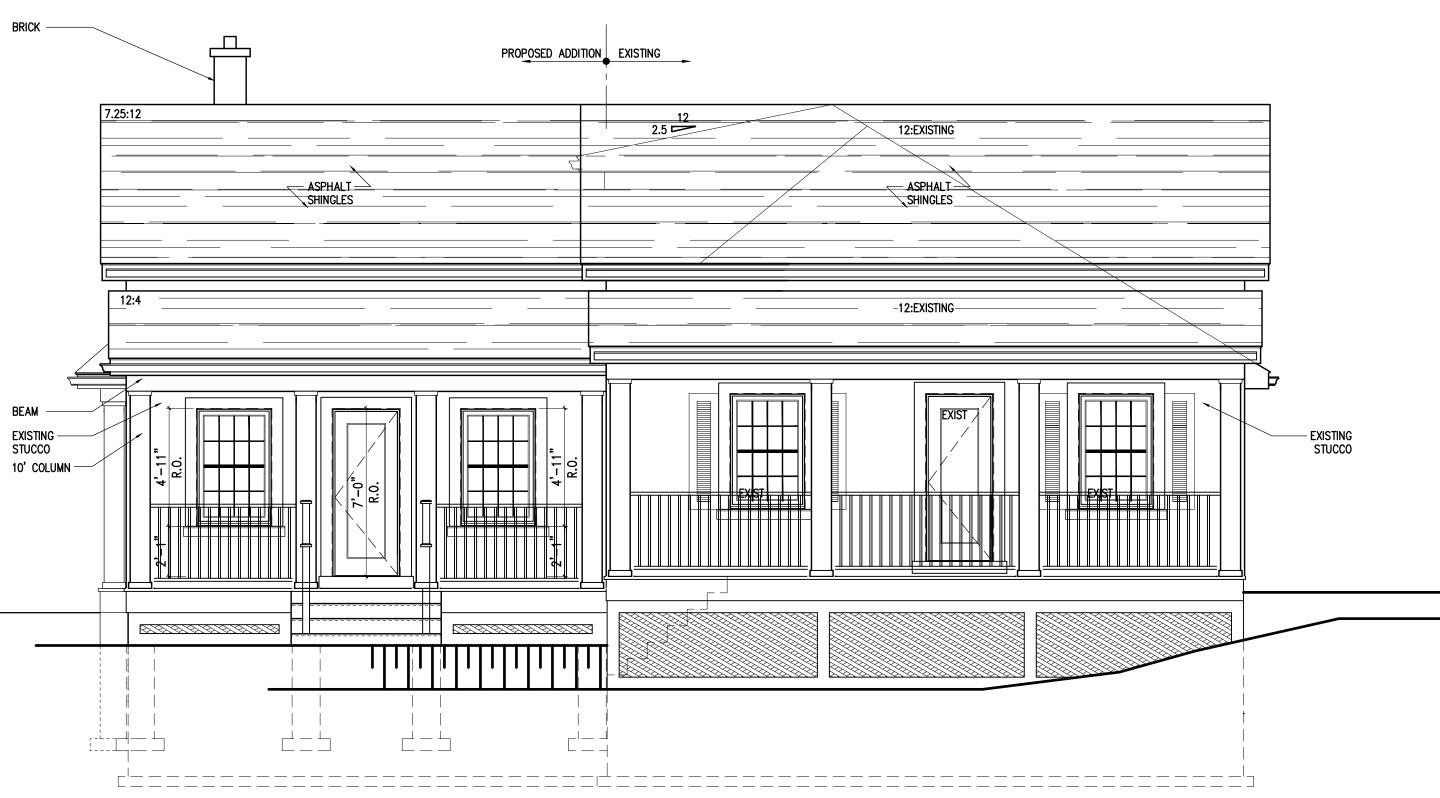
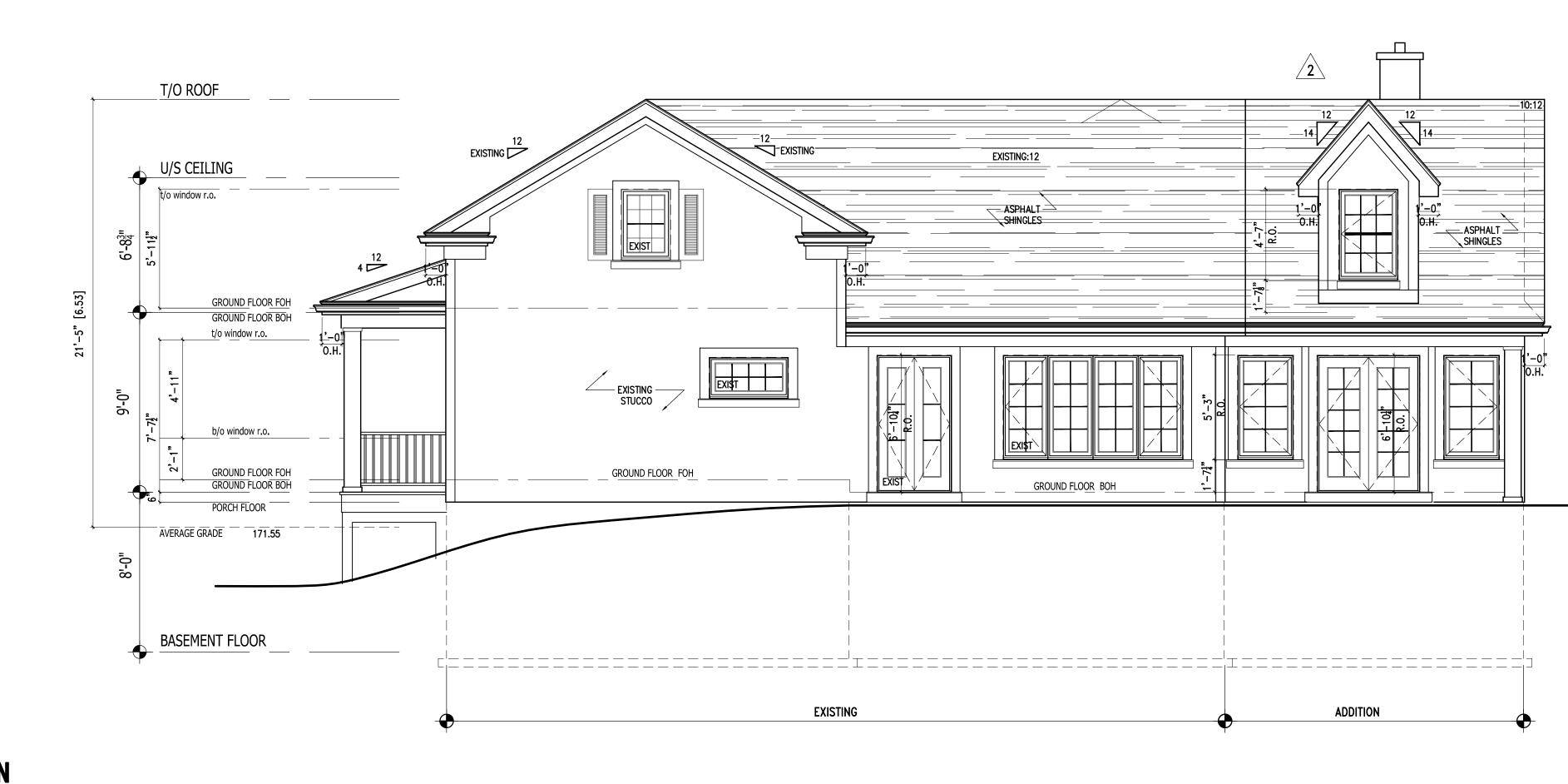


Image: State of the state	—	
Lickoc       State         Drawings musi NOT be scaled. Contractor musi check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         1       04.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       Date:       Description:         REVISIONS / ISSUED FOR SITE PLAN APPROVAL       REVISIONS / ISSUED FOR SITE PLAN APPROVAL         REF.       Date:       Description:         REVISIONS / ISSUENCE:       State:         Number of the scaled		a ASSO
ELROY VAN GROLL       ULLENCE 3353         Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         1       04.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       Data       Description         REF.       DATE       DESCRIPTION:         REVISIONS / ISSUANCE:       ESCRIPTION:         CLIENT:       MIDER SAME REVISIONS         ADDRESS:       7005 POND STREET         CITY:       MISSISSAUGA, ONT         DRAWING TITLE:       ELEVATIONS         DATE:       06.09.12       SCALE:       1/4"=1"-0"         JOB NUMBER:       SHEET NUMBER:       SHEET NUMBER:       SHEET NUMBER:		ARIU ISOCIETA ARIU TA
Linckey       Justice State         Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         1       D4.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       Data (Second)       Data (Second)         REF.       Data (Second)       Description (Second)         REF.       Data (Second)       Description (Second)         REF.       Data (Second)       Description (Second)         REVISIONS / ISSUARCE:       Excession (Second)         Number of the second (Second)       Description (Second)         REVISIONS / ISSUARCE:       Excession (Second)         DISTINCTIVE ARCHITECTURE       Manageord (Second)         Maximum of the second (Second)       Description (Second)         DISTINCTIVE ARCHITECTURE       Manageord (Second)         Maximum of the second (Second)       Description (Second)         DECLIENT:       KERRIGAN-BOEYKENS         ADDRESS:       7005 POND STREET         CHEVATIONS       SHEET NUMBER:         DRAWING TITLE:       SHEET NUMBER:         DRAWIN C.R.       SHEET NUMBER:		S ARCHITECTS 2 ARCHITECTS 2
Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         Image: the state of the		(Illin la
Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         Image: the state of the		LICENCE LICENCE
Drawings must <u>NOT</u> be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         Image: the state of th		AND
check and verify all dimensions, specifications and drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.         1       04.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:       Image: State of the s	ŀ	
1       04.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:       ISSUED FOR SITE PLAN APPROVAL         REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:       ISSUED FOR SITE PLAN APPROVAL         REVISIONS / ISSUANCE:       ISSUE SUBJECT SUBJECT         DESTINCTIVE ARCHITECTURE       ISSUESSAUGA, ONT         ISSUESSAUGA, ONT       ISSUESSAUGA, ONT         DRAWING TITLE:       ELEVATIONS         DRAWIN: C.R.       ISCALE: 1/4"=1"-0"         JOB NUMBER:       SHEET NUMBER:		·
1       04.16.13       ISSUED FOR SITE PLAN APPROVAL         REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:       ISSUED FOR SITE PLAN APPROVAL         REVISIONS / ISSUANCE:       ISSUED FOR SITE PLAN APPROVAL         REVISIONS / ISSUANCE:       ISSUESTINGTIVE ARCHITECTURE         Image: State of the state		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco	ŀ	
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the marked state of the mark		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REF.       DATE:       DESCRIPTION:         REVISIONS / ISSUANCE:         Image: Construction of the second state of the seco		
REVISIONS / ISSUANCE:		1 04.16.13 ISSUED FOR SITE PLAN APPROVAL
Image: And Andrew State   Image: Andrew State		
DISTINCTIVE ARCHITECTURE	┟	REVISIONS / ISSUANCE:
DISTINCTIVE ARCHITECTURE		
DISTINCTIVE ARCHITECTURE		
THE HICKS PARTNERSHIP INC.         345 LAKESHORE ROAD E. SUITE 400 OAKVILLE ON CAN LEJ 1J5         WWW.HICKSPARTNERS.CA       T.905.339.1212 F.905.339.1214         CLIENT: <b>KERRIGAN-BOEYKENS</b> ADDRESS:       7005 POND STREET         CITY: MISSISSAUGA, ONT         DRAWING TITLE: <b>ELEVATIONS</b> DRAWN: C.R.         DATE:       06.09.12         SCALE:       1/4"=1'-0"         JOB NUMBER:       SHEET NUMBER:		nicks partners
345 LAKESHORE ROAD E., SUITE 400 OAKVILLE ON, CAN LGJ 1J5         WWW.HICKSPARTNERS.CA         T.905.339.1212 F.905.339.1214         CLIENT:         KERRIGAN-BOEYKENS         ADDRESS:       7005 POND STREET         CITY: MISSISSAUGA, ONT         DRAWING TITLE:         ELEVATIONS         DRAWN: C.R.         DATE:       06.09.12         SCALE:       1/4"=1'-0"         JOB NUMBER:       SHEET NUMBER:		—
LWWWHICKSPARTNERS.CA       1905.339.1212 F.905.339.1214         CLIENT:       KERRIGAN-BOEYKENS         ADDRESS:       7005 POND STREET         CITY: MISSISSAUGA, ONT         DRAWING TITLE:         ELEVATIONS         DRAWN:       C.R.         DATE:       06.09.12         SCALE:       1/4"=1'-0"         JOB NUMBER:       SHEET NUMBER:		
KERRIGAN-BOEYKENSADDRESS: 7005 POND STREET CITY: MISSISSAUGA, ONTDRAWING TITLE:ELEVATIONSDRAWN: C.R.DATE: 06.09.12SCALE: 1/4"=1'-0"JOB NUMBER:SHEET NUMBER:		WWW.HICKSPARTNERS.CA T.905.339.1212 F.905.339.1214
ADDRESS: 7005 POND STREET CITY: MISSISSAUGA, ONT DRAWING TITLE: <b>ELEVATIONS</b> DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:	Í	-
CITY: MISSISSAUGA, ONT DRAWING TITLE: ELEVATIONS DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		KERRIGAN-BOEYKENS
CITY: MISSISSAUGA, ONT DRAWING TITLE: ELEVATIONS DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		
CITY: MISSISSAUGA, ONT DRAWING TITLE: ELEVATIONS DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		
CITY: MISSISSAUGA, ONT DRAWING TITLE: ELEVATIONS DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		ADDRESS: 7005 POND STRFFT
ELEVATIONSDRAWN: C.R.DATE:06.09.12JOB NUMBER:SHEET NUMBER:	ļ	CITY: MISSISSAUGA, ONT
DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		
DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		ELEVATIONS
DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:		
DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:	I	-
JOB NUMBER: SHEET NUMBER:		
1845-11   <b>A4.1  </b>		DATE: 06.09.12 SCALE: 1/4"=1'-0"
		DATE: 06.09.12 SCALE: 1/4"=1'-0" JOB NUMBER: SHEET NUMBER:

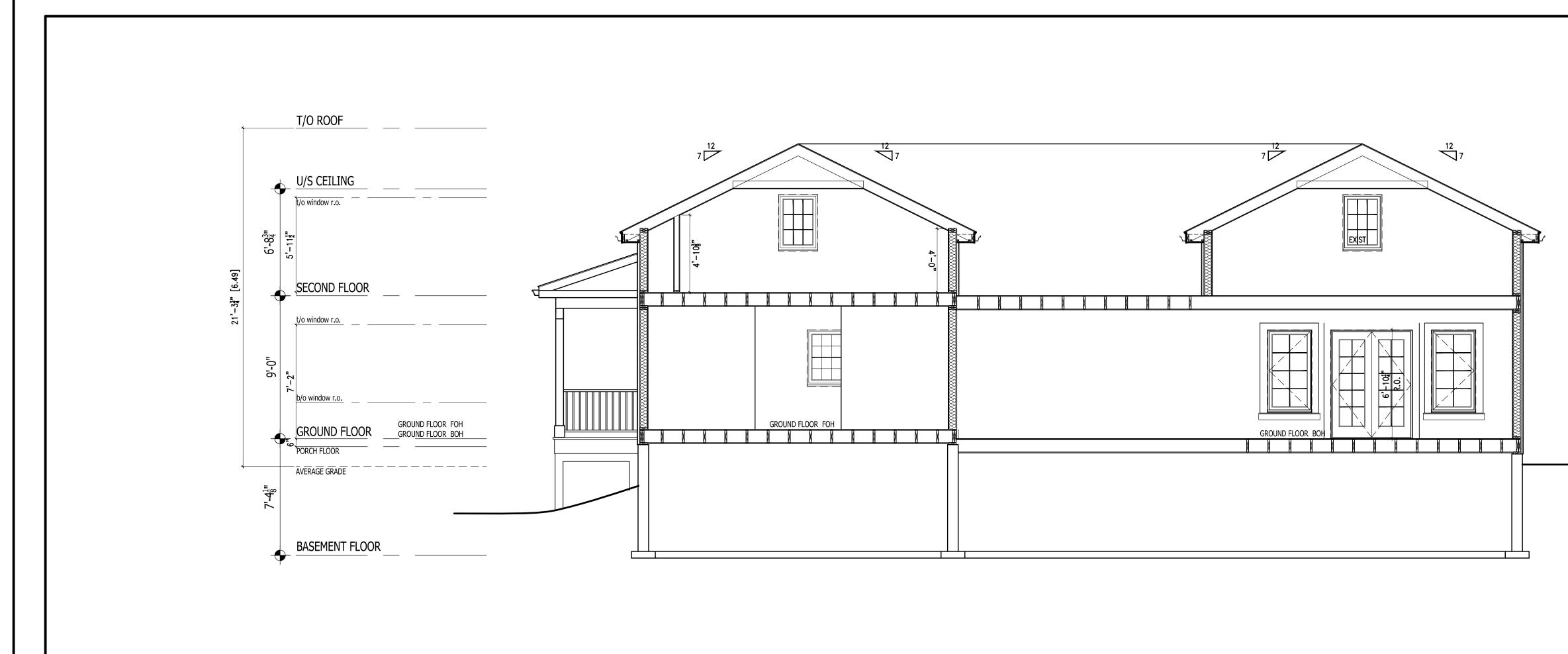


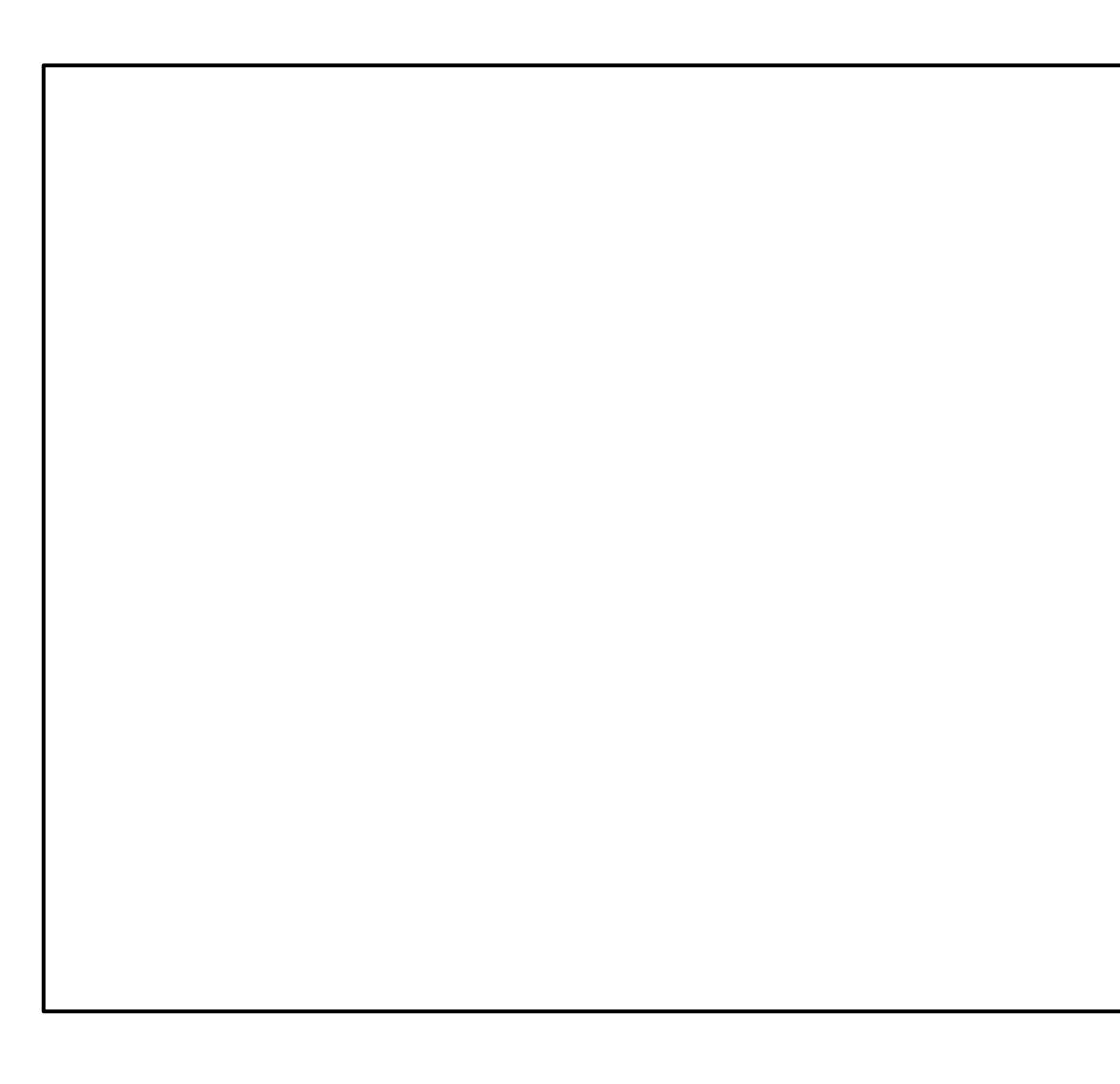






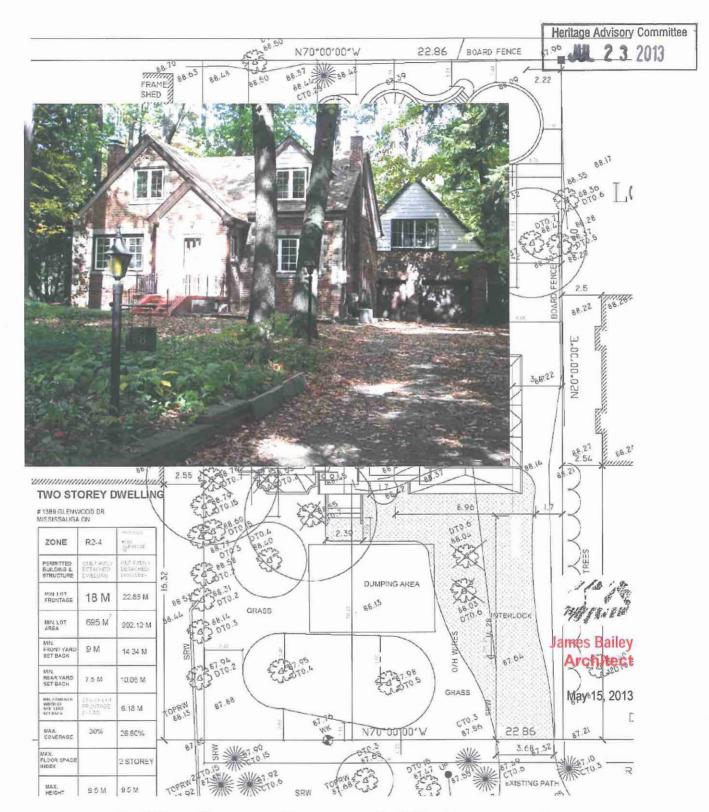
TARIO ASSOCIET APRIL ASSOCIET
ARCHITECTS Z ARCHITECTS Z
(Allanda)
ELROY VAN GROLL
4707 4707 3355 3355
Drawings must NOT be scaled. Contractor must
check and verify all dimensions, specifications and
drawings on site and report any discrepancies to the architect prior to proceeding with any of the work.
1 04.16.13 ISSUED FOR SITE PLAN APPROVAL
REF. DATE: DESCRIPTION:
REVISIONS / ISSUANCE:
hicks partners
DISTINCTIVE ARCHITECTURE
345 LAKESHORE ROAD E., SUITE 400 OAKVILLE ON, CAN L6J 1J5           WWW.HICKSPARTNERS.CA           T.905.339.1212 F.905.339.1214
KERRIGAN-BOEYKENS
ADDRESS: 7005 POND STREET CITY: MISSISSAUGA, ONT
DRAWING TITLE:
ELEVATIONS
DRAWN: C.R. DATE: 06.09.12 SCALE: 1/4"=1'-0"





ASSOCIA SSOCIA
There is the second second
ARCHITECTS Z ARCHITECTS Z
(IIIIIA A
ELROY VAN GROLL LICENCE 4707
and the second s
Drawings must <u>NOT</u> be scaled. Contractor must
check and verify all dimensions, specifications and
drawings on site and report any discrepancies to the
architect prior to proceeding with any of the work.
REF. DATE: DESCRIPTION: REVISIONS / ISSUANCE:
REF. DATE: DESCRIPTION: REVISIONS / ISSUANCE:
REVISIONS / ISSUANCE:
REVISIONS / ISSUANCE:
REVISIONS / ISSUANCE: hicks partners
REVISIONS / ISSUANCE:
REVISIONS / ISSUANCE: hicks partners DISTINCTIVE ARCHITECTURE THE HICKS PARTNERSHIP INC.
REVISIONS / ISSUANCE: hicks partners DISTINCTIVE ARCHITECTURE
REVISIONS / ISSUANCE:

<u>Item 4, Appendix 1</u> Heritage Advisory Committee Agenda – July 23, 2013



1

(İ

A Heritage Impact Statement for 1389 Glenwood Drive, Mississauga, Ontario

#### TABLE OF CONTENTS:

- 1.0 Development Proposal and Report Objective
- 2.0 Location Plan of Subject Property
- 3.0 Description of the Property
- 4.0 Present Owner Contact
- 5.0 Historical Research
- 6.0 Statement of Significance of the Property
- 7.0 Summary of relevant municipal/agency requirements
- 8.0 Proposed redevelopment Plan
- 9.0 Impact of the Development on the Cultural Landscape
- 10.0 Mitigation Measures
- 11.0 Recommendations

#### **APPENDICES:**

- A1. Sources of Information and References
- A2. Selected Reference Documents
- A3. Heritage Property Permit Application
- A4. Plans of the Existing House and Garage
- A5. Complete Drawings including site plan and elevations of the proposed new house for 1389 Glenwood Drive.
- A6. Certified Arborist Report
- A7. Curriculum Vitae of Author

Researched and authored by:	James Bailey Archite	ct
	49 Melbourne Avenue	
	Toronto, M6K 1K6	jbarch@sympatico.ca
	Tel. (416) 537-4140	Fax. (416) 537-0405

This study has been commissioned by Mehri Habibi in support of an application for redeveloping 1389 Glenwood Drive. It specifically addresses the architectural resources on the property and the relationship of the property to the cultural landscape in which it is located. The conclusions represent the independent opinions of the author.

## 1.0 Design Proposal and Report Objective

In July of this year, Mehri Habibi purchased this property on which was located an existing, vacant home and an associated garage. The intent of the purchaser is to construct a new home in sympathy with the kind of redevelopment that the neighborhood has been experiencing.

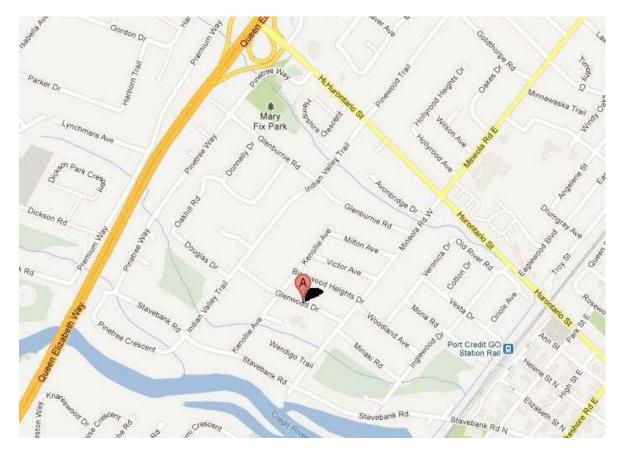
Because the Mineola West neighborhood is listed on the City of Mississauga Cultural Landscape Inventory, any significant alterations to this property must be evaluated as to its heritage impact.

James Bailey, OAA, MRAIC, CAHP was retained by the owner to carry out this investigation as a Heritage Consultant. This report is a summary of his findings.

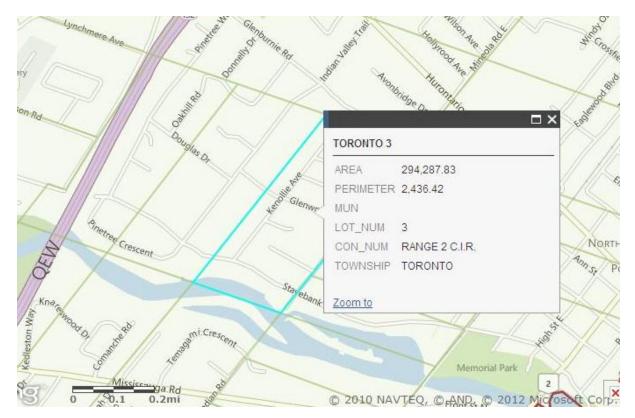
These findings are based on a documentary search, a property title search at both the Land Registry Office and in the Peel Archives, investigations with Heritage Mississauga, conversations with the grandson of the first owner, as well as a site review by the Heritage Consultant carried out on November 14, 2012.

#### 2.0 Location Plan of Subject Property

1389 Glenwood Drive is located in the Mineola West neighborhood. It is south east of the Queen Elizabeth Expressway and south west of Hurontario Street.



The lot is situated on land that was the last to be surveyed within the region. When Samuel Wilmot prepared his first survey of the area 1805-1806, a strip of land bordering the Credit River remained in the hands of the Credit Indians. This area was not surveyed until 1821 and is known as the "Credit Indian Reserve"



1389 Glenwood falls within what was Lot 3, Range 2 of this survey. It was 120 years later, on June 21, 1940 that a further subdivision plan was registered which identifies our specific lot. This latest Plan of Survey is known as Plan 34-319 and the property of interest is lot 2.

Legal Description of the Property:PLAN 319 LOT 2Tax Roll Number:21-05-010-017-06200-0000

Zoning: R2-4

# 3.0 Description of the Property

This property is listed on the City's Heritage Register due to its location in the Mineola Neighborhood. This is a neighborhood that was developed at a time before developers began the practice of taking a bulldozer to land to be subdivided to the point where natural topography and vegetation are all lost, and storm-water drainage is fully re-engineered. The subdivision was laid out in 1940 incorporating a road system and storm drainage system which respected the natural contours and drainage patterns. In this way the native vegetation was able to not only survive but also regenerate. Lot sizes are generous and roadways follow the natural topography of the area. Because they were built to respect these irregularities, as well as the existing larger trees, the houses are often placed at unusual angles. There are no curbs and this provides a more natural transition from the roadways to the front lawns.

Much of the housing stock in Mineola is post World War II, although there are still a few homes dating from the 1920's. The older homes are distinguished by gum wood, stained glass and cedar shake shingles. Hurontario divides the neighborhood into East and West. The pricier of the two areas is the westerly half, in which this site is located.

This particular property has two buildings: a storey and a half house, and a double garage with a living unit above it. The garage sits just behind and to the east of the house. The construction of both suggests that they date from early in the life of the subdivision (1940"s).

The home is a wood frame structure on a poured concrete basement. The exterior is a rusticated brick veneer with stone quoining at the front corners and stone trim around the windows and door. The single roof dormer is clad in horizontal wood siding. The foot-print of the house measures approximately 35 feet (10660 mm) x 32 feet (7750mm). The basement sits approximately 30" (750 mm) out of the ground.

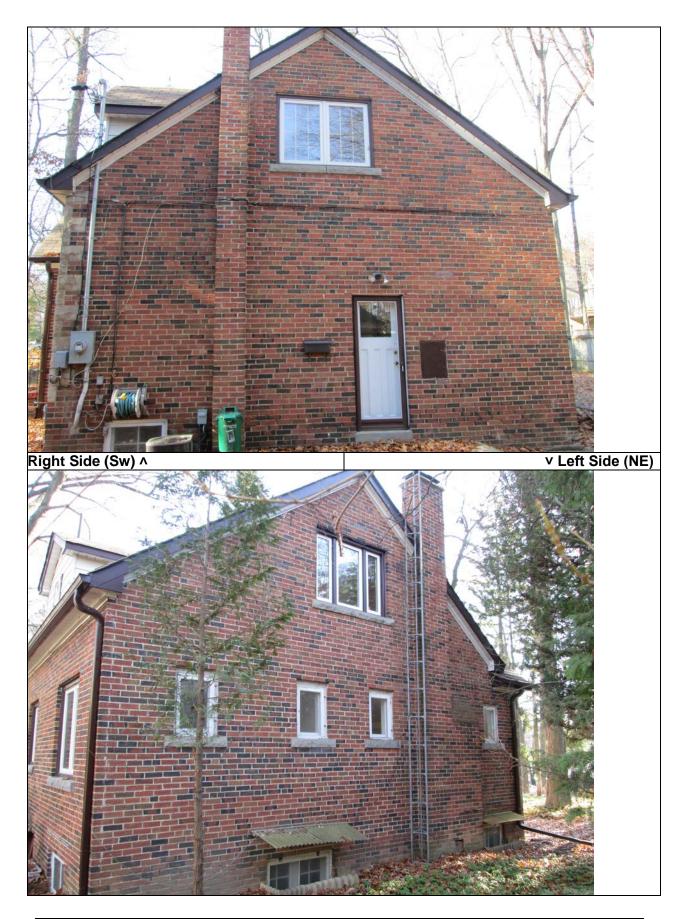
On the main level can be found a living room, dining room, kitchen with breakfast area, and a one bedroom (or study) with a powder room ensuite to this room. On the second floor are two bedrooms plus a 3-piece bathroom. Most of the second floor closet space is tucked away below the steeply pitched (12:12) roofline.

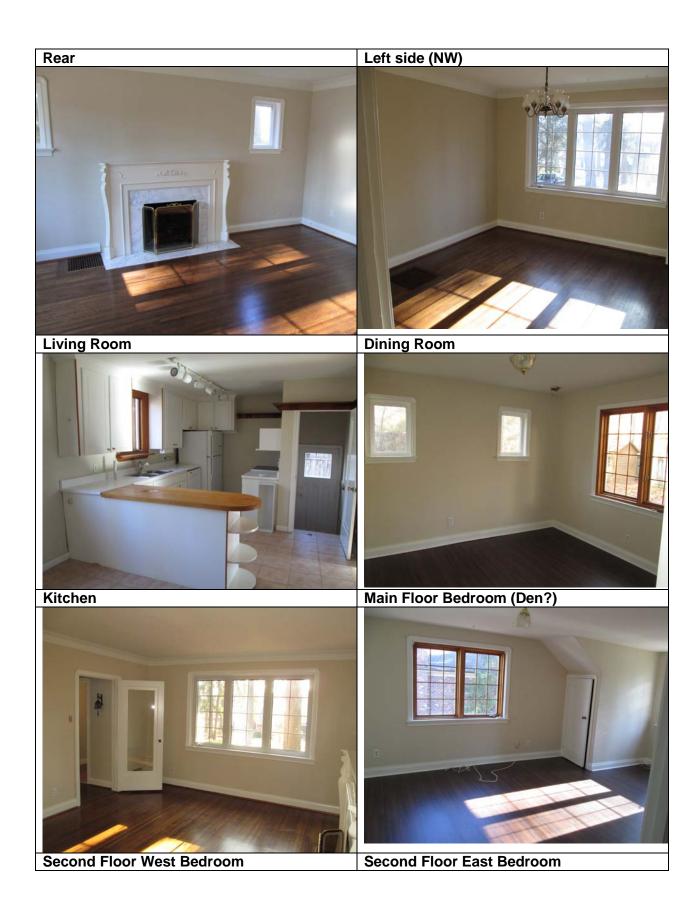
The house is well-maintained and, while there has been some upgrading over the past 70 years, some original features have been maintained: main floor hardwood, door and window trim with radiused corners. The existing condition is documented in the following pictures. A complete set of plans has been included in the appendices of this heritage impact statement.

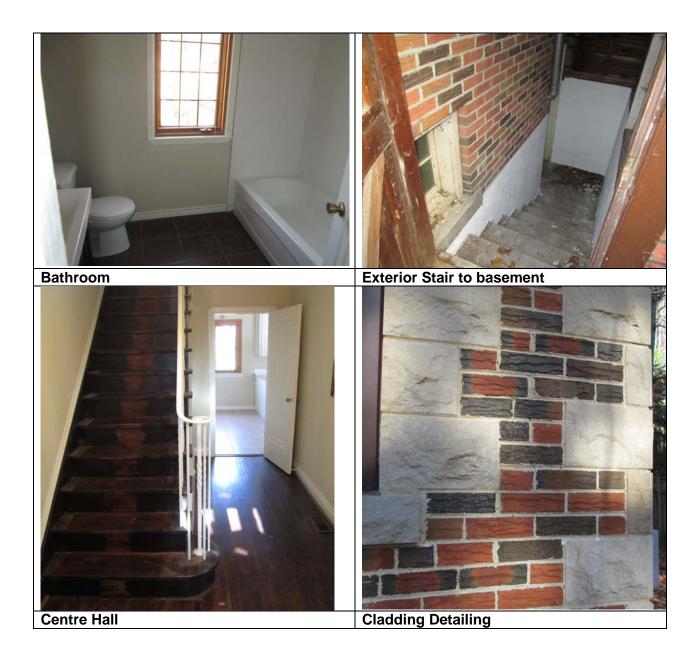
















#### 4.0 Present Owner Contact

The property is presently owned by Mehri Habibi,

#### 5.0 Historical Research

The focus of the archival research on this property has been to determine when the house might have been constructed and who the owner/occupants were at that time, and subsequently. Sources have included the Peel Region Archives, and the Province of Ontario Land Registry offices.

The property is located on lands which were retained by the Credit Indian Reserve . The document, *Mississauga, Leading Today for Tomorrow,* complied by the City Planning and Building Department, February 2004, describes Mineola as follows:

"From the late 17<sup>th</sup> century to the early 19<sup>th</sup> century the Credit River Valley was the exclusive domain for the Mississauga, a band of the Ojibway. They were nomadic hunters and fishers who travelled the entire length of the Credit River from Lake Ontario to Georgian Bay. In 1802 they relinquished most of their holdings to the British Government, with the caption of a strip of land one mile on each side of the Credit River—the Credit Indian Reserve, which now comprises part of Mineola, as we know it today. As settlement occurred, the Mississaugas sold most of the Credit Indian Reserve to the Credit Indian Reserve.

Following deforestation, the lands in Mineola were used for agriculture up to the 1930's. Growth pressures of Port Credit, together with construction of the Queen Elizabeth Way, including Canada's first "clover leaf" interchange at Hurontario Street, provided the impetus for development.

Unlike many other subdivisions in Mississauga, Mineola appears to have been developed by several people in several parcels. Mineola underwent suburban residential development on these parcels of land throughout the 1940's and 1950's, and by 1950 older farmhouses lined Hurontario Street almost continuously from Port Credit to Cooksville.

Since that time, infill development has continued to take place, abetted by the widening of Hurontario Street, and the introduction of GO train services in 1967."

The Cultural Landscape Inventory establishes the easterly boundary of the Mineola Cultural Heritage Landscape as Hurontario Street. It is described as follows:

Mineola was developed before it became standard practice to re-grade topsoil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete storm-water drainage system artificially.

In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes.

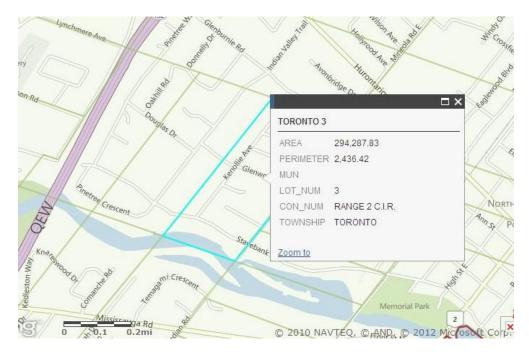
What was evolved today is a wonderful neighborhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads, which softens the transition between the street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees.

A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighborhood appealing and attractive. Of the many neighborhoods in Mississauga, the Mineola neighborhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this kind of community.

E CITY	OF MISSISSAUC	A Cultu	ral Landscape Inventory
Mineola 1	Neighbourhood		L-RES-6
Locati on	Located north of La Hurontario on the e		led by the Credit River on the west and
Heritage or (	Other Designation	None	
Landscape T	yp e	Residential (Nei	ighbourhood)
LANDSCAP	EENVIRONMENT		BUILT ENVIRONMENT
🗹 Scenic and Vi	isual Quality		🛃 Aesthetic/Visual Quality
🗹 Natural Envi:	ronment		□ Consistent Early Environs (pre-World War II)
🗌 Horticultural	Interest		Consistent Scale of Built Features
🛃 Landscape D	esign, Type and Technologic	al Interest	Unique Architectural Features/Buildings
			Designated Structures
HISTORICA	AL ASSOCIATION		OTHER
🖌 Illustrates Sty	de, Trend or Pattern		Historical or Archaelogical Interest
🗌 Direct Associ	ation with Important Persor	ı or Event	Outstanding Features/Interest
🖌 Illustrates Im	portant Phase in Mississaug	a's Social or	👿 Significant Ecological Interest
Physical Dev	elopment		🔲 Landmark Value
🗌 Illustrates We	ork of Important Designer		

# Land Ownership

1389 Glenwood Drive is located on land which in the 1821 Credit Indian Reserve Survey was part of Lot 3, Range 2, as confirmed by the following map.



The first public record of ownership of this lot was by Elizabeth Blakley who was granted the patent by the Crown on 59 <sup>3</sup>/<sub>4</sub> acres of the NE part of the lot on the 12<sup>th</sup> of March, 1862. The Land register shows the name of "James Cotton" and "All" as being scratched out. Since the correction is not dated, we can only assume that the first entries were wrong and were immediately corrected by the clerk. Ownership of the SW portion was corrected similarly.

TRUNENT,	INSTRUMENT	Ins Date.	DATE OF REGISTRY.	GRANTOR.	GRANTER	QUANTITY OF	CONSIDERATION OR AMOUNT OF MORTGLOR.	REMARK
1.00	Constant in		1	The brann Judich W Sardes				
\$861	DP	13 May 1505	14 low 1stas	Fuderick W Janies	Pank of Upper band	to all	4015	top
<u> </u>	1.00	1						5 %
1. 1.		1.1.1	1. A.					
		1. A. A.			S. S. Standard S. S. S.			
1		hi shi		10 14 The 14			and the second	1.1
	1.1.1.2	· · ·	lot M	1. 20	Range			(F)
			er er	2	stunge .	1 1 1 1 1		1.
	Di			MIC		1. 1. 1. 1.	1	
id.	Grad :	11 1		The Grown	Pank of Upper band	1 non	*	
	a v	Bellegistes	17 00 1868	Frederick Mariles	Cant of Upper bond	da Ull	H015	1-25-
							1	
						· .		
		-						
1. j	- hard and a		Online.	p v	in		1.	
		· · · · a	.W. pla	lot Nog	2 Peange			
					and the set of the second set of the second	SW ht		
	Gatent .	11 Jerly 1834	Constraint and	The brown .	Sames bollon	all		
3.361	I.F	13. 16ay 1565	1. In ists	The brown . Frederical Warnes	Sames Collon. Bank of Upper banad	all		4
1.	liciat "		hereine ich		and the second	1.	- Andrew	
24.	S. A.S.				Contraction of the			
		1		Charles Starting		and the second		
1		· · · · ·	1.1					
		·	6. 11-2	of Nº3	2 Prange Strakest Blakky		Service Service	
		à : ; ;						
	12:1.1	in H.L.	S. 4.4.	The brown	- Elizabeth Blackby	. 39 Bane	1000	1

The historic maps which show Mineola include Tremaine's Map of the County of Peel, 1859; the 1877 Illustrated Historical Atlas of Peel; and a 1918 Guidal Map of the Township of Toronto. Only the 1877 map indicates property ownership, and this indicates the land as being owned by Dr. Dixie.

The ultimate "developer" of lot 3 was a farmer by the name of Kenneth Skinner. According to Kathleen Hicks in her local history, "Port Credit Past to Present", Kenneth Skinner first took some ownership on Lot 3, Range 2 in the purchase of an 8-acre plot from Edwin Crickmore in 1894.

Kenneth Skinner came to Port Credit in 1893 from Schomberg, Ontario and by 1897 had married a local girl by the name of Mary Ann South. They had two sons, Victor Kenneth (b.

October 5, 1899) and Milton Douglas (b. April 3, 1902). They made their home at 1372 Stavebank Road. Kenneth was a farmer and market gardener. He grazed cattle, cultivated blueberries, and developed building skills which he applied to constructing some cottages along the bank of the river that he rented out for the summer to vacationers from Toronto.

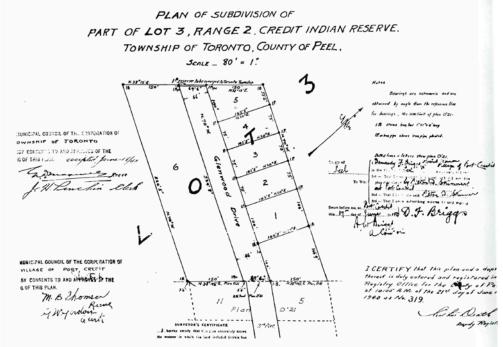
Official land-title records available indicate that in November of 1908, 59 <sup>3</sup>/<sub>4</sub> acres of Lot 3 were granted to Kenneth Skinner for \$6,000.00. (Kathleen Hicks indicates that this purchase was from Washington Payne) and began plans for a subdivision which would include around 38 homes. Kenneth Skinner is responsible for planning over 10,000 trees on his property (many of them spruce) which has gone a long ways in providing the tree cover and character of the Mineola neighborhood. The names of the streets were largely Kenneth Skinner's doing. Kenollie is an amalgam of his name and that of his wife. Victor and Milton were named after his sons.

He sold a large acreage on the north east corner of Stavebank and Mineola to a Mr. Lee in 1912, who built two large stone homes, one for himself and one for his gardener, which remain today. A portion of this property was sold to the Peel Board of Education for the building of Kenollie Public School.

In July of 1912 "Leslie Pallet et ux" mortgaged 20 acres of the N.E. part of Lot 3 for \$5,000.00. Plan of subdivision B'13 was registered in December 1912 by Kenneth Skinner. Subsequent plans of subdivision which appear on the land register related to "parts of Lot of Lot 3, Range 2" are as follows:

- E'13 a subdivision registered by Leslie H. Pallet et al in March 1913
- A'17 a subdivision registered by Kenneth Skinner in August 1917
- A'21 a subdivision registered by Kenneth Skinner in August 1917

The Plan of Subdivision which reflects today's lots is known as 43-319 shown below. What is clear is that Plan of Subdivision A'21 listed above is to the south east of this survey plan.



Both of Kenneth Skinner's sons were involved in the subsequent house-building although Milton was the most proficient in this regard. The two brothers never worked together.

According to his grandson, Donald Skinner of Bracebridge, Milton had drafting skills and was able to develop his own designs and build them. Often these designs were to the requirements of a purchaser, and ownership was transferred to the homeowner during the construction process.

Victor had also started the Credit Valley Ice Company which harvested winter ice from the Credit River and then sold it during the summer months for ice boxes.

Lot 2, of Plan 43-319, was developed by Milton Skinner, who is noted in the land-title transcripts as selling the property to Hugh Russell on July 11, 1940. (Included in the appendices of this HIA is a copy of the deed). The deed makes no reference to an existing home but did spell out certain conditions for the use and development of the property, such as "used for residential purposed only..", "no building....is to be nearer than 40 feet to the streetline....be of neat design...", "no tarpaper or similar materials to be used...", and "outbuildings are to be in keeping with the main house." Subsequent owners are noted as follows:

- 20 May 1948 the property was sold by the estate of Hugh Russell to Helen G. McDonald
- 30 March 1961 the property was sold by Helen McDonald to Allen W. Garbutt & Dorothy M Garbutt as joint tenants for \$20,000. (Dorothy appears to have died in 1970 leaving Allen as a sole owner)
- 15 March 1973 Allan Garbutt sold the home to William D. Jones & Lilian Jones as joint tenants
- 24 February 1975 the title is transferred to Lilian alone (perhaps a divorce, or for tax reasons)
- 16 December 1976 Lilian Jones sold the house to Peter W. Shandro and Judith M. Shandro for \$37,865.00.
- 27 August 1979 Peter and Judith Shandro sold the house to Brian E. Patchell and Jennifer G. Patchell as joint tenants for \$2.00 & c.

Electronic land registry began in 1998, at which time the property was assigned the PIN 13458-0233.

There are only two transactions registered on the electronic land registry.

- The earliest is the transfer of title from Brian Edward Patchell, salesman, and Jennifer Gaye Patchell, his spouse, as joint tenants to D. Hugh Pawson and Madeleine Pawson, his spouse, as joint tenants and not as tenants in common dated August 31, 1981.
- The most recent is the sale of the property by the Pawsons to Mehri Habibi dated July 21, 2012 for a price of \$900,000. It is Mehri Habibi who has commissioned this study.

# 6.0 Statement of Significance of the Property

Ontario Regulation 9/06 made under the Ontario Heritage Act establishes three criteria for determining Cultural Heritage Value or Interest.

#### 1. The property has design value or physical value because it,

- a) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
- b) displays a high degree of craftsmanship or artistic merit, or
- c) demonstrates a high degree of technical or scientific achievement.

#### 2. The property has historical value or associative value because it,

- a) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- b) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- c) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

#### 3. The property has contextual value because it,

- a) is important in defining, maintaining or supporting the character of an area,
- b) is physically, functionally, visually or historically linked to its surroundings, or
- c) is a landmark.

We shall examine this property in relationship to each of these criteria, but as this property is listed as being part of a Cultural Landscape, we will put an emphasis on those specific criteria which were identified in L-RES-6 (included on page 12 of this report) as being significant for this site. Section 6.3 deals with these issues.

#### 6.1 Design or physical value

1389 Glenwood Drive is a house which follows in the Arts and Crafts Style of the preceding decades. It is a one and a half story brick wood-frame home with brick veneer cladding--essentially a bungalow with a half story determined to have been built in 1940. It is solid, and not unattractive, but it is neither unique nor a good example of its particular style.

#### DESIGN OR PHYSICAL VALUE

We are unable to defend the preservation of this house and the associated garage on the merits of its design or construction.

#### 6.2 Historical or associative value

We have been able to confirm that this was one of a few dozen homes constructed by Milton Skinner, a son of Kenneth Skinner who was the farmer/entrepreneur who developed the Mineola subdivision. Based on our findings, there is no one of historical stature who has lived in it.

# HISTORICAL OR ASSOCIATIVE VALUE

The present house and possibly the garage are associated with the family which first developed Mineola. It is one of a few dozen properties constructed by Milton Skinner for a home purchaser. Associations with important persons or events is not a concern for this property under its listing as part of Cultural Landscape L-RES-6. None of the documented owners are individuals of local or wider importance.

# 6.3 Contextual Value / Landmark Status

The context of this redevelopment proposal within the Mineola Cultural Landscape is the most significant issue to be considered. The new home is within a strictly residential neighborhood of single family dwellings on average sized lots.

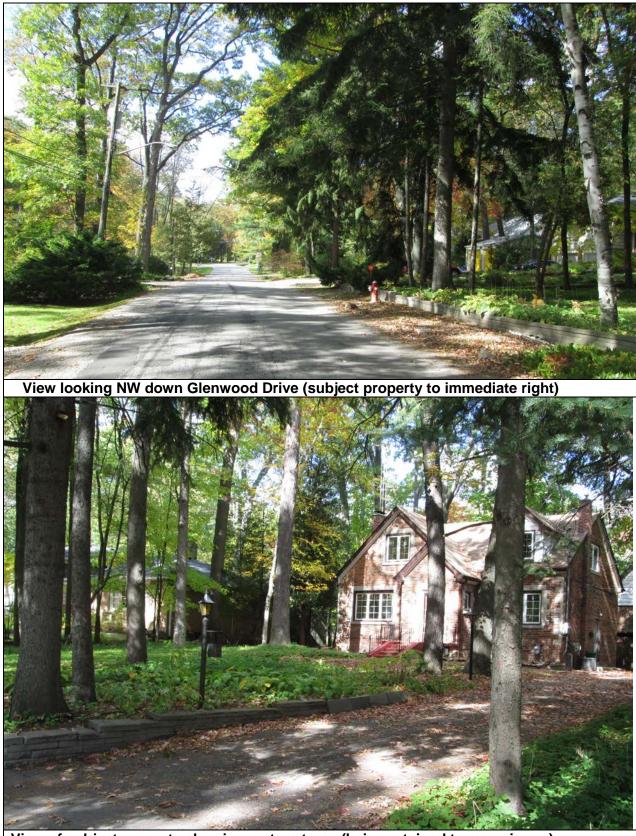


The Cultural Landscape Inventory specifies the following concerns which we will address here if they have not been addressed earlier in this report.

LANDSCAPE ENVIRONMENT:

- Scenic and Visual Quality
- Natural Environment
- Landscape Design, Type and Technological Interest

We include photographs of the street and the existing vegetation on the lot. A comparison of the existing and proposed site plans included in section 8.0 confirmed that almost all of these mature trees are being preserved. An arborist's report is attached in the appendices of this H.I.A.



View of subject property showing mature trees (being retained to a maximum)

HISTORIAL ASSOCIATION:

- Illustrates Style, Trend or Pattern
- Illustrates Important Place in Mississauga's Social or Physical Development

This has been basically addressed in Part 5 of this document in the history of the property. Mineola is a unique neighborhood from a subdivision planning point of view. The original housing stock was somewhat mixed. This house is in the Arts and Crafts style which was on the wane in 1940. Other homes are better classed as bungalow or contemporary in style.

**BUILT ENVIRONMENT** 

- Aesthetic/Visual Quality
- Consistent Scale of Built Features

The proposed new home is to be set between the two first homes pictured below and at the top of page 20. This side of Glenwood Drive is at a topographical higher elevation than the opposing side which represents the gradual slope of the neighborhood towards the Credit River.

The current home is more in scale with the neighboring home pictured below (c. 1960); what is proposed will have a physical stature closer to that of the more recent home pictured at the top of the next page.



Neighbor to NW (Left)



The new home will respect the setback of its neighbors, and has been conceived to disturb a minimum number of the mature trees which currently screen all the homes from the street will be removed, as is illustrated by the following streetscape view.



Streetscape View of proposed new home

OTHER

• Ecology

The footprint of the proposed new home is somewhat larger than the current house, however there is no detached garage. There is no change of use or occupancy of the lot. There will be not significant changes to the site grading or natural drainage patterns of the property

# CONTEXTUAL VALUE

Due to the hefty property values in Mineola, the neighborhood housing stock is being rejuvenated at a scale somewhat larger than what was originally constructed. This is a difficult trend to fight unless an existing home has some special merit, either architecturally or historically. The current home has neither of these, and also cannot be considered to have landmark status.

# 7.0 Summary of relevant municipal/agency requirements

As has been already stated, the current zoning of the lot is R2-4. I falls well within a neighborhood of exclusively single family homes.

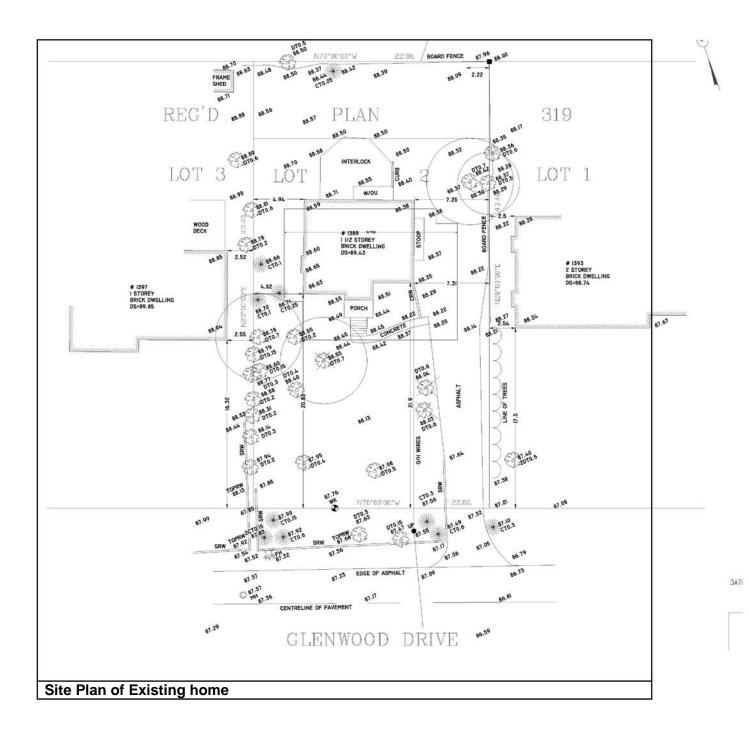


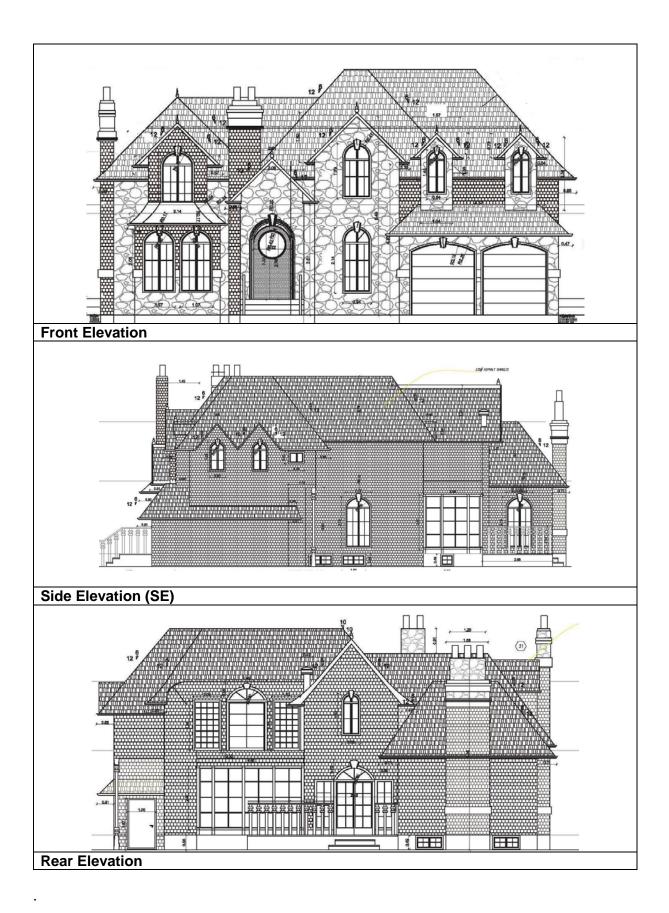
As part of a designated culture landscape, development is also controlled by Ontario Heritage Act, Regulation 9/06, which is addressed by this study. This property is listed under Cultural Landscape L-RES-6.

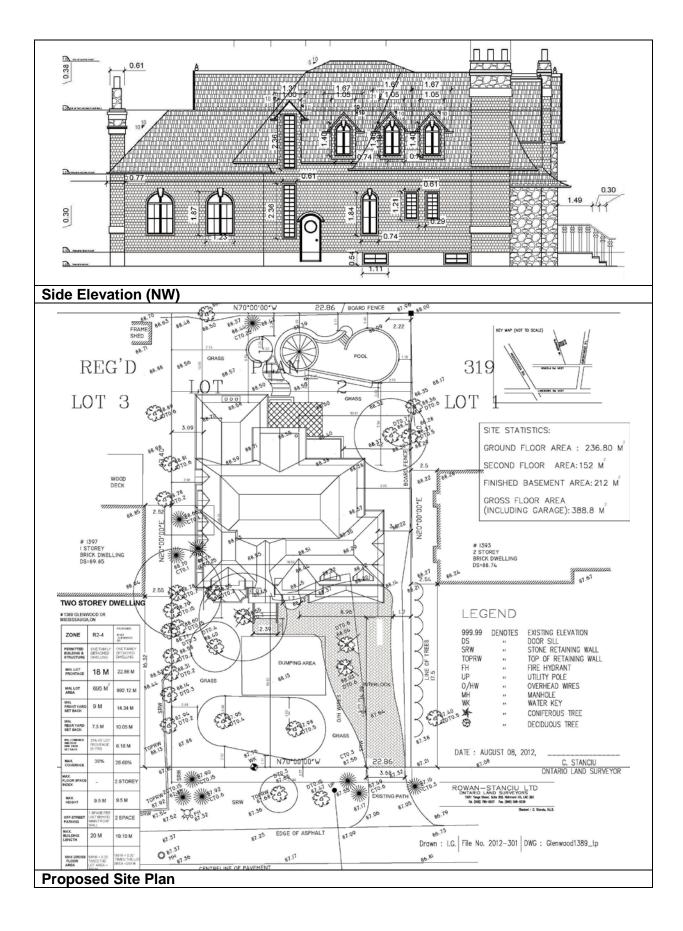
The City of Mississauga has also developed Design Guidelines and Site Plan Requirements for New Dwellings, Replacement Housing and Additions (May 2010) which were intended to provide some guidance to homeowners wishing to upgrade their properties.

## 8.0 Proposed redevelopment plan

What follows on the following pages is a site plan and elevations of a new home which has been proposed by the Owner for the Site. The house is substantially larger that the present home, however the front façade of the new house has attempted to follow the alignment established by neighboring homes to either side.







## 9.0 Impact of the Development on the Cultural Landscape

In our view the current house at 1389 Glenwood Drive does not have any design, historical or landmark merit. The property is included in the Mineola West Cultural Landscape (L-RES-6) and has been analyzed against the criteria identified as being important in respect to that designation.

This character is defined by a wide variety of quality housing stock set in a natural environment where mature trees punctuate manicured lawns. Houses are sited to take advantage of the natural topography which is not broken by the usual grid of sidewalks and curbs, but rather front yard landscaping meets the pavement of the roadway.

Not having found any arguments against the preservation of this particular house and garage, we support their demolition. What we feel is important is that any new construction should respect the natural features of the property and as many of the mature trees which grace the site should be protected and maintained, as is possible.

The proposed home is being built to a scale that might be expected, given the desirability of the neighborhood. While large in building area, the alignment of the front façade of the proposed new home respects a line drawn between the front facades of the two adjacent homes. As per the City of Mississauga guidelines for the construction of new homes in existing neighborhoods, the garage does not extend past the main entrance.

In terms of the architectural design of the home we commend the designer for the way that the scale of the house has been reduced by the introduction of a single storey element over the garage and a number of dormers. While the design does not follow the arts and crafts style that seems to be quite popular in new house construction in the neighborhood, the way that the mass of the home has been broken down both in architectural articulation and in changes of material, goes a long ways to helping the design blend in with its neighbors.

The choice of brick masonry as the cladding material blends nicely with the neighborhood. While stone is not a material which was used for the original housing stock the way in which a combination of brick and stone has been combined does help to reduce the mass of the mass of the home. The new design does not obstruct any significant views or cast problematic shadows on adjacent properties.

It is also of interest to relate the proposed design to the existing home immediately adjacent to it (right side neighbor) which is a recent replacement to a first generation home. Clearly the new house proposed is sympathetic with this neighbor.

#### 10.0 Mitigation Measures

The current owner did assess the possibility of upgrading the existing house, but very quickly realized that it was not possible to meet their family requirements within it. In addition there is some evidence of mold contamination at the basement level (water infiltration) and as a medical practitioner this is not acceptable (actually this should not be an acceptable condition of anybody) to the purchaser.

The proposed house design has gone through a number of iterations since it was first conceived. The designer was encouraged to drop a more Chateauesque roof-line. The

current roof slope is now 45 degrees which is recommended as a maximum in the City of Mississauga Design Guidelines for Replacement Housing and Additions.

The garage door has been pushed back to not extend beyond the front entrance of the new house, and a rear balcony which could have been a concern of the easterly neighbors is no longer accessible.

### 11.0 Recommendation

We have concluded that preservation of the house and detached garage at 1389 Glenwood Drive cannot be defended, and support its demolition.

Its heritage designation, as part of a cultural landscape regards it as being representative of an architectural style, trend or pattern and representative of an important phase in Mississauga's social or physical development. Its association with Milton Skinner, the designer/builder, or any of the subsequent owners is not part of this designation. Our research has not uncovered information on any occupant/owner being an important person, nor any event of significance having taken place in this house.

From a practical perspective the house will not meet the needs of the current owner. It is small as compared to the replacement housing which is being built in Mineola West, and it is inconsistent with the lot value.

The proposed new home has been conceived to maintain a maximum of the existing mature vegetation and the general lay of the site. No change to drainage patterns are envisioned.

The design of the proposed replacement home has been developed to reflect the owner's tastes. Over three evolutions there have been some design modifications to better meet the City of Mississauga guidelines for replacement housing. While the house is marginally taller than its two neighbors, the lot sits a bit lower and the streetscape is not remarkable.

We are supporting the replacement of the existing house at 1389 Glenwood Drive with this new home.

### APPENDIX A1 Sources of Information

City of Mississauga Services Online: Property Information

Mississauga, Leading Today for Tomorrow", the City Planning and Building Department, February 2004

Port Credit Past to Present, Kathleen Hicks, Mississauga Public Library, 2007

Mississauga Planning Department: Mineola District, April 2010

Government of Ontario Land Registry Office, Peel Region: Land ownership records

1858 Tremaine Map

1877 Illustrated Historical Atlas of Peel, edited by Walker and Miles

Guidal Map of the Township of Toronto, 1918, published by the Map and Adveristing Co.

The City of Mississauga has also developed Design Guidelines and Site Plan Requirements for New Dwellings, Replacement Housing and Additions (May 2010)

Heritage Mississauga, Matthew Wilkinson, Historian

Donald Skinner, Bracebridge, Ontario. Grandson of the builder and himself an architect.

Google Earth

#### APPENDIX A2 Selected Reference Documents

- a) Heritage Listing of 1389 Glenwood Road
- b) Land title registries for Lot 3, Concession 2, CIR
- c) Land title registries for Lot 2, Plan of Subdivision 43-319
- d) Hugh Russell Deed of 1940

#### HERITAGE STATUS

Address: Legal Description: Roll Number: Heritage Status

1389 GLENWOOD DR PLAN 319 LOT 2 21-05-010-017-06200-0000

LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED

Status: Conservation District: Bylaw: Bylaw Date:

#### **Inventory Item**

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
<u>1</u>	Mineola Neighbourhood			Ν	

#### **Designation Statement**

Designation Statement not available

#### ZONING

Address: Legal Description: Roll Number: **Zoning Information** 

1389 GLENWOOD DR PLAN 319 LOT 2 21-05-010-017-06200-0000

The zone(s) for this property are listed below. Please <u>click here</u> to access our online zoning by-law.

#### **By-law In Force**

Zone	Master Bylaw	Enacting Bylaw	OMB Case / File No.	Status
R2-4	0225-2007	BL-0225/07	N/A	IN FORCE

# 🛃 CITY OF MISSISSAUGA

# **Cultural Landscape Inventory**

# Mineola Neighbourhood

L-RES-6

Location

Located north of Lakeshore Road bounded by the Credit River on the west and Hurontario on the east

Heritage or Other Designation

None

Landscape Type

Residential (Neighbourhood)

#### LANDSCAPE ENVIRONMENT

- ✓ Scenic and Visual Quality
- ✓ Natural Environment
- Horticultural Interest
- ✓ Landscape Design, Type and Technological Interest

#### HISTORICAL ASSOCIATION

- ✓ Illustrates Style, Trend or Pattern
- Direct Association with Important Person or Event
- ☑ Illustrates Important Phase in Mississauga's Social or Physical Development
- Illustrates Work of Important Designer

#### **BUILT ENVIRONMENT**

- Aesthetic/Visual Quality
- Consistent Early Environs (pre-World War II)
- ✓ Consistent Scale of Built Features
- Unique Architectural Features/Buildings
- Designated Structures

#### **OTHER**

- Historical or Archaelogical Interest
- Outstanding Features/Interest
- ✓ Significant Ecological Interest
- Landmark Value



2 Range CONCESSION on Re Cudit Indian RemaLOT No. 1 DATE OF INSTRUMENT. ITS DATE. GRANTOR. REM GRANTER. STRUMENT, REGISTRY. LAND. Patent She brown 1361. D.P. 13 May 1565 17 Son 1865 Seedlinch W Sandes Pankof Upper bandle all 4013 1.2 Los No.2 2 Range 13861 DB B May 1865 17 loo 1865 Frederick Homes Bank of Upper bounda all 4015 1-25-S.W. pt Lot No3 2 Prange N.C. pt Lot Nº3 Patent 12. Marchine She brown 2 Range Styneih Blakky . 39 Same

From 570 Lot 3 Range II C.I.R. \$1º 40 7889 Frant 10 aug 1937 18 aug 1937 Kenneth Stinner it up Millon D. Skinger Part su skitch attached. Frant 10 Aug 1937 23 Aug 1937 Million U. Prinner etuy. Hillon J. P. Hassell + \$5000 7896 Part su statch attached. Elizabeth Hansell. discharging No. 34790. 37928 Il. M. 4 aug 1937 2 Supt. 1937 James C. Brodely. Falken Eige MORTGAGE Nor Recorded 13 Geps. 1938 20 Gps. 1938 Hillon J. S. Hassell strup. # 2000 m 38356 Ruth & Basker. Tartasin No. 37896. D. M. 22. Gpn. 1938 9 Sept. 1938 Margaret Ewing stal Esnest D. Lott. 38640 discharging No. 35935. \$1000 C 38666 agres t. 1 may 1938 22 Sept 1938 Kenneth Steiners H. J. S. Hassell stery Part & O. L. agouit for sale. Com: in Elflimit of St. 10. Rd. 145" N. \$ 600 00 Ernist D. Lott. 3872 "hant 24 Syst 1938 15 Chet. 1938 Kennith Steiner itur. last. July 1. J lot 3. - 13-13. There Ney 15'6" These Ely. 296 10" These Sty 15'2" These wely. 294' 2" to p. of. 6 (Parol ligio to south greaters m. 17. of trincola Rd. + Wily limit of State Bank Thence My + Wily 11 to Stave Bank 105. Theme \$10000 39367 Trant 25 July 1939 11 aug. 1939 Kenneth Skinner itury Mary & Skinner Why to tredit River along Kim + back to p-of to. 319 Plan 18 June 1940 21 June 1940 Inillon D. Skimmer 40442 hotice 21 how. 1940 25 how. 1940 Imperial del tot. a subdivision of part as in No. 37889 speept part as in No. 37896. # 290 2 W . C.C. Jonnes pt. ao. in No. 33524. 40798 23/100.1941 14 may 1941 H. S. S. Hassell stury 40800 Shant 14 may 1940 16 may 1941 Kenneth Skinner stury. Lev. 7. Skinner #2500 00 past +0. h. asim No. 40800. Hillon J.S. Hassell 4part 40. L. at man of loto 62463 relax E-13. Commin why lic & Frather 13+3+ 1461" H. J. By a Jlot 4, 13-13 Themes why 142 x 54 30 x Ely 142 x Nly 80'to port of the solution of the solut \$ jeo th Elizabeth Hassell, asjoint tenants 41156 Grant 27 aug. 1941 25 Supt. 1941 Kenneth Steinmer then 41562 Grant 21 Tel. 1942 4 Mar. 1942 Kenneth Steinen stur-\$ 972 = Cruet D. Lott. millon D. Skinner 100 10 Comm. af 5. L. of Sot 6. Plan 319 There is 152'8" × W 939'1" × 5 706' 9" to Why - g lat 12 Plan A. 21 X E 1466 to p. 0,6.

Abstract Index Répertoire par lot tiviued Pt. 3 R.2 C.I.R. . \_ Lot \_\_\_\_\_ Plan/Concession \_\_\_\_\_\_ 319 · \_\_\_\_

		Page
 	 	raye.

ber It	Instrument Type Type d'acte	Registration Date     Date d'enregistrement     YY   MM   DD     AA   MM   JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds (Observations
	Grant	DD MM YY 11 July 1940	Milton D. Skinner et ux	Hugh Russell	\$750.00	All. restrictions
	Grant		Violet N. Russell in her personal capacity & as Admrx. Hugh Russell Est.	Helen G. McDonald	\$1.00 & c	All. Treas. Consent attach
SIT N	No. 1456					
	By-Law	3 July/50	RE SUBDIV. CONTROL			
	By-Law	9 June/54	RE SUBDIV. CONTROL			
	Grant	30 Mar.1961	Helen G. McDonald	Allen W. Garbutt & Dorothy M. Garbutt, as joint tenants	\$20,000.00	A11
/S	Consent	14 July 1970	re: estate tax act	Dorothy M. Garbutt estate		re: No. 135839
5	Cert.	14 July 1970	Treasurer's Consent	Dorothy M. Garbutt estate		re: No. 135839
	Grant	15 Mar.1973	Allan W. Garbutt	William D. Jones & Lilian Jones, as joint tenants	\$2.00 & c	A11
	Grant	24 Feb.1975	William D. Jones & Lilian Jones	Lilian Jones	\$2.00	A11
	Grant	16 Dec.1976	Lilian Jones	Peter W. Shandro & Judith M. Shandro,	\$37,865.00	A11

Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD AA MM J DD MM YY	Parties from Parties	Parties to 🌮 Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
Grant	27 Aug.1979	Peter W. Shandro, & Judith M. Shandro	Brian E. Patchell, & Jennifer G. Patchell as joint tenants	\$2.00 & c	A11
Grant	31 08 81	PATCHELL, Brian E. PATCHELL, Jennifer G. (a.k.a. PATCHELL, Gaye S.) by p. of a. 588929 GR	PAWSON, D. Hugh PAWSON, Madeleine as J.T. ≁	\$2.00 & c	A11

.

 $\mathbb{R}^{2}$ 

CE atrainents なしろしろして 1997

lion 21(5) of the ACT



# Ontario ServiceOntario

PARCEL REGISTER	(ABBREVIATED)	FOR	PROPERTY	IDENTIFIER
-----------------	---------------	-----	----------	------------

13458-0103 (LT)

PAGE 1 OF 1 PREPARED FOR

ON 2012/11/0

\* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT

PROPERTY DESCRIPTION:

LT 2, PL 319 ; MISSISSAUGA

#### PROPERTY REMARKS:

ESTATE/QUALIFIER: FEE SIMPLE LT CONVERSION QUALIFIED RECENTLY: RE-ENTRY FROM 13458-0233 PIN CREATION DATE: 1998/02/23

PARTIES TO

OWNERS' NAMES HABIBI, MEHRI CAPACITY SHARE

LAND

REGISTRY

OFFICE #43

HADIDI, MEHR				
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM
**EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTAT	ION DATE" OF 1997/03/18 ON THIS PIN**
**WAS REPLA	CED WITH THE	"PIN CREATION DATE"	OF 1998/02/23**	
** PRINTOUT	INCLUDES AL	L DOCUMENT TYPES AND	DELETED INSTRUMEN	TS SINCE: 1998/02/23 **
** RANGE SP	ECIFIED FOR	SEARCH: FROM 1910/01	/01 TO 2012/10/30	**
**SUBJECT,	ON FIRST REG.	ISTRATION UNDER THE	LAND TITLES ACT, T	0:
* *	SUBSECTION 4	4(1) OF THE LAND TIT	LES ACT, EXCEPT PA	ARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *

|--|--|

\* \* THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF

\* \* IT THROUGH LENGTH OF ADVERSE PO\$SESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY

\* \* CONVENTION.

\* \* ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.

**DATE OF C	ONVERSION TO	LAND TITLES: 1998/02	2/24 **		
RO589710	1981/08/31	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	PAWSON, D. HUGH PAWSON, MADELEINE
PR699295	2004/08/17	APL OF SURV-LAND		*** COMPLETELY DELETED *** PAWSON, MADELEINE	PAWSON, D. HUGH
PR2240558	2012/07/31	TRANSFER	\$900,000	PAWSON, D. HUGH	HABIBI, MEHRI
PR2240559	2012/07/31	CHARGE	\$720,000	HABIBI, MEHRI	AGF TRUST COMPANY

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY. NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



LAND

ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER

PAGE 1 OF 1 PREPARED FOR ON 2012/11/0

REGISTRY OFFICE #43

13458-0233 (R)

PROPERTY DESCRIPTION: LT 2, PL 319 ; MISSISSAUGA

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) R0589710, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY. PROPERTY REMARKS:

ESTATE/QUALIFIER:

RECENTLY: PARCELIZED PIN CREATION DATE: 1997/03/18

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
**EFFECTIVE	2000/07/29 1	THE NOTATION OF THE	"BLOCK IMPLEMENTAT	ION DATE" OF 1997/03/18 ON THIS PIN**	
**WAS REPLA	CED WITH THE	"PIN CREATION DATE	' OF 1997/03/18**		
** PRINTOUT	INCLUDES AL	L DOCUMENT TYPES (DE	LETED INSTRUMENTS	NOT INCLUDED) **	
** RANGE SP.	ECIFIED FOR	SEARCH: FROM 1850/01	/01 TO 1998/02/23	**	
THIS ABSTRA	CT INCLUDES	ALL INSTRUMENTS AND	DOCUMENTS FROM: 19	97/03/18	
FOR THE PRE	VIOUS ABSTRA	CT SEE ABSTRACT BOOR			
NOTE: THIS	PIN WAS ONCE	REG PIN 13458-0103.	THIS PROPERTY WA	S CONVERTED TO LT ON 1998/02/23 REUSING PIN 13458-0103.	
RO589710	1981/08/31	TRANSFER	\$2		PAWSON, D. HUGH PAWSON, MADELEINE

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY. NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

40093 Tosorlo Jounto 40093 DATED A.D. 10 May 13th 40 MILTON D. SKINNER et ux 1056 - TO -1 CERTIFY that the within instrument is duly entered and registered in the H RUSSELL Registry Office for the Registry Division of the County of Peel in Book No. 179 fortisonto at 10:000' clock A M. of the 11 4 day of July A.D. 19 40 150 No. 4.00.93 Deed of Land Hulance of Registrar SITUATE Sage 135. 13K. 7. Plan 319. Township of Toronto JAMES ESPLIN, 810 Dovercourt Road, Toronto 280 10:00 11/7/40 THIS INSTRUMENT BRIGGS, FROST, & BIRKS IS THE PROPERTY OF SOLICITORS, ETC. THE REGISTRY OFFICE FOR 35 RICHMOND ST. WEST, TORONTO THE COUNTY OF PEEL

Commissioner for taking Affidavits, &c

÷



made in duplicate the Thirteenth day of May in the year of our Lord one thousand nine hundred and forty. In Pursuance of the Short Forms of Conveyance Act:

## Between

MILTON D. SKINNER of the Township of Toronto in the County of Peel, Builder, hereinafter called the Grantor,

OF THE FIRST PART

<u>HUGH</u> RUSSELL of the City of Toronto in the County of York, hereinafter called the Grantee,

OF THE SECOND PART

MARY E. SKINNER wife of the said party of the first part,

OF THE THIRD PART

dollars of

lawful money of Canada now paid by the said grantee to the said grantor (the receipt whereof is hereby by him acknowledged) he the said grantor DO th Grant unto the said grantee in fee simple ALL and Singular th at certain parcel or tract of land and premises, situate, lying and being Lot Number Two on the northerly side of Glenwood Drive in the Township of Toronto in the County of Peel according to registered Plan No. 319.

TO HAVE AND TO HOLD unto the said grantee his heirs and assigns to and his and their sole and only use forever, SUBJECT NEVERTHELESS to the resfor ervations, limitations, provise and conditions expressed in the original grant thereof from the Crown.

COVENANTS with the said grantee THE said grantor THAT he ha s the right to convey the said lands to the said grantee notwithstanding any act of the said grantor.

AND that the said grantee shall have quiet possession of the said lands free from all encumbrances.

AND the said grantor COVENANT's with the said grantee that he will execute such further assurances of the said lands as may be requisite.

AND the said grantor COVENANTS with the said grantee that he ha s done no act to encumber the said lands.

AND the said grantor RELEASES to the said grantee ALL his claims upon the said lands.

And the said party of the third part hereby bars her dower in the

said lands.

It is understood and agreed between the grantor and grantee and their and each of their heirs, executors, administrators and assigns that,;-

The property hereby conveyed shall be used for residential purposes only, except when occupied by a doctor or a dentist. No building of any kind is to be nearer than forty feet to the

street line upon which the land fronts. Any building to be erected shall be of neat design and be completed in a proper and workmanlike manner.

No tarpaper or similar material shall be used on the outside face or roof of any building. Outbuildings are to be in keeping with the main house.

IN WITNESS WHEREOF the said parties hereto have hereunto set their hands and seals.

Signed, Sealed and Delibered) IN THE PRESENCE OF

ed and Delibered Mitten D. Stammer. DESENCE OF Mary & Skinner

This name scrietly in full, no initial. William W of Joroulo County of York, CANADA PROVINCE OF ONTARIC of the To Wit:) in the make oath and say: 1. THAT I was personally present and did lee the within Instrument and a duplicate duly signed, scaled Milton D. Skinner and Mary E. Skinner and executed by the parties thereto two of 2. THAT the said Instrument and Duplicate were executed by the said parties at the May rear in the of on 1615 lo and that each 3. THAT I know the said part 165 is over the full age of twenty-one years. THAT I am a subscribing witness to the said Instrument and Duplicate. SWORN before me at the of Imonto in the orth of day of in the year of May our Lord, 1940. A Commissioner for taking Affidavits, &c. 31 CANADA DEAVINCE OF ONTIDIA Affidabit, Land Transfer Tax Art IN THE MATTER OF THE LAND TRANSFER TAX ACT HILLIS OSBORN Province of Ontario WIGHT , of the County District of Yorch County ' of ode SOLIC ITON in the To Wit: make oath and say: I am DOLICITOR FOR GRAMEEnamed in the within (or annexed) transfer. 2. I have a personal knowledge of the facts stated in this affidavit. The true amount of the monies in cash and the value of any property or security included in the consideration 3. is as follows: (d.) Balances of existing encumbrances with interest owing at date of transfer. # \$ ..... 4. If consideration is nominal, is the transfer for natural love and affection ?..... 5. If so, what is the relationship between Grantoc and Grantee?..... 6. Other remarks and explanations if necessary ....... SWORM selore me at the of , in the of Tork County 10 2 day of LUCY A.D. this MISSIONER, Etc.

APPENDIX A3: Heritage Property Permit Application

## Heritage Property Permit Application

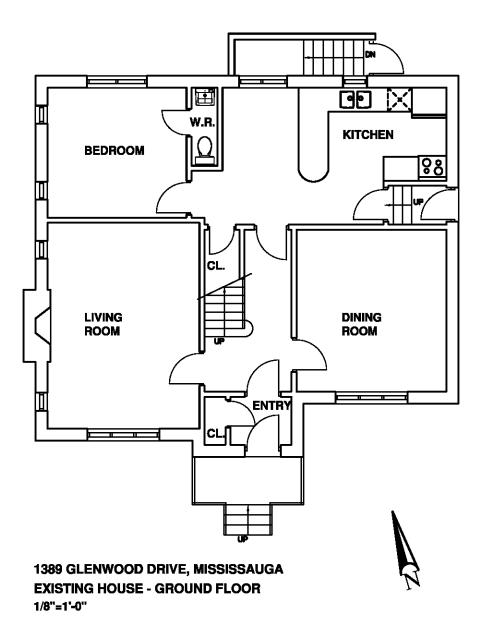


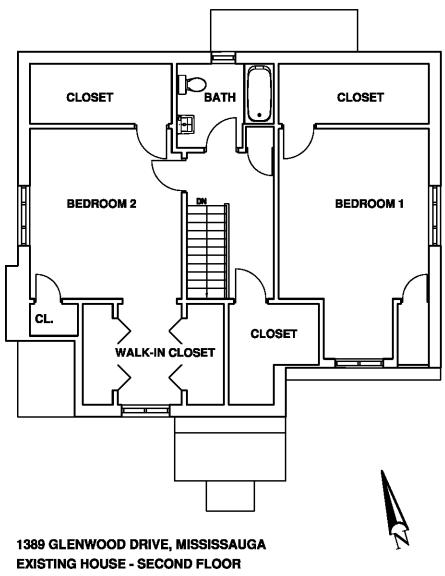
The Corporation of the City of Mississauga Community Services Culture Division 201 City Centre Drive, Suite 202 Mississauga, ON L5B 2T4 FAX: 905-615-3828 www.mississauga.ca/heritageplanning

Personal information collected on this form and other required documents is collected under the authority of the Ontario Heritage Act, s.33(1)(2) and s.42 (1,2.1,2.2) and City of Mississauga Heritage By-law 215-07 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga ON L5B 2T4, Telephone 905-615-3200 ext. 5385.

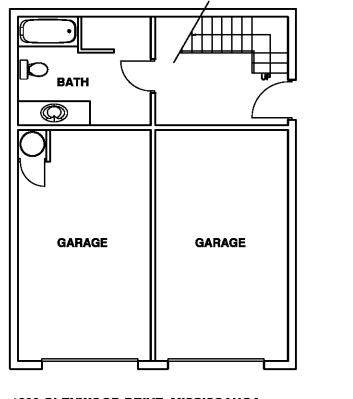
LOCATION DETAILS		For Office Use Only:
(Please Print Clearly)		Heritage Property Permit Number:
Municipal Address: 13-89 G	enwood Dr	
Legal Address: Reg D Plan	~ 319. Gtz	.ddress:
Mah ' H	~ ~ / ·	
Property Owner:	Contact A	ddress:
Phone	_Fax:	Email address:
HERITAGE DESIGNATION BY-LAW	NUMBER (if applicable):	
What type of Permit is Required?		
Alteration or addition	🗌 Yes 📝 I	No
Demolition	🛛 Yes 📋 I	No
New Construction	🗹 Yes 🗌 N	lo
Repeal of Designation By-law	🗌 Yes 🗹 M	lo
Is there a corresponding application	, such as:	
a) Building permit number		b) Site Plan application number
c) Rezoning application number		d) Other
Description of Work to be Completed : Please attach drawings, site plans, and pl	otographs to better illustrate the p	roject. These may be required depending on the scale of the project.
Pemolishie theoris	they house and	Building a new Sigle Detached
Decelling	9	Building a new Sigle Detached
	······	
Name: Mch/, Habib,		Date: 2013/Feb/28,
	a la la nº 1	
Signature (of property owner):	WV HUN	

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5385 Form 2248 (Rev. 2013 02) APPENDIX A4 Plans of the Existing House and Garage

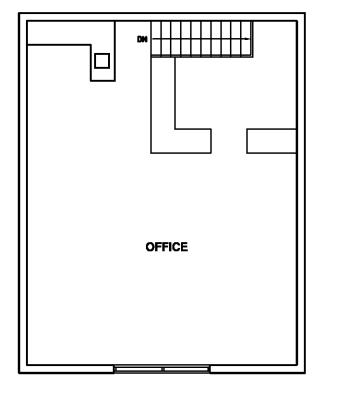




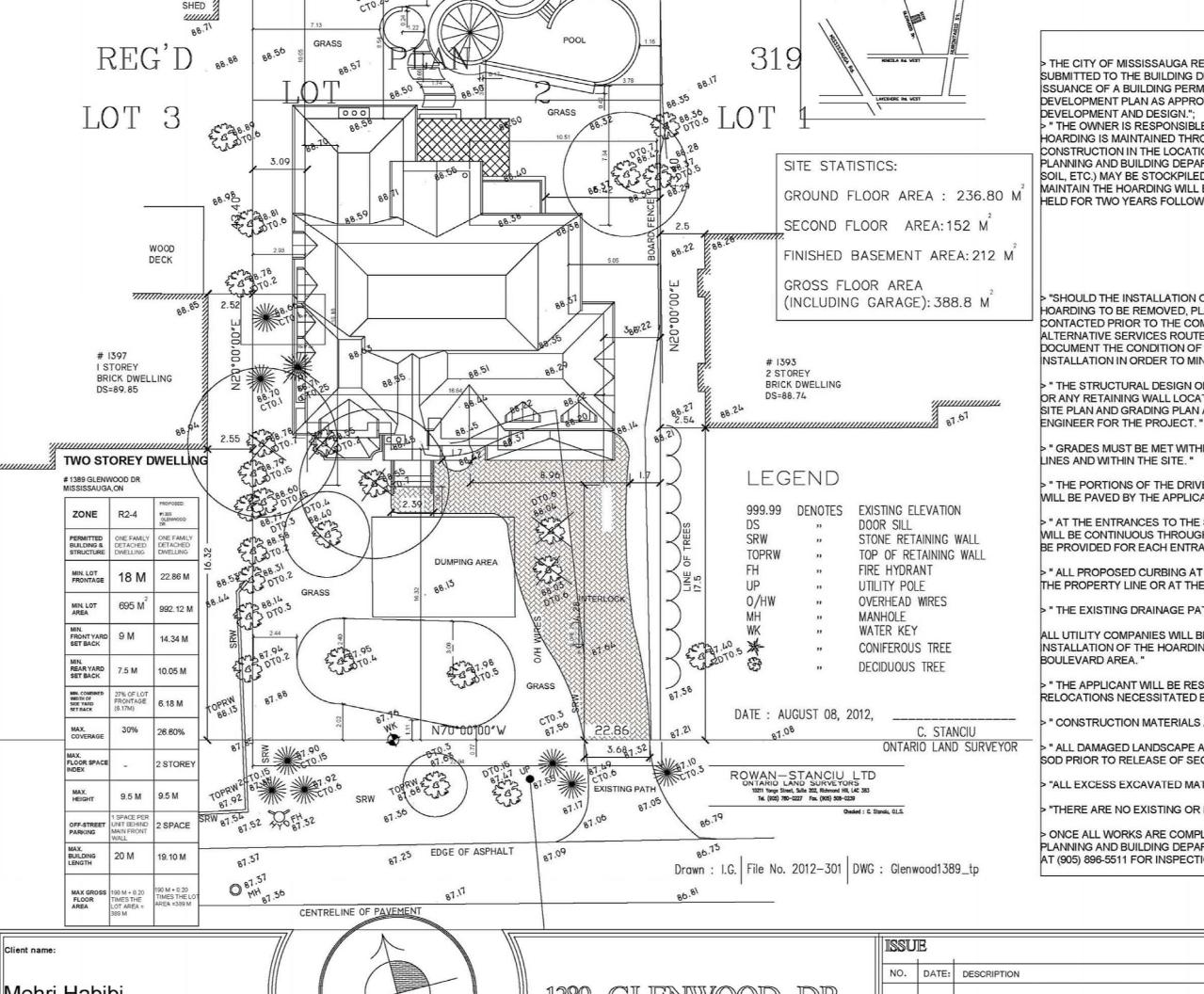
1/8"=1'-0"



1389 GLENWOOD DRIVE, MISSISSAUGA EXISTING GARAGE - GROUND FLOOR 1/8"=1'-0"



1389 GLENWOOD DRIVE, MISSISSAUGA EXISTING GARAGE - SECOND FLOOR 1/8"=1'-0" APPENDIX A5 Complete Drawings including site plan and elevations of the proposed new house for 1389 Glenwood Drive.



THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE SSUANCE OF A BUILDING PERMIT SHALL BE IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA, DEVELOPMENT AND DESIGN ".

" THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO YEARS FOLLOWING COMPLETION OF ALL SITE WORKS."

> "SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICES ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING NSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION."

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT. "

" GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY NES AND WITHIN THE SITE."

> " THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT. "

" AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.'

> " ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK."

" THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED . "

ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE NSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA. "

> " THE APPLICANT WILL BE RESPONSIBLE FOR THE COAST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN."

" CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION."

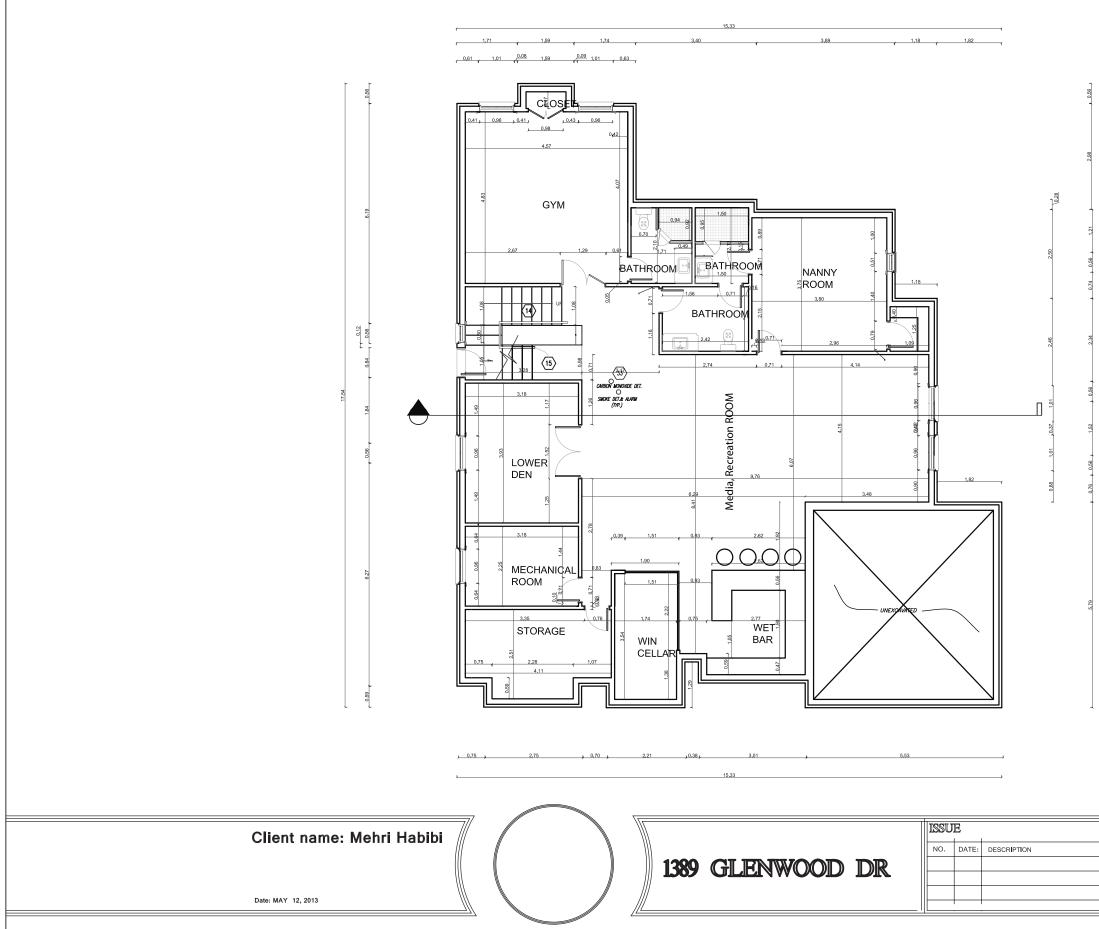
> " ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES ."

"ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE."

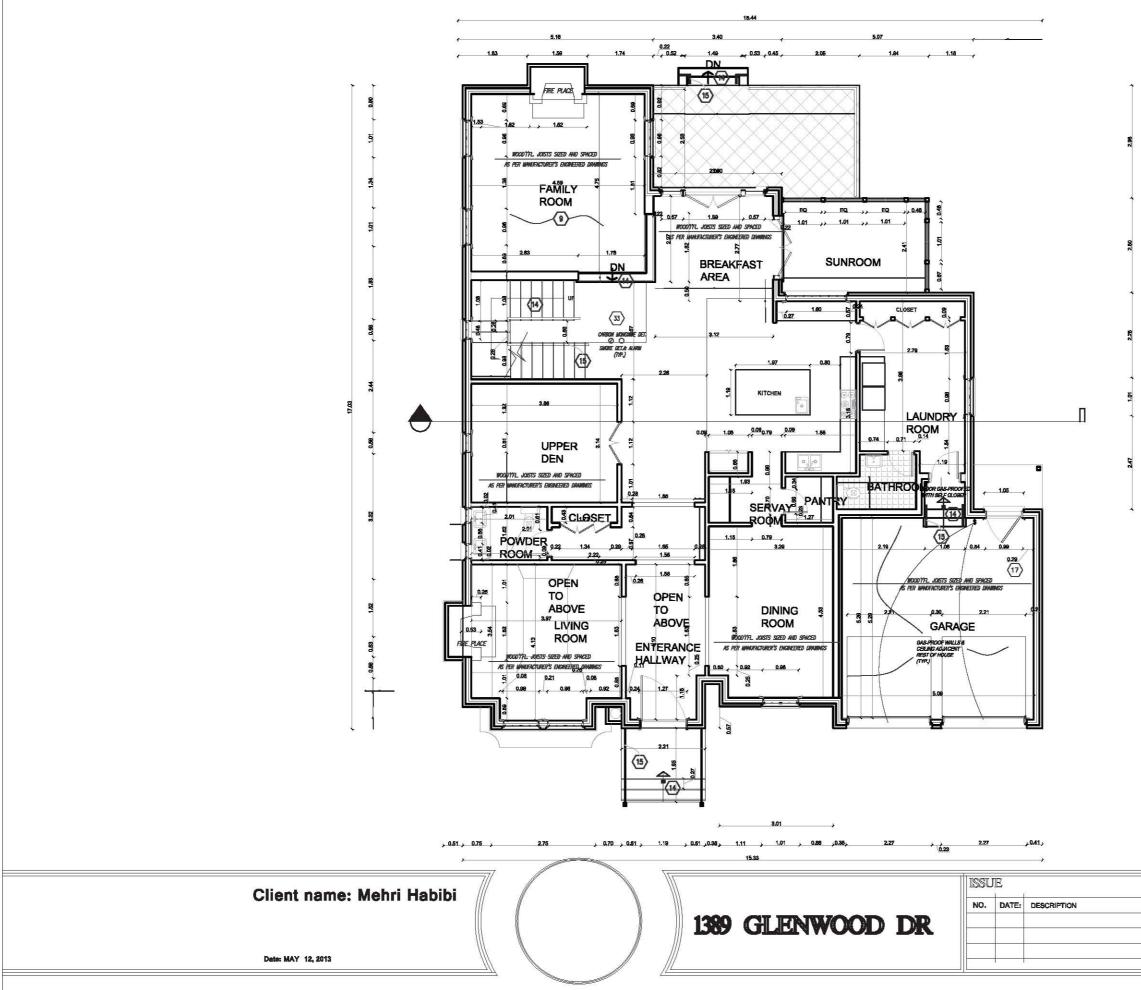
"THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY."

ONCE ALL WORKS ARE COMPLETE, THE APPLICANT IS TO CONTACT THE PLANNING AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905) 896-5511 FOR INSPECTION PRIOR TO HOARDING BEING REMOVED.

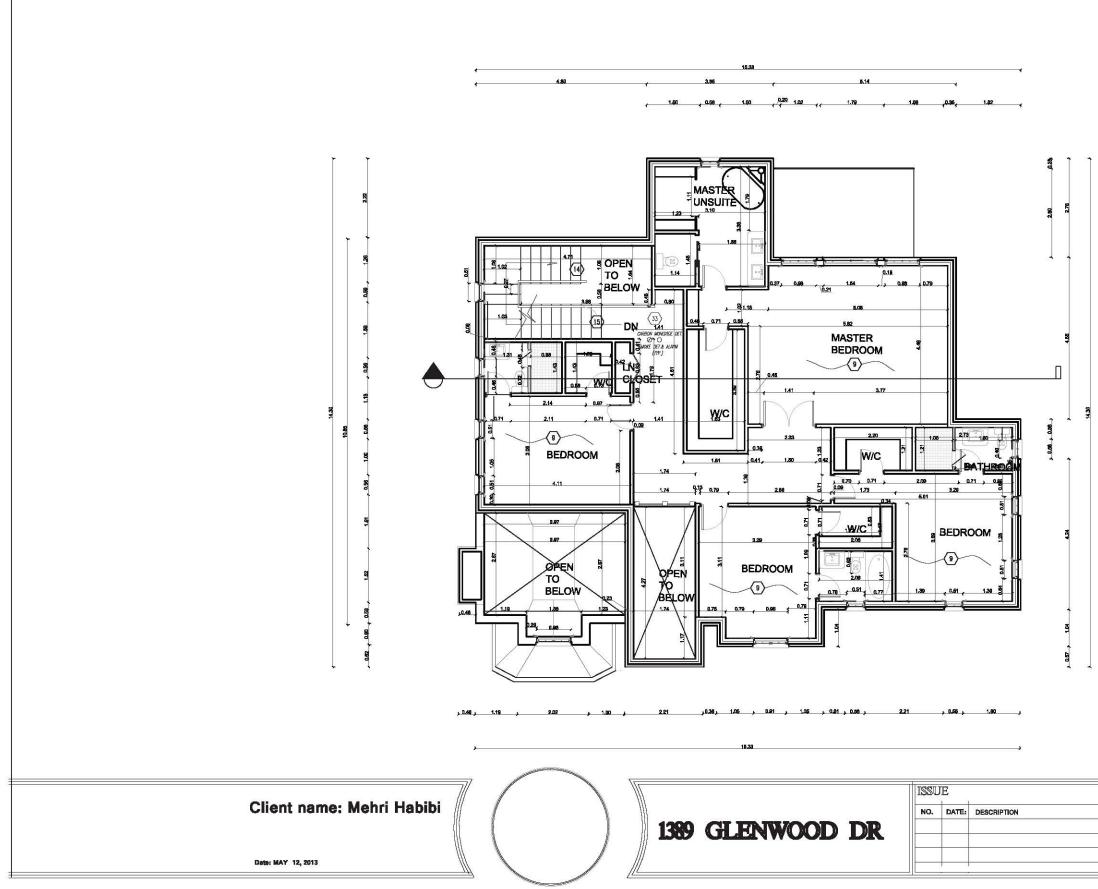
FILE NO.	DATE:	APPROVED BY:	
scale: 1:100	REVISED:	DRAWN BY:	A1.0



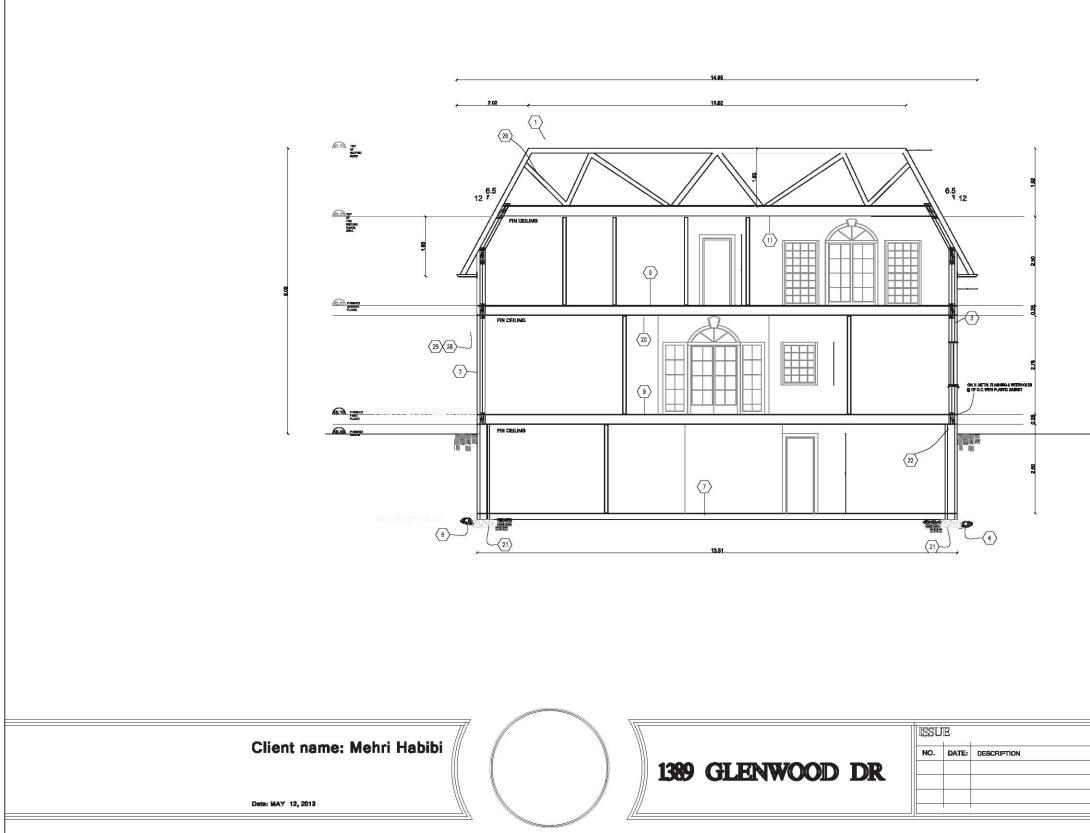
1 0.56	Ì					
2.98						
L 121						
<u> </u>						
2,34						
1 0.56	17,56					
<u>0.76 0.56 1.52</u>						
5.79						
		 FILE NO. SCALE:	DATE: REVISED:	APPROVED BY: CRAWN Ef:	A1	.0
		DRAVENG	BASEN			
		 <b>P</b>				



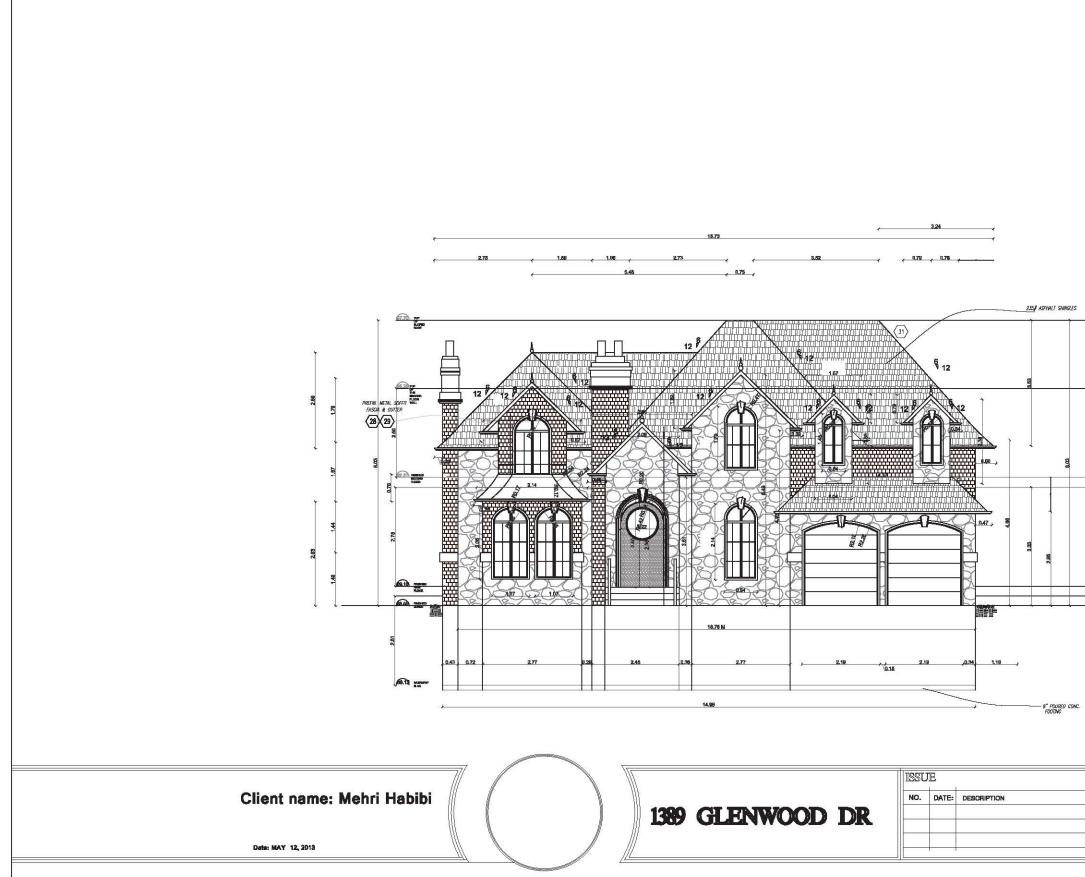
P. 2				
100				
8				
1				
6,7 17.58				
ar.				
	FILE NO.	DATE A	PPROVED Y:	
	BCALE 1/100		m	A1.1



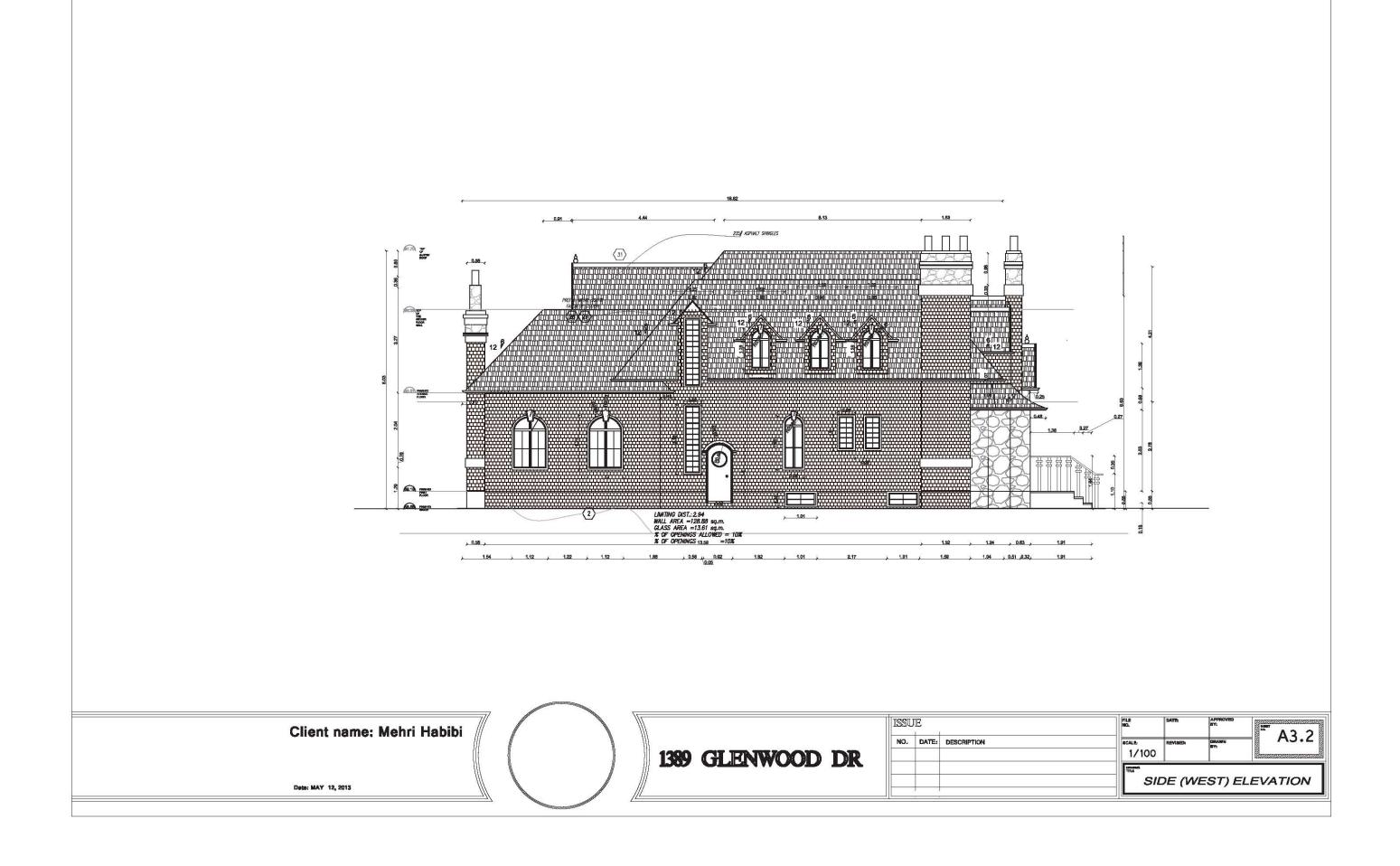
FILE NG.	DATE	APPROVED BY:	
scale: 1/100	REVISED:	DRAWN BY:	– A1.
Discription			
*	SECO	ND FLC	OR PLA

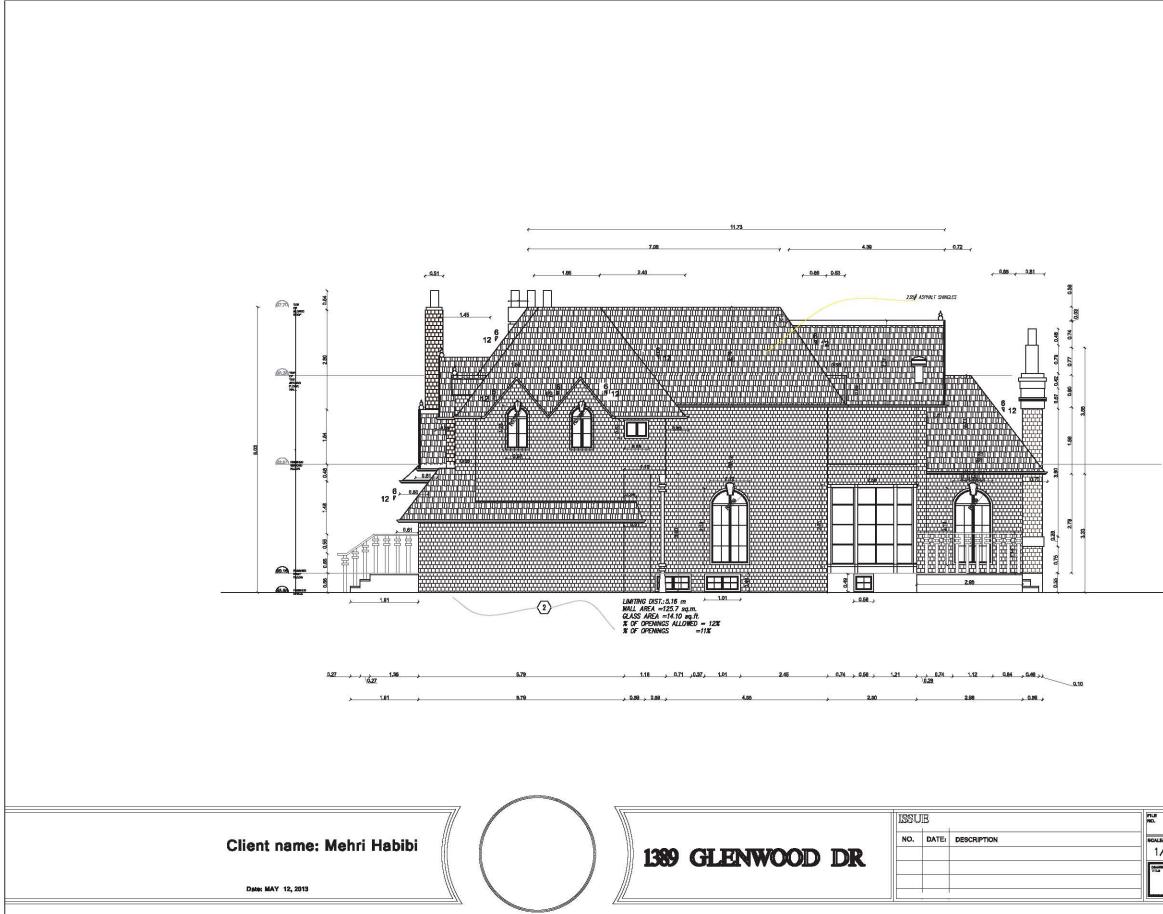


DRAWN BY:	– <b>A2.</b> C
WTE	
SS SEC	
	SS SEC

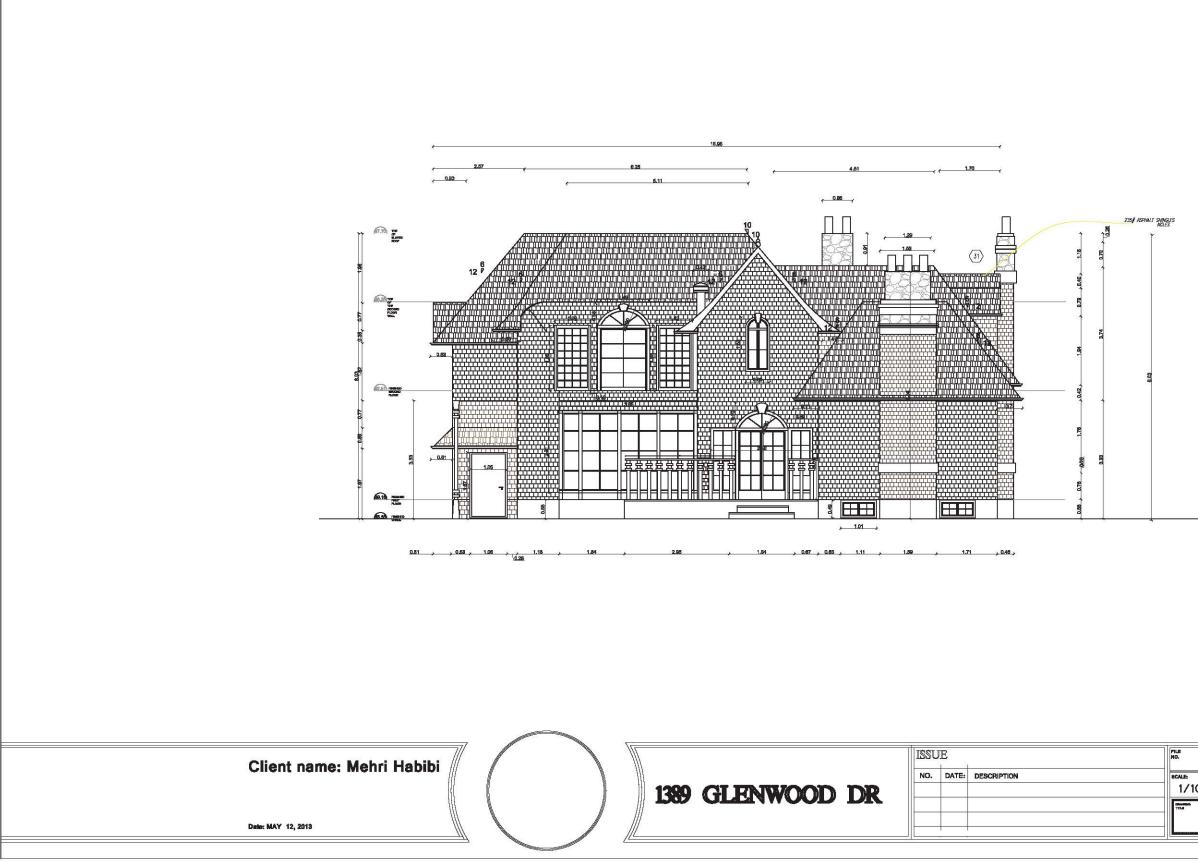


 FEE NO.	DATE	APPROVED BY:	- A3.1
 BCALE 1/100	NEVRIED:	APPROVED BY: DRAWN BY:	A BARRET
 BCALE	NEVISED:	BY: DRAWN BY:	Δ3 1





PILE NO.	DATE	AFFRÖVED BYI	NO. A
egales 1/100	REVISED	DRAWN BY:	- <b>^ A</b>
SI.	DE(EA	ST) EL	EVATIO



PILE NO.	DATE	APPROVED BY:	
8CALE 1/100	REVISED:	DRAWN BYI	- A3.4
Environes. TTLE	REA	R ELEV	ATION

APPENDIX A6: Certified Arborist Report





SHADY LANE

Expert Tree Care Inc

17468 Warden Avenue Newmarket, Ontario L3Y 4W1 Toronto (905) 773 5906 facsimile (905) 830 0571 www.shadylanetreecare.com

#### Introduction

Shady Lane Expert Tree Care has evaluated the trees at **1389 Glenwood Drive, Mississauga** The fieldwork was carried out on **November 29, 2013** The fieldwork was performed by **Mark Vanderwouw, ISA Certified Arborist 0N-0131A** 

#### **Tree Inventory**

The trees are described in terms of **Species** and **Size**, diameter at DBH (diameter at breast height in cm, measured at 1.4 m). They are assessed in terms of general health of the tree (**Condition**). A rating of **Good** is given to trees in healthy condition with good form and structure. A rating of **Fair** is given to trees with moderate health or with less desirable form and structure. A rating of **Poor** is given to trees with significant health concerns; or extensive disease development; and/or less desirable form & structure. A rating of **Dead** is given to trees that are past saving. Canopy is measured in meters and is generally taken from east to west on this site.

#### Action

Recommended action for the specific tree based on species; size; condition; location near construction activity and required maintenance to make the tree viable. Trees are marked to be either **Preserved**; **Transplanted**; or recommended for **Removal**.

Tree #	Species	Size	Cond.	Canopy	Action	Comments
206	White spruce ( <i>Picea glauca</i> )	30.5	Fair	4.5	Protect	Part of a line of trees on neighbouring property
207	White spruce ( <i>Picea glauca</i> )	18.5	Poor	2	Protect	Part of the line of trees; crowded; poor Live Crown Ratio (LCR)
208	White spruce (Picea glauca)	23.5	Fair	4	Protect	Part of the line of trees; crowded
209	White spruce ( <i>Picea glauca</i> )	19.5	Poor	2.5	Protect	Part of the line of trees; crowded; thin crown; poor LCR
210	White spruce ( <i>Picea glauca</i> )	17.5	Poor	2.5	Protect	Part of the line of trees; crowded; very thin crown; poor LCR
211	White spruce ( <i>Picea glauca</i> )	19	Fair	4	Protect	Part of the line of trees; crowded
212	White spruce ( <i>Picea glauca</i> )	24	Fair	5.5	Protect	Crowded; city owned tree
213	Norway spruce ( <i>Picea abies</i> )	48	Good- Fair	9.5	Protect	Grows right next to a small retaining wall; city owned tree
214	White spruce ( <i>Picea glauca</i> )	26	Fair	3.5	Protect	Crowded by Tree 213; grows next to the utility pole; city tree
215	White cedar ( <i>Thuja</i> occidentalis)	16.5	Good- Fair	2.5	Protect	City tree
216	Red oak (Quercus rubra)	48	Fair	7	Remove	Poor form; large deadwood in crown (>3"); top of tree grows to the west; elevated

217	Red oak ( <i>Quercus rubra</i> )	53.5	Fair	9	Remove	Co-dominant leaders at 8m; crown grows mainly to the south; large dead in crown
218	Red maple ( <i>Acer</i> <i>rubrum</i> )	45	Good- Fair	9.5	Protect	Slightly crowded
219	White birch ( <i>Betula</i> papyrifera)	26.5	Good- Fair	5	Protect	Elevated crown; city tree
220	Norway spruce ( <i>Picea abies</i> )	54	Good- Fair	10	Protect	Small infestation of spruce galls (not affecting health yet); city tree
221	White spruce ( <i>Picea glauca</i> )	18	Fair	3.5	Protect	Crowded; wire girdles trunk at 4m; city tree
222	Norway spruce (Picea abies)	18	Fair- Poor	3.5	Protect	Crown grows mainly to north; 2 <sup>nd</sup> stem (<15cm) is dead; city tree
223	White cedar ( <i>Thuja</i> occidentalis)	11, 11.5	Poor	3	Remove	Poor form; dead top; crowded
224	Red maple ( <i>Acer rubrum</i> )	34.5	Poor	4.5	Remove	Low LCR; cavity at 7m; galls in main trunk and several limbs; large dead in crown
225	Siberian elm ( <i>Ulmus pumila</i> )	20	Poor	2.5	Protect	80% dead; poor form; should be removed but is a neighbouring tree
226	Siberian elm ( <i>Ulmus pumila</i> )	27	Poor	4	Protect	60% dead; large dead in crown; should be removed but is a neighbouring tree
227	Siberian elm ( <i>Ulmus pumila</i> )	22.5	Poor	4	Protect	Poor form; dead tips; large dead; should be removed but is a neighbouring tree
228	Siberian elm ( <i>Ulmus pumila</i> )	15, 15.5	Poor	4.5	Protect	Dead tops; poor form; co-dominant leaders at 1.3m; should be removed but is a neighbouring tree
229	White oak ( <i>Quercus alba</i> )	42	Fair- Poor	6	Remove	Poor form; crown leans to the west; several large dead limbs in crown; gypsy moth eggs
230	Siberian elm ( <i>Ulmus pumila</i> )	28.5	Fair- Poor	5	Protect	Crown grows mainly to the north over the neighbouring house
231	Red maple ( <i>Acer rubrum</i> )	11.5, 6.5	Fair- Poor	2.5	Remove	Co-dominant stems from the base; numerous galls on the trunk
232	Red oak (Quercus rubra)	69.5	Fair- Poor	8.5	Remove	Large cavities at the base on the south and east side; poor form; dead limbs in crown
233	White birch ( <i>Betula papyrifera</i> )	18.5	Fair	3.5	Remove	Tree leans to the south; gypsy moth egg masses on trunk
234	White oak ( <i>Quercus alba</i> )	67.5	Good	11.5	Remove	
235	Eastern red cedar (Juniperus virginiana spp)	23	Good	3.5	Remove	Some tip blight in the crown
236	Green ash (Fraxinus pennsylvanica)	18.5	Fair	3.5	Protect	Crowded
237	White oak ( <i>Quercus alba</i> )	58	Fair	7.5	Protect	Self corrected bend at 9m; grows away from Tree 238; gypsy moth egg masses on trunk
238	Red oak (Quercus rubra)	54	Fair	8	Protect	Wire girdles trunk at 3m; large dead in crown (over this yard); leans over house
239	Eastern red cedar (Juniperus virginiana spp)	21.5	Good	3.5	Protect	Some tip blight in crown
240	Red oak (Quercus rubra)	+/-60	Fair	+/-9	Protect	Dead tips; grows in fence line; grows over the house to the south
241	White oak ( <i>Quercus</i> alba)	38.5	Poor	7	Protect- Remove	Poor vigour; pavement is right up to the trunk; dead limbs in crown
242	Red oak (Quercus rubra)	62.5	Good- Fair	9	Protect	Pavement is right up to the trunk; grows mainly to the west; tree spurred in past
А	Black cherry (Prunus serotina)	+/-40 +/-30	Fair	12.5	Protect	Co-dominant leaders at 60cm with included bark;

В	Red oak (Quercus rubra)	+/-70	Good- Fair	+/-10	Protect	Tree leans heavy; satellite dish attached to trunk;
С	Red oak ( <i>Quercus rubra</i> )	+/-40	Fair	+/-9.5	Protect	Tree leans over this yard; satellite dish attached to trunk
D	White oak ( <i>Quercus alba</i> )	+/-60	Good	+/-9	Protect	Several large dead limbs in the crown
Е	Black cherry (Prunus serotina)	+/-15	Fair	+/-3.5	Protect	Grows over this yard and existing garage; gypsy moth egg masses on trunk
F	Red oak (Quercus rubra)	+/-50	Fair	+/-10	Protect	Top of tree grows completely over this yard

Trees are assessed by the condition and vigour of the visible portion of the crown, trunk and root flare, as seen from the ground, on the day of the visit. No climbing, boring, excavation or other diagnostic was performed, unless otherwise stated. Certified Arborist Initials: <u>MV</u>

APPENDIX A7: Curriculum Vitae of the Author

#### **EDUCATION**

- Bachelor of Architecture, Carleton University, Ottawa. 1975. General Scholarship in Architecture, 1971.
- Premier Degré Superier de Musique (Orgue), Schola Cantorum, Paris, 1978

### **PROFESSIONAL ASSOCIATIONS**

- Ontario Association of Architects
- Royal Architectural Institute of Canada
- Canadian Association of Heritage Professionals (CAHP)
- Association of Preservation Technologists
- Royal Canadian College of Organists

#### **PROFESSIONAL WORK HISTORY**

•	1992-present	Principal of James Bailey Architect, Toronto
•	1989-1992	Managing Architect with C.A. Ventin Architect Ltd., in charge of the firm's Toronto office and projects
•	1988-1989	Managing Architect with Lambur Scott Architects Inc., in charge of the firm's Toronto office and projects
•	1987-1988	Senior Architect with Douglas J. Cardinal Architect Limited, in charge of the firm's Newmarket, Ontario, office
•	1983-1987	Senior Architect with Douglas J. Cardinal Architect Limited, in Edmonton, then in Ottawa (after office move)
•	1981-1983	Senior Architectural Designer with Briskie Kasian Architects, Edmonton
•	1978-1981	Project Coordinator with Dougals J. Cardinal Architect Limited, Edmonton
•	1975-1977	Architectural Designer, ARCOP Associates, Ottawa
•	1975	Architectural Designer, Urbanetics, Ottawa



#### James Bailey Architect

49 MELBOURNE AVE TORONTO, ONTARIO MK6 1K6

VOICE: [416] 537 - 4140 FAX: [416] 537 - 0405 E-MAIL: jbarch@sympatico.ca

James R. Bailey O.A.A., M.R.A.I.C., C.A.H.P. Albena Bakalov O.A.A., M.R.A.I.C.

#### **COMMUNITY INVOLVEMENTS & TEACHING**

- Royal Canadian College of Organists, National Vice-President, 2012-
- Canadian Association of Heritage Professionals, Member of the Board, 2003-2005.
- Sheridan College, Professor of Architecture, 2001-2012
- Public Complaints Committee, Ontario Association of Architects, 1998-2001.
- Standing Committee for the administration of the Fabric Fund of Holy Trinity Church, Toronto, 1995-2003.
- Advisory Board, St. Chad's Anglican Church, Toronto, 1993-1995, Long-Range Planning Committee Chairman.

#### **RECENT AWARDS**

- Special Recognition Award, Heritage Mississauga, 2012
- Award of Merit, Heritage Toronto, The Allstream Centre, 2010
- Award of Distinction for Envelope Design, Allstream Centre, The Ontario Building Envelope Council, 2009
- Best of the Best Award, Toronto Construction Association, The Allstream Centre. 2009

#### SELECTED ARCHITECTURAL PROJECTS

#### Museums/Art Galleries

- \*Edmonton Space Science Centre
- \*Canadian Museum of Civilization, Hull
- \*St. Albert Municipal Museum, Alberta
- Macaulay Church Museum, Picton

#### Performing Arts Centres

- \*Arden Theatre, St. Albert, Alberta
- \*Aurora Theatre, Spruce Grove, Alberta
- \*Theatre of the CMC, Hull, Quebec
- Capitol Theatre, Port Hope, Ontario
- Artword Theatre, Toronto

#### Building Envelope Upgrades

- \*\*Peel Court House, Brampton
- \*\*Metro West Detention Centre, Etobicoke
- \*\*Locke Memorial Library, Toronto
- Allstream Centre, Toronto
- St. John's United Church, Alliston
- Food Building, Exhibition Place
- Princes' Gates, Exhibition Place

#### BarrBarrier-free Access/Life-safety Upgrades

- \*\*Toronto Old City Hall
- \*\*Yorkville Branch Library, Toronto

- \*\*Main Street Branch Library, Toronto
- Locke Memorial Library, Toronto
- Trinity Church, Port Credit
- St. John's United Church, Alliston
- Trace Manes Community Centre, Toronto

#### **Offices**

- \*St. Albert Civic and Cultural Centre
- Public Service Commission, Ottawa
- Globe & Mail, Toronto
- Hitchman & Sprigings, Toronto
- \*York Administrative Centre, Newmarket

#### Housing/ Live-Work Facilities

- \*\*Armagh House, Mississauga
- Garden Residence, Aurora
- Webb Residence, Toronto
- Looney Residence, Toronto
- Kersey Residence, Toronto
- Hamilton Studio, South Mountain
- Dubil Residence, Toronto
- 81 Portland Live/work Studios, Toronto
- Hitchman Residence, Toronto
- Rose Residence, Port Credit
- O'Leary Residence, Toronto

#### Schools: New/Renovations

- Bowmore Road School, Toronto
- \*\*Charles Fraser P.S., Junior, Toronto
- \*Paddle Prairie Community School, Yukon

- George Harvey High School, City of York
- Jones Ave Adult Education Centre, Toronto
- Wycliffe College, U. of T., Toronto

#### Schools: Exterior Upgrades

- Davisville Public School, Toronto
- North Toronto CI, Toronto
- Pape Public School, Toronto
- Palmerston Public School, Toronto
- John Ross Robertson Public School, Toronto

#### **Public Library Renovations**

- Parkdale Branch Library, Toronto
- Bloor Gladstone Branch Library, Toronto
- Yorkville Branch Library, Toronto
- Locke Memorial Library, Toronto
- Runnymede Branch Library, Toronto
- College Shaw Library, Toronto
- Saunderson Branch Library, Toronto
- Pape Danforth Library, Toronto
- Gerrard Ashdale Library, Toronto
- St. Clair/Silverthorn Library, Toronto
- Palmerston Branch Library, Toronto

#### Renovations for Exhibition Place, Toronto

- General Services Building
- National Trade Centre
- Allstream Centre (Automotive Building)
- Princes' Gates

#### Churches: New/Renovations/Additions

- Devon Alliance Church, Alberta
- St. Luke's Church, East York
- St. Cuthbert's Church, Toronto
- St. John's Church, Whitby
- Faith United Church, Courtice
- Grace Ev. Lutheran Church, Oshawa
- Trinity Church, Port Credit
- St. Luke's Lutheran, Port Credit
- St. John's United Church, Alliston
- St. Paul's United Church, Bowmanville
- All Saints' Anglican Church, King City
- Knox Presbyterian Church, Burlington
- St. Andrew's Memorial P.C., Port Credit
- Trinity United, Peterborough
- St. John's Church, York Mills
- Don Valley Bible Chapel, Toronto

#### Laboratories

- I-Fire Technology, Toronto
- Hemosol, Toronto
- Therapure, Mississauga

#### Historic Restorations

- \*\*Peel County Court House, Brampton
- \*\*St. John's Anglican Church, Ancaster
- St. John's Church, West Toronto
- St. John's United Church, Alliston
- 3 MacDowell Street, Toronto
- Allstream Centre, Exhibition Place

- Rackus Studio, Clarkson
- Boulder Villa, Clarkson
- Princes' Gates, Exhibition Place
- Macaulay Church Museum, Picton
- \* Work undertaken while in the employ of Douglas J. Cardinal Limited, Ottawa
- \*\* Work undertaken while Managing Architect, and Architect-of-Record, with Carlos Ventin Architect

#### STUDIES (Condition Studies/Heritage Impact Studies/Barrier-Free Access Studies)

- Building Code Conformance Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2013
- Heritage Impact Study for 1183 Dufferin Street, Toronto, for We Care Homes, 2012
- Heritage Impact Study for 1380 Glenwood Drive, Mississauga, Ontario, for Dr. Mehri Habib, 2012
- Building Code/Condition Assessment, Fulford Preparatory College, Merrickville, Ontario for Mr. Francois Bernard, Owner, 2012
- Heritage Impact Study for 149 Tremaine Road, Milton, for Royal Park Homes, 2011
- Heritage Impact Study for 94 Peru Road, Milton, for Humphries Planning Group, 2011
- Long-range Planning Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2010
- Heritage Impact Study for 5514 Fifth Line Road, Milton, for Sempronia Estates Inc., 2010
- Heritage Impact Study for 1336 Britannia Road, and 5553 Fourth Line Road, Milton, for Orianna Glen Home Corp., 2009
- Heritage Impact Study for 6390 Fifth Line Road, Milton, for Milton 7-5 Holdings Inc., 2009
- Heritage Impact Study for the Davis-Minardi House, 3079 Neyagawa Boulevard, Oakville for the Davis-Minardi Corporation, 2009
- Heritage Impact Study for 2554 Mississauga Road, Mississauga prepared for Dr. Alaa Al Tamimi, 2008
- Heritage Impact Study for 1207 Lorne Park Road, Mississauga, prepared for Mr. Claudio Prosocco, 2008
- Heritage Impact Study for 3051 Victory Crescent, Mississauga prepared for Nirmal Sidhu, 2007
- Heritage Impact Study for 1190 Kane Road, Mississauga, prepared for Gemini Urban Design, 2006
- Heritage Impact Studies for 1998 and 2030 Lakeshore Road, Mississauga, prepared for Gemini Urban Design, 2006
- Heritage Impact Statement, 2301/2303 Stanfield Road, Mississauga, prepared for Moldenhauer, 2006
- Automotive Building Condition Audit, prepared for the Board of Governors, Exhibition Place, Toronto, 2005
- A Masterplan Study for Knox Presbyterian Church, Burlington, Prepared for the Long-range Planning Committee, 2004

- Heritage Impact Statement, Horticulture Building, prepared for Musik Clubs Inc. who wished to use the Beaux Arts Exhibit Hall as a night club, 2004.
- A Condition Audit for Rosedale Presbyterian Church, Prepared for the Property Committee, Toronto, 2003
- Arts Centre Feasibility Study, prepared for the Town of Learnington, Ontario, 2003.
- A Barrier-Free Access Study for St. John's United Church, Alliston, prepared for the Property Committee, 2003.
- A Barrier-Free Access Study for Kimbourne Park United Church, Toronto, prepared for the Accessibility Committee, 2002.
- A Feasibility Study for the conversion of the Truax Lumber Building into a Performing Arts Centre for the Town of Learnington, Ontario, 2002.
- Long Range Redevelopment Master Plan for Christ Church, Stouffville", for the Rector and Wardens of the Parish of Christ Church Anglican Church, Stouffville.
- Heritage Impact Statement, Two Georgian style, Pre-Confederation Houses, located at 72/74 Elm Street, Toronto, prepared for Toronto Hospital for Sick Children, 2000.
- A Barrier-Free Access Study for St. John's Church, York Mills, prepared for the Rector and Wardens of St. John's Church, York Mills, Toronto, 1999.
- A Space Needs Study and a Space Utilization Survey for the Parishes of St. John's Church, W.T. & St. Paul's Church, Runnymede for the Amalgamation Property Committee.
- Condition Surveys of three Branch Libraries: Deer Park, Northern District and Sanderson Branches for the Toronto Public Library, 1998.
- "A Feasibility Study for developing additional Residential Spaces at Wycliffe College, University of Toronto" prepared for the Property Committee of the College, 1997.
- "A Study of the Implications of accommodating Garbage Trucks inside the Food Building, Exhibition Place", prepared for the Capital Works Department of the CNE, 1997.
- "A Condition Survey of St. Bartholomew's Church", prepared for the Rector and Wardens of the Church of St. Bartholomew, Toronto, 1996.
- "A Building Study of Powell's House, Appleby College", prepared for the Board of Appleby College, Oakville, Ontario, 1995.
- "Condition Study of the Church of the Transfiguration, Toronto", prepared for the Rector and Wardens of the Church of the Transfiguration, Toronto, 1995

- "Pre-Engineering & Costing Study for Building Envelope Repairs & Barrier-free Access Improvements to the Food Building & Halls of Fame Building, Exhibition Place, Toronto", prepared for the Capital Works Department of Exhibition Place, 1995.
- "Condition Survey of the Buildings of the Parish of Georgina in the Diocese of Toronto", prepared for the Diocese of Toronto, 1994.
- "Building Code Impact Study related to the development of a Night Club in the MacLean Hunter Building, North York", prepared for Luxor Entertainment Corporation, 1994.