



AGENDA

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, MAY 19, 2015 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

Members

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Paul McGuigan, Citizen Member
Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Mumtaz Alikhan, Legislative Coordinator, Office of the City Clerk

Telephone Number: 905-615-3200, ext. 5425; Fax Number: 905-615-4181

Email Address: mumtaz.alikhan@mississauga.ca

NOTE: Heritage Impact Assessments related to properties in this Agenda can be viewed in person by appointment in Heritage Office, Culture Division, 201 City Centre Drive, 2nd Floor – 905-615-3200 ext. 4064

CALL TO ORDER

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

DEPUTATIONS - Nil

MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting held on April 14, 2015
2. Request to Alter a Heritage Designated Property, Cordingley House, 6671 Ninth Line (Ward 10)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the request to remove the rear portion of the house, protected with a notice of intent to designate under the *Ontario Heritage Act*, at 6671 Ninth Line and replace it with an addition be refused.

3. Request to Alter a Heritage Listed Property, Meadowvale Village Heritage Conservation District, 7005 Pond Street (Ward 11)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the request to alter the property at 7005 Pond Street, as described in the report from the Commissioner of Community Services, dated April 14, 2015, be approved, and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

4. Request to Alter a Heritage Designated Property, Meadowvale Village Heritage Conservation District, 7050 Old Mill Lane (Ward 11)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the request to alter the property at 7050 Old Mill Lane, as described in the report from the Commissioner of Community Services, dated April 14, 2015, be approved and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

5. Request to Alter a Heritage Designated Property, Old Port Credit Village Heritage Conservation District, 42 Lake Street (Ward 1)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the request to alter the property at 42 Lake Street, as described in the report from the Commissioner of Community Services dated April 14, 2015, be approved, and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

6. Request to Alter a Heritage Designated Property, Old Port Credit Village Heritage Conservation District, J.C. Saddington Park, 53 Lake Street (Ward 1)

RECOMMENDATION

That the request to install two plaques at J. C. Saddington Park, 53 Lake Street, as described in the report from the Commissioner of Community Services, dated April 29, 2015, be approved, with the caveat that plaques' format and location may change in the future.

7. Request to Demolish a Heritage Listed Property, 1445 Glenburnie Road, (Ward 1)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the property located at 1445 Glenburnie Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

8. Request to Demolish a Heritage Listed Property, 267 Kenollie Avenue, (Ward 1)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the property located at 267 Kenollie Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

9. Request to Demolish a Heritage Listed Property, 15 Shady Lawn Court, (Ward 11)
Corporate Report from the Commissioner of Community Services dated April 14, 2015:

RECOMMENDATION

That the property located at 15 Shady Lawn Court, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

10. 2015 Designated Heritage Property Grants
Corporate Report from the Commissioner of Community Services dated April 21, 2015:

RECOMMENDATION

That the Heritage Property Grant Program requests be approved as outlined in the report from the Commissioner of Community Services dated April 21, 2015.

11. Housekeeping Amendment to Recommendation HAC-0072-2013

Memorandum dated April 27, 2015 from Paula Wubbenhorst, Senior Heritage Coordinator

12. INFORMATION ITEMS - Nil

DATE OF NEXT MEETING – Tuesday, June 23, 2015 at 9:30 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT



DRAFT MINUTES

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, APRIL 14, 2015 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (Chair)
Rick Mateljan, Citizen Member (Vice-Chair)
Councillor Carolyn Parrish, Ward 5
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Cameron McCuaig, Citizen Member
Paul McGuigan, Citizen Member
Matthew N. Wilkinson, Citizen Member

MEMBER ABSENT:

Michael Battaglia, Citizen Member
David Dodaro, Citizen Member

STAFF PRESENT:

Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator

CALL TO ORDER – 9:35a.m.

The Chair called the meeting to order

APPROVAL OF AGENDA

Approved (Councillor C. Parrish)

DECLARATIONS OF CONFLICT OF INTEREST

R Mateljan declared a conflict of interest with respect to item 5.

DEPUTATIONS - None.

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting held on March 10, 2015

The Minutes of the Heritage Advisory Committee Meeting held on February 10, 2015 were approved as presented.

Approved (M. Wilkinson)

2. Proposed Heritage Designation and Alteration, Scruton House, 307 Queen Street South (Ward 11)

Corporate Report from the Commissioner of Community Services dated March 31, 2015:

The Committee noted that the changes are positive, but that a better definition was needed to create a separation on the rear part of the building either to the north wall or the roof line. Greg Reeves, Owner, advised that he is willing to implement changes to better define the property.

The Committee agreed to approve the design in principle with a request that the Owner provide a physical definition to the addition in the rear.

RECOMMENDATION

HAC-0015-2015

1. That the Scruton House, 307 Queen Street South, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value.
2. That, should the property be protected with notice of intent to designate, the proposed addition be approved.
3. That the basic design be approved in principle with a request to the Owner to provide a physical definition to the addition in the rear.

Approved (Councillor C. Parrish)

3. Request to Alter a Heritage Listed Property, 141 Lakeshore Road East Road (Ward 1)
Corporate Report from the Commissioner of Community Services dated March 17, 2015:

RECOMMENDATION

HAC-0016-2015

That the request to alter the property at 141 Lakeshore Road East, as described in the report from the Commissioner of Community Services, dated March 17, 2015, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (M. Wilkinson)

4. Request to Alter a Heritage Designated Property, Lakeview Golf Course, 1190 Dixie Road (Ward 1)
Corporate Report from the Commissioner of Community Services dated March 17, 2015:

RECOMMENDATION

HAC-0017-2015

That the request to alter the property at 1190 Dixie Road, as described in the report from the Commissioner of Community Services, dated March 17, 2015, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

Approved (M. Wilkinson)

5. Request to Demolish a Heritage Listed Property, 1276 Clarkson Road North (Ward 2)

At this point R. Mateljan excused himself from the meeting.

In response to M. Wilkinson and C. McCuaig, Paula Wubbenhorst, Senior Heritage Coordinator, advised that heritage property standards cannot be enforced as it is not a heritage designated property, however if it was, Heritage staff would have applied the by-law to protect it from continued degradation.

Corporate Report from the Commissioner of Community Services dated March 17, 2015:

RECOMMENDATION

HAC-0018-2015

That the property at 1276 Clarkson Road North be removed from the City's Heritage Register.

Approved (R. Cutmore)

R. Mateljan returned to the meeting.

6. Request to Demolish a Heritage Listed Property, 1320 Minaki Road, (Ward 1)

Corporate Report from the Commissioner of Community Services dated March 17, 2015:

RECOMMENDATION

HAC-0019-2015

That the property located at 1320 Minaki Road, (Ward 1), which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

Approved (R. Mateljan)

7. Heritage Advisory Committee Terms of Reference

RECOMMENDATION

HAC-0020-2015

That the Terms of Reference for the Heritage Advisory Committee, dated April 14, 2015, be approved.

Approved (J. Holmes)

8. Sub-Committee Appointments

(a) **Heritage Designation Subcommittee**

The Chair called for nominations to the Heritage Designation Subcommittee.

C. McCuaig, R. Mateljan and Councillor G. Carlson expressed interest in serving on this Subcommittee.

RECOMMENDATION

HAC-0021-2015

That Councillor G. Carlson, C. McCuaig and R. Mateljan be appointed to the Heritage Designation Sub-Committee for the term ending November 2018.

Approved (L. Graves)

(b) **Public Awareness Subcommittee**

The Chair called for nominations to the Public Awareness Subcommittee.

B. Lindsay, L. Graves and M. Wilkinson expressed interest in serving on this Subcommittee.

RECOMMENDATION

HAC-0022-2015

That E. Bjarnason, L. Graves and M. Wilkinson be appointed to the Public Awareness Sub-Committee for the term ending November 2018.

Approved (L Graves)

10. Information Items – None.

OTHER BUSINESS

- (a) The Committee discussed the possibility of creating a Heritage Conservation District and development of design standards in Streetsville Village similar to the Meadowvale Heritage Conservation District. In order to ensure that applications such as Scruton House are not repeated, a review of the priority list of properties to be designated is needed.
- (b) Peel Heritage Advisory Committees Meeting
Ms. Wubbenhorst reminded Committee Members of the upcoming Peel Heritage Advisory Committees Meeting. The Heritage Advisory Committee is hosting it this year and is scheduled to be held at the Holcim Estate on Friday, May 8, 2015. Details have been sent to the Committee via email earlier.

DATE OF NEXT MEETING – Tuesday, May 19, 2015 at 9:30 a.m., Council Chamber

ADJOURNMENT – 10:27 a.m.



Corporate Report

2-1

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Cordingley House
6671 Ninth Line
(Ward 10)

RECOMMENDATION: That the request to remove the rear portion of the house, protected with a notice of intent to designate under the *Ontario Heritage Act*, at 6671 Ninth Line and replace it with an addition be refused.

**REPORT
HIGHLIGHTS:**

- The subject property is protected by a Notice of Intent to Designate under the *Ontario Heritage Act*
- The owner requests permission to remove the rear portion and replace it with an addition in a similar style but with modern materials at the same height as the front portion, with an attached garage
- The proposed alterations do not conserve the property and would negatively impact or eliminate the property's heritage attributes
- The owner's claim that the rear portion is "structurally unsound" has not been shown to be substantiated by an engineer with experience in historic construction methods
- The proposal, as currently presented does not meet heritage conservation principles and should be refused

BACKGROUND:

The Cordingley family built the subject house in the nineteenth century, likely in several stages. Oral history suggests that the rear board 'n batten section was built circa 1840. The front portion likely hails from 1884, as per the date inscribed on the vergeboard. The tail was probably constructed in the mid nineteenth century.

Edilou Holdings filed an application to subdivide the property in 2010. In recognition of the site's heritage value, the City protected the portion with the Cordingley House and brick dairy, to the rear, with a notice of intent to designate in 2011.

Cesta Developments has submitted a heritage permit application requesting permission to remove the rear portion and build an addition. The Heritage Impact Statement (HIS), by CHC Limited, which includes a structural engineer's report by World Engineering Ltd. and Halton Hills Design Build, is attached as Appendix 1.

The HIS proposes moving the house. After much discussion, the owner has withdrawn that portion of the application. As such, the current proposal is only to remove the rear portion of the house and replace it with a new addition. The front (west) portion would be lifted to facilitate a new basement and footings, which would also be included beneath the new rear portion.

The rear wing is proposed for removal because it is "structurally unsound" in the words of the HIS author Owen R. Scott. Engineer H. Morady recommends "new footings and foundations" for the front part. He continues that: "This will necessitate the dismantling and demolition of the 'tail'."

The proposed new addition, shown in the report, is, according to Scott, "sympathetic to the original but not a replica." Scott states: "Materials for [the] new construction will be low maintenance with an appearance that is similar to the original, but recognized as products of their own time."

COMMENTS:

Section 33.1 of the *Ontario Heritage Act* states that "No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the

property's heritage attributes [...] unless the owner applies to the Council of the municipality." Section 34.7 of the *Act* provides interim control to the property under a notice of intent designate "as though the designation process were complete and the property had been designated under section 29."

Section 7.4.1.11 of the Mississauga Official Plan states that "Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the *Ontario Heritage Tool Kit*, the Ontario Ministry of Culture and the *Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada.

The first "general standard" of Parks Canada's *Standards and Guidelines* states: "Do not remove, replace, or substantially alter its intact or repairable character-defining elements." The "tail," including its "north veranda" and all of the detailing, including the "board 'n batten siding" are noted heritage attributes. This portion of the house speaks to the pioneer's plight wherein a more modest "tail" often predates the more elaborate front part of the house, once it can be afforded.

The owner's report does not substantiate that this portion of the house is structurally unsound. It does not investigate any mitigation measures as to how the property might be stabilized in place. The *Standards and Guidelines* instruct to "use the gentlest means possible for any intervention." Moreover, no evidence has been presented to show that the consultant engineer has experience with historic construction methods.

The City commissioned a third party heritage engineer, with experience in historic building construction methods, to conduct an inspection. Shoalts Engineering's report is attached as Appendix 2. The report concludes with this:

"The Cordingley House [...] is a significant heritage resource. It is a good example of an evolving residence, held within one family throughout its existence. It illustrates the changing fortunes and tastes of both the family specifically and the community generally. The rear

wing of the present house, constructed originally as the main dwelling, is an integral part of this story. The fabric of the original house is largely intact and in relatively good condition. Although there are some structural and environmental separation issues with the east wing, they are not insurmountable obstacles to the preservation and restoration of the house.”

Heritage Planning staff recommend that the proposed removal of the rear portion of the house be refused. Should Council adopt this recommendation, the request to add the proposed addition is moot.

However, should Council agree to the removal of the tail, the proposed addition should be reconsidered. The *Standards and Guidelines* recommend **not** “Replicating a historic style or period in a new addition.” Moreover, the addition should show deference to the original building by being lower in height. A detached garage would also help reduce the mass of the proposed addition.

FINANCIAL IMPACT: Not applicable.

CONCLUSION: The proponent requests permission to remove the tail and add an addition. As the proposed changes would negatively impact and eliminate the property’s heritage attributes, the proposal should be refused.

ATTACHMENTS: Appendix 1: Heritage Impact Statement
Appendix 2: Shoalts Engineering’s Structural Review



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator

Structural Review and Recommendations
for The Cordingley House, 6671 Ninth Line, Mississauga

On March 25, Mark Shoalts, P.Eng, CAHP, met Paula Wubbenhorst of the City of Mississauga and Carmine Cesta of Cesta Developments Inc. at 6671 Ninth Line in Mississauga to undertake a review of the rear wing of the house to assess its structural adequacy and condition. This structural report does not attempt to address other than incidentally the heritage value of the property, only the present structural condition and the feasibility of bringing the existing structure up to current, or at least acceptable, standards. Issues of weatherproofing, and the suitability, durability, and condition of finishes are addressed only insofar as they relate to the structural conditions.

Executive Summary

The rear wing of the Cordingley House predates the front, main section and was probably built as the original house in the mid-1840s. The front section of the house was built in the mid-1880s, at which time the original house was relegated to kitchen wing status, although its windows and exterior trims were updated at that time to blend with the new building. The rear wing appears to be constructed of stacked planks, a very unusual construction method that seems to be the work of a local builder or group of builders. Although there are deficiencies in the existing foundation and superstructure, the building is stable and in reasonably good condition. The complete house could be lifted and placed on a new foundation as was proposed for the front section of the house in the draft Heritage Impact Statement prepared by CHC Limited in 2014, and the structural deficiencies could be remediated for continued occupancy as a single family dwelling.



Rear wing, 6671 Ninth Line

Building Description and History (taken from the City of Mississauga Cultural Heritage Assessment)

Two centre gable farmhouses actually form the Cordingley House. This is also typical. The eastern one appears as a "tail." However, as discussed previously, it likely came first. Characteristics suggestive of this timeline include the rectilinear windows and gable returns. These features are characteristic of the Classical Revival, mid nineteenth century, period.

The Cordingley House demonstrates a high degree of craftsmanship and artistic merit. The residence provides a lot of visual interest. Firstly, the "tail" has been fashioned into a centre gable format, rather than left as a basic box.

There are many protrusions that make the house picturesque. These include both the bay window, with its mansard roof, and veranda on the north, and the small enclosed porch on the west. The balustrade that crowns this latter porch adds additional interest. There are also two slender brick chimneys. Perhaps most notably, a bell cote sits atop the rear tail of the house.

All of these features include brackets, intricate carving and aesthetically pleasing shapes. The bell cote has an ogee roof. Lace, perhaps inspired by the emerging Queen Anne style, seems to trim the veranda and bay window. The balustrade is elegant and tops a unique vestibule. A pair of panelled, windowed and segmentally headed doors, with a decorative transom and ornate spandrels, stands at the front. The sides are treated similarly but each only appears as a single wider door, with a plain transom.

The trim, fretwork and vergeboards are well designed and crafted. Simple elegant scrolled bargeboard decorates the peak of the northern gable. The western gable is much more elaborate. It includes the lower portion of a finial and, as mentioned previously, the numbers 1-8-8-4. The somewhat topsy-turvy arrangement of these numbers brings playfulness to the delicate linear fretwork that ornaments the rest of this woodwork. The spandrels of the west porch pick up on this pattern. Figure 20 shows that there was additional trim in the north gable.

The vergeboard drops down below the eave. It provides a nice contrast to the upward thrust of the gable window shutters. Besides the rectilinear fenestration discussed earlier, all of the windows have the tall slender proportions of the Gothic style. The gable windows are round headed while the others are headed with segmental arches. The window sills extend beyond the window width. Such added details are evidence of both artistry and craftsmanship.



Northwest view 1979



Northwest view 2015

A few items should be noted with respect to the forgoing excerpt, other information in the CHA, and statements in the draft Heritage Impact Statement prepared by CHC. The date of construction of the rear (east) wing given in the CHA of ca. 1843 is reasonable assumption, as is the 1884 date given for the front section. The reverse order of construction and the dates of construction given in the draft HIS are almost certainly incorrect. Numerous elements of style and construction as well as the physical arrangement of specific items establishes that the front section was built subsequent to the rear section, and the CHA presumed dates are supported by substantial evidence.

The front gable trim and fretwork typical of the 1880s, shown in earlier photos and described in the CHA, were missing in March 2015. The original balustrade of short, vase-turned balusters and a moulded top rail referred to in the CHA and visible in photographs from the late 1970s has been replaced by a taller balustrade of rather clunky, poorly turned balusters and a thin board railing.



West face, 1979



West face, 2015

The bell, also visible from 1970s photographs, has disappeared from its cote and the bellcote itself has been relocated to the east gable verge from its original and correct alignment with the east wall. It is unlikely to have ever been functional other than with an exterior pull rope since there is no penetration of the roof sheathing visible from the interior.



Bellcote 1976

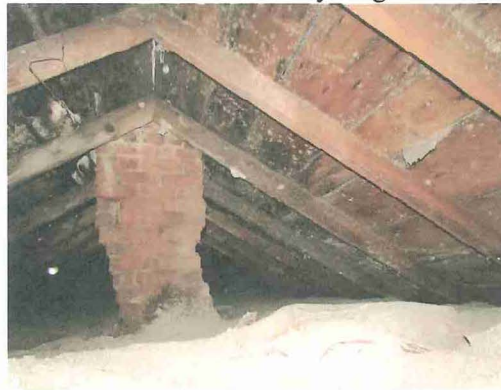


Bellcote 2015

Building Condition Observations

The original rectangular dwelling with its gable roof, wood framing, original stone foundation, and small newer concrete block basement, and the small porch addition on the south side at the east end are the focus of this report. Preservation of the front (west) section of the house has already been agreed upon.

The original Cordingley house appears to be a typical wood-framed, wood sided structure on a rubble stone foundation. The north facing dormer is probably an 1880s addition to a gable-roofed classical revival farmhouse, giving it the Ontario cottage appearance. The window matches the window in the later front dormer, and the framing of the north dormer is not visible in the attic which indicates that it is not likely original.



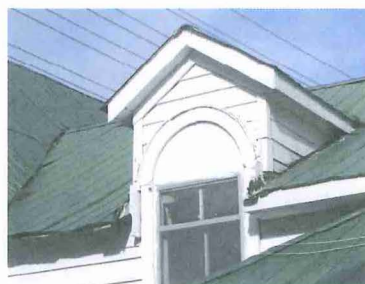
Absence of dormer framing in attic

The interior configuration of the dormer also indicates an addition; typically an original ceiling would be finished on the angled valley rafters, not square to the ridge on a pair of regular rafters as this dormer is.



Interior of north dormer

A south-facing dormer is in an entirely different style and is probably a somewhat later yet addition to the house.



South dormer

Although the house appears to be of typical wood frame, the two gable ends visible in the rear wing attic are constructed of stacked planks, a very unusual construction method that seems to be the work of a local builder or group of builders.



East gable interior

The only other example of this technique that the author has seen occurs about 7 km. away at 1125 Willow Lane in Meadowvale Village Heritage Conservation District, in a house of similar size, style, and age. That house has no centre gable dormer and could very well present a very similar appearance to the original Cordingley House.



1125 Willow Lane

Although no wall framing was visible or was reviewed during the site visit to 6671 Ninth Line, it appears likely that all of the exterior walls of the east wing of the house are constructed of stacked planks. The 1880s addition appears to be of balloon frame construction. The stacked plank gable visible in the attic at the common wall between the two sections lends further weight to the assumption that the rear section is original and the west end of it was once an exterior wall. There would have been no purpose to building such a gable within an attic space and framing rafters on both sides of it.



Plank west gable of east wing

The second floor of the Cordingley House east wing has a significant sag to it that is a result of undersized floor joists exacerbated by an unfortunate original circumstance. The house is slightly unusual with its single, centre chimney instead of one in each gable end. The centre chimney is original at least from the roof line down, and it still sits on its original wooden chimney cupboard; the hand-planing of the door is plainly visible.



Original chimney cupboard

The weight of the masonry is carried at approximately the centre of the span of a floor structure that would have been somewhat light in any case. The additional weight of the chimney has produced a very visible slope to the centre. The floor will need straightening and strengthening to remain in service.

The house did not originally have a basement under either the 1840s east wing or the 1880s west addition. Both sections were built on stone foundations and had very low crawlspaces; a double foundation wall at the junction of the two sections also indicates that the east wing predates the west wing. The stone of the east wing is somewhat less regular than the west foundation, and includes numerous rounded stones collected from the surface rather than the squared quarried stone of the west foundation. The portion of the west wing foundation facing east is irregular with untooled joints, indicating that it was never exposed.



1880s foundation beyond 1840s timber sill plate

At some point a concrete block basement with an exterior access stair and door was constructed within the east wing foundation, providing space for mechanical and electrical services and facilitating inspection of the floor framing in the east wing.

The visible portions of the wood floor structure include hewn timber plates on the foundation and hewn beams along with vertically sawn joists, and T&G flooring installed directly on the joists. The species of all visible structural wood and the flooring is eastern white pine, consistent with a mid-nineteenth century construction date.



Floor framing

The presence of hewn timbers is also consistent with an 1840s date. While hewn timbers were still used occasionally in 1860s and later residences, when used they would more typically been of hardwood by this time as the supply of pine had been drastically reduced by logging and by clearing for agriculture.

Recommendations

The east wing has some issues with the floor sagging varying amounts in different areas.

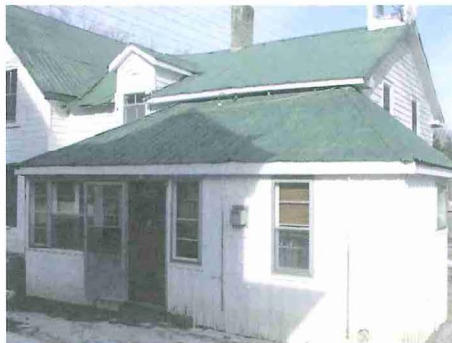
We recommend that the masonry chimney be removed and replaced with a lightweight facsimile, and the second floor joists should be reinforced or provided with intermediate support. This can be done from the underside without disturbing the floor finish; the plaster ceiling is presently concealed by acoustic tile but is unlikely to be salvageable and would require replacement anyway.

The 3"x5" sawn first floor joists are undersized and exhibit deflection that would be unacceptable to modern occupants. There is relatively little deterioration of the wood so they do not require replacement, but reinforcing or intermediate support for the joists would be required to remedy this condition.

The rubble stone foundation has been modified in several locations, the crawlspace is very low, and the newer concrete block foundation is poorly built and of inadequate depth or size for its intended purpose. The best remedy for this is lifting the complete house and constructing a new basement under it. The Credit Valley sandstone foundation should be salvaged and used to face the visible portion of the new foundation as recommended in the HIS. New support for the floors can be introduced at this time.

The floor levels of the two sections of the house are separated by two stair risers on both levels. The recommended interventions required for maintaining and updating the house would entail the removal of some interior finishes, which would also clarify the connection between the original 1840s section and the 1880s addition. It may be possible when lifting the house to separate the two sections and raise the rear wing to much closer alignment with the floor levels of the front section without causing undue damage to original fabric, facilitating better flow and use of the interior space.

The rear porch addition on the southeast corner of the house provides access to the second floor through the original staircase. The door to the stairs, and the flanking doors and trim are almost certainly original with only minor alterations, however the room now surrounding them appears to be a replacement of the original rear kitchen or woodshed wing. The configuration of the addition, the board and batten siding on it, (referred to in various reports and statements), and the doors and windows and their trims all indicate a much later date of construction.

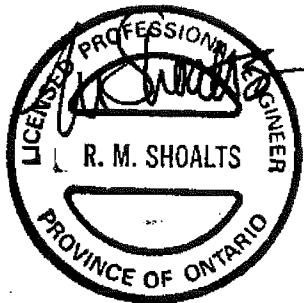


Southeast porch addition

Our recommendation would be to remove and replace this addition with a new one of sympathetic form and better function, while maintaining the original elements in the south wall of the east wing.

Conclusions

The Cordingley House, 6671 Ninth Line in Mississauga is a significant heritage resource. It is a good example of an evolving residence, held within one family throughout its existence. It illustrates the changing fortunes and tastes of both the family specifically and the community generally. The rear wing of the present house, constructed originally as the main dwelling, is an integral part of this story. The fabric of the original house is largely intact and in relatively good condition. Although there are some structural and environmental separation issues with the east wing, they are not insurmountable obstacles to the preservation and restoration of the house, or to its updating for the expectations of modern residents and the demands of 21st century living. The stacked plank construction method employed for the original house is unusual, with no known examples of documentation in any of the readily available published literature on Upper Canadian building practices and only one other example of the style known to the author. Loss of this example would diminish our success in fulfilling our obligation of caring for our past for the benefit of future generations. At the very least, if this building is to be demolished, it must be done so in a very controlled and carefully documented process.



Mark Shoalts, P.Eng., CAHP
Shoalts Engineering
March 29, 2015



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Meadowvale Village Heritage Conservation District
7005 Pond Street
(Ward 11)

RECOMMENDATION: That the request to alter the property at 7005 Pond Street, as described in the report from the Commissioner of Community Services, dated April 14, 2015, be approved, and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District. The owner proposes to enlarge a window, replace another existing window with a modern two panel sliding door and add an overhang above a side door. The drawings are attached as Appendices 1, 2 and 3 respectively. A site plan, showing the location of each of the proposed alterations, is attached as Appendix 4. All of the changes apply to more recent built form rather than the original 19th century house.

COMMENTS: While all of the proposed changes are minimal, they each constitute substantive changes, as per the 2014 Meadowvale Village Heritage Conservation District Plan. As such, a heritage permit is required.

The window enlargement and cedar shingled overhang installation are both minor changes on a side rather than principal façade. The window is not consistent with any others so, its enlargement would have a negligible impact but, bring much-needed light into the house. Both of these changes should be approved.

The sliding door does not comply with the guidelines that state that “doors on an addition should be of a traditional design typical to that style of building.” However, it is simple and not visible from the public realm. As such, it should be approved.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The proposed changes will have a minimal impact on the property and no impact on the surrounding properties. As such, they should be approved.

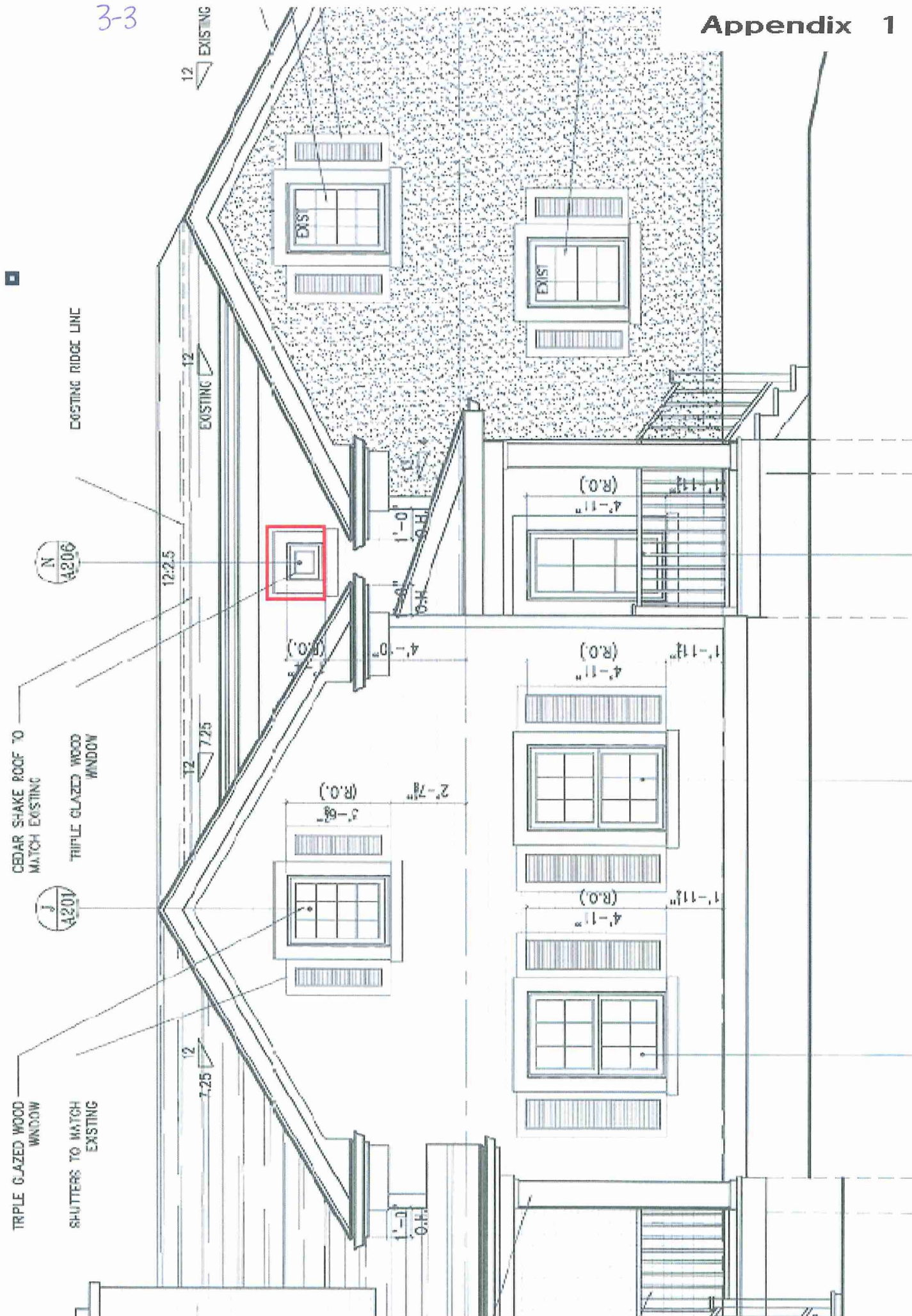
ATTACHMENTS:

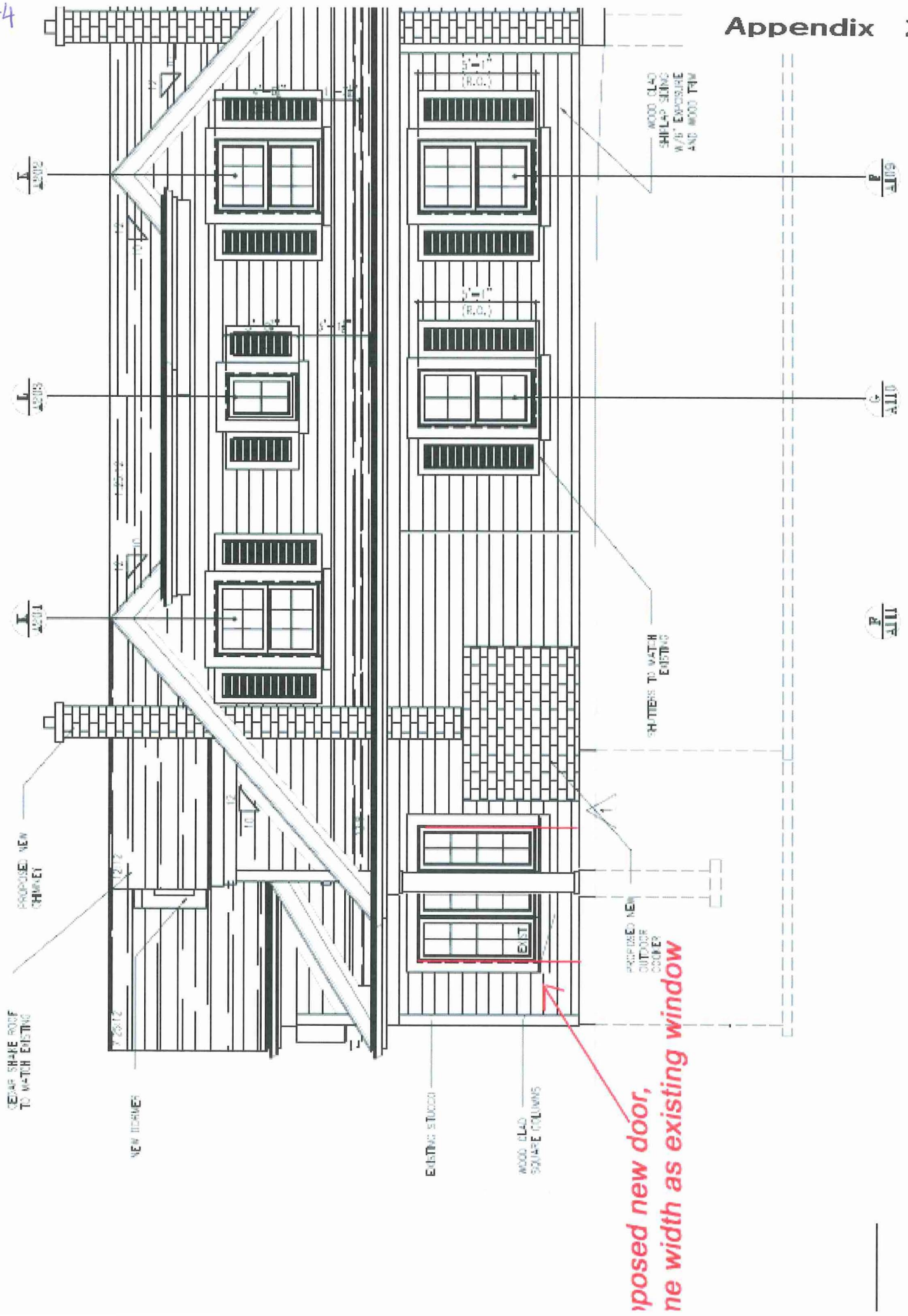
- Appendix 1: Window Enlargement Drawing
- Appendix 2: Window to Door Alteration Drawings
- Appendix 3: Overhang Drawings
- Appendix 4: Site Plan



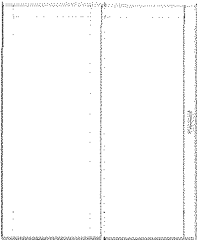
Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator





Item :	Qty : 1	Location :	
Exterior View	Osm of Frame : 70 7/8" x 85 31/32"	Rough Opening : 71 5/8" x 86 9/16"	Brick Mould not required



Osm : 1800 X 2184
 Wood Species: Douglas Fir
 Exterior Color: White (WHTM)
 Primed Interior Interior (Primed Interior)
 Interior Panel: Vertical Grain Fir
 Jamb : 6 11/16" (170)
 Brick Mould : None
 Operating Panel Size: 35 3/4" (908mm)
 Bronze Anodized Aluminum Sill ()
 Botticelli Handle (Oil Rubbed Bronze)
 White Standard Screen (WHTM)
 with High Transparency Mesh
 Heat-Smart D 366 (HB1)
 3.1 / 63-130 / 3.1
 366/CLR
 Clear Tempered Glass
 Black Stainless Steel Spacer (B63-130)
 Integral Drip Cap with Mounting Holes (NFLR)
 Standard Packaging 36 cubic ft. each
 (WHTM HB1 (366/CLR))

44PD - standard FP2 1870 OX
 44PD - standard FP2 1870 OX Heat-Smart D 366 (HB1)
 Primed Interior
 6 11/16" Jamb
 Add for LoE 366
 Includes Black Stainless Steel Spacer Bar (3.1 / 63-130 / 3.1)
 c/w White Standard Screen with High Transparency Mesh
 Screen mesh - High Transparency Mesh
 Comes with Vertical Grain Fir Panel(s)
 Oil Rubbed Bronze Botticelli Handle
 Multipoint hardware
 Keyed Lock included



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Meadowvale Village Heritage Conservation District
7050 Old Mill Lane
(Ward 11)

RECOMMENDATION: That the request to alter the property at 7050 Old Mill Lane, as described in the report from the Commissioner of Community Services, dated April 14, 2015, be approved, and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The subject property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District. The owner proposes to install an in-ground swimming pool.

COMMENTS: Pools and water features constitute a substantive alteration in the 2014 Meadowvale Village Heritage Conservation District Plan. As such a heritage permit is required.

The pool is proposed at the rear of the property, as per the site plan, attached as Appendix 1. Three different fence types would constitute the large enclosure: a black chain link fence at the rear, a simple

wrought iron fence at the south end and a wood picket fence along Old Mill Lane. (Images of the latter two are attached as Appendices 2 and 3 respectively.) A cedar hedge will also be reinstated along the street. (See Appendix 4.)

The chain link fence blends with the forested backdrop in this area and meets City standards for lands adjacent to public property (in this case Credit Valley Conservation lands). The iron fence would have limited visibility from the street but offer needed visibility to the pool from other areas of the property for safety reasons. All fences would comply with the City standards for pool enclosures.

The Meadowvale Village Heritage Conservation District Plan allows “traditional fencing styles” “constructed of fence materials which currently exist within the village” when the fencing is required for safety and security. The statement of significance for this particular property notes the open space to the north.

While the pool is a major landscape intervention, it is simple and generally tucked in towards the rear of the property. Simple, context sensitive fencing comprises the required enclosure. The proposal has minimal impact on the neighbouring properties and limited visibility from the street. As such, it should be approved.

A landscaping plan was not provided. Changes to lot grade, excavation and the placement of fill, which alters a property’s land form, are subject to a heritage permit. Any landscaping that does not comply with the Meadowvale Village Heritage Conservation District Plan is also subject to a heritage permit.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The proposed pool and enclosure is simple with limited visibility from the street. While the pool is a major landscape intervention, it does not detract from the property’s heritage attributes and would have a minimal impact on surrounding properties.

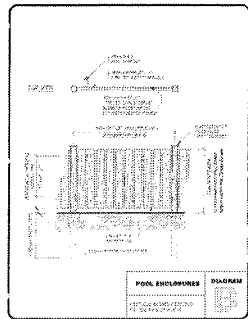
ATTACHMENTS:

- Appendix 1: Site Plan
- Appendix 2: Wrought iron fence
- Appendix 3: Wood picket fence
- Appendix 4: Image of cedar hedge



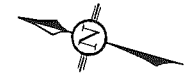
Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



OLD MILL LANE

91565



PICKET FENCE DETAIL

1125 m

POOL EQUIPMENT LOCATION

EXISTING DETACHED GARAGE

DRIVEWAY

RESIDENCE

LOT 38, 39, 40 / PLAN TOR - 5

DOOR SILL = 254

RESIDENCE OF PAULA PANARITIS
7050 OLD MILL LANE
MISSISSAUGA, ON
L5W 1A1
tel. 905-302-1369
Email: panaritis@rogers.com

PROPOSED 152m WOOD PICKET FENCE TO MEET BY-LAW REQUIREMENTS

PROPOSED 152m WOOD PICKET FENCE GATE; SELF CLOSING, LATCHING & LOCKABLE

PROPOSED 152m CHAIN-LINK FENCE TO MEET BY-LAW REQUIREMENTS

PROPOSED 152m CHAIN-LINK FENCE TO MEET BY-LAW REQUIREMENTS

PROPOSED 152m IRON FENCE GATE; SELF CLOSING, LATCHING & LOCKABLE

x 163 EXISTING ELEVATION

PROPOSED ELEVATION

SLOPE

ALL ELEVATIONS IN CENTIMETERS

DRAWING: PERMIT SITE PLAN 03
DATE: APRIL 10, 2015
SCALE 1: 200
ALL DIMENSIONS IN METERS

APPENDIX 1

4-4

65.99

30.38

PROPOSED 152m CHAIN-LINK FENCE TO MEET BY-LAW REQUIREMENTS

0.0

17.18

62 x

117 x

141 x

145 x

125 x

145 x

147 x

152 x

155 x

157 x

160 x

163 x

165 x

167 x

169 x

171 x

173 x

175 x

177 x

179 x

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683 x

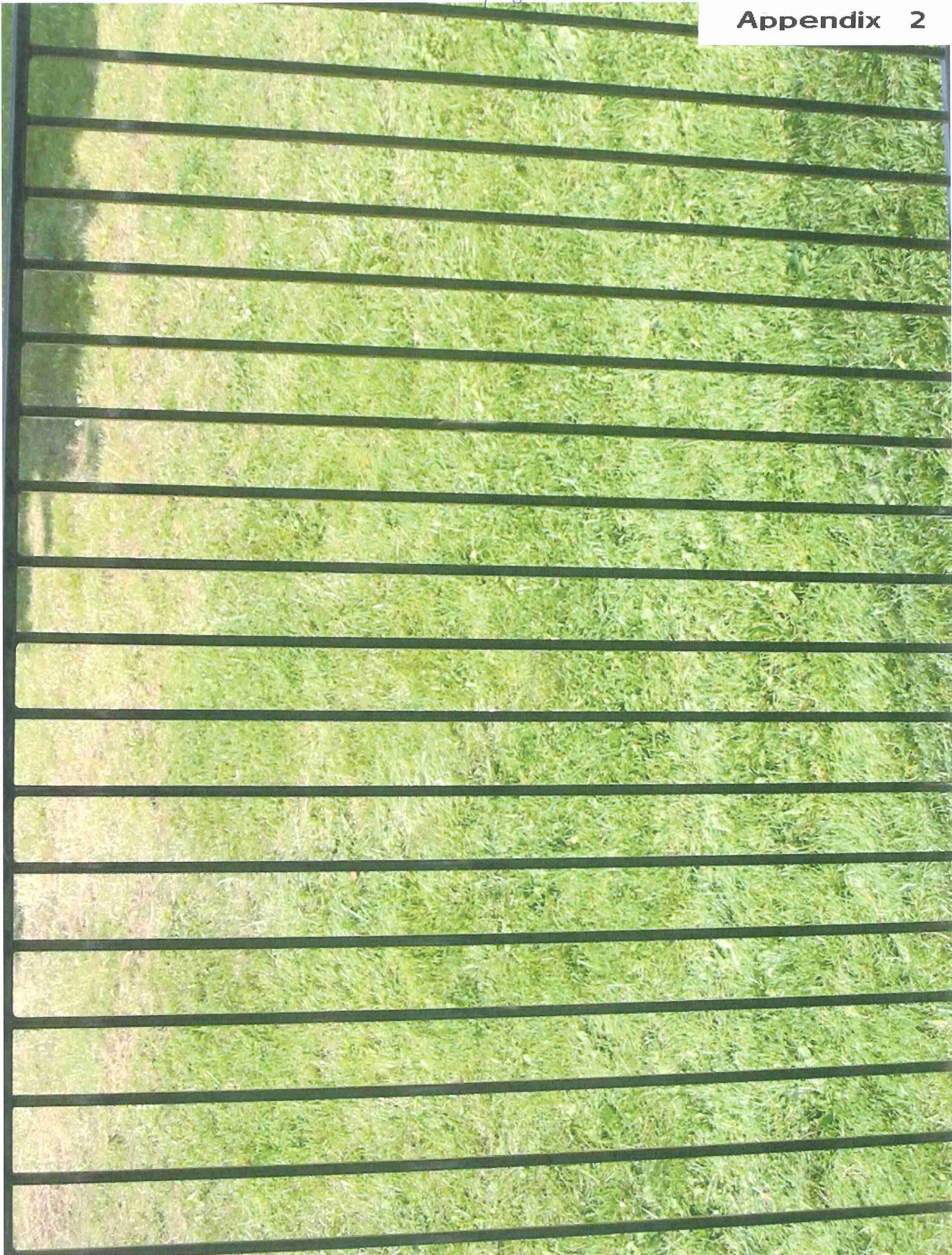
685 x

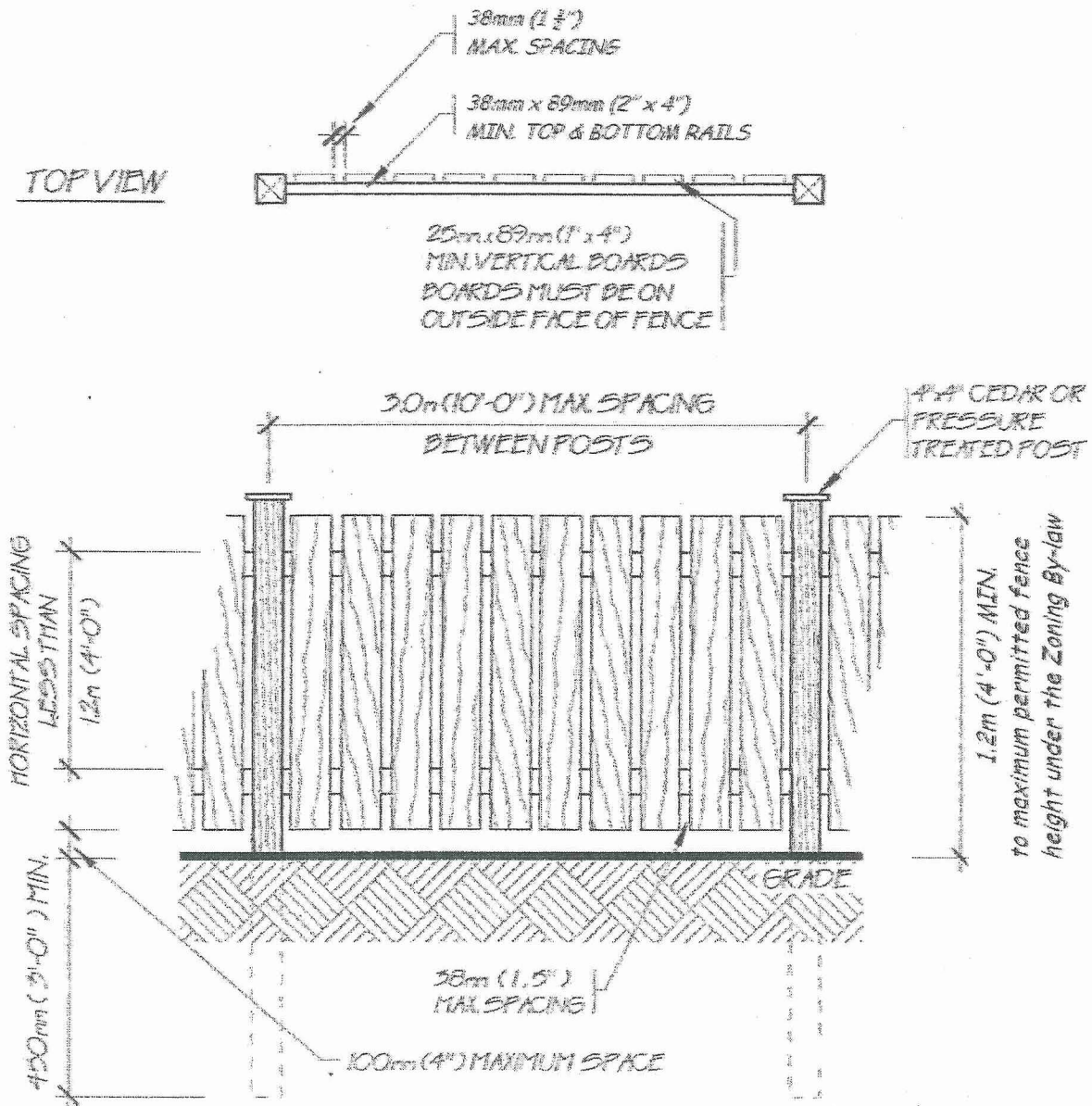
687 x

689 x

691 x

4-5



**POOL ENCLOSURES****DIAGRAM**

VERTICAL BOARD FENCING
CLOSE RAIL SPACING

B

4-7





Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Old Port Credit Village Heritage Conservation District
42 Lake Street
(Ward 1)

RECOMMENDATION: That the request to alter the property at 42 Lake Street, as described in the report from the Commissioner of Community Services, dated April 14, 2015, be approved, and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: The subject property is designated under the *Ontario Heritage Act* as it forms part of the Old Port Credit Village Heritage Conservation District. The owner proposes to replace the single garage with a tandem one and make some modifications to the front of the house, including altering the porch. The drawings are attached as Appendix 1.

COMMENTS: The Old Port Credit Village Heritage Conservation District divides properties into three categories: "historic," "complementary" and "other." The subject property is considered complementary. As such, a heritage permit is required for the replacement garage only.

The proposed garage is further recessed from the road than the existing concrete block one. This recession is in keeping with the guidelines that state: "site your garage behind the front wall of the

house.” There are no further guidelines specific to garages for complementary properties. However the guidelines more generally state: “choose a wall material that complements the buildings of historic interest but does not clash with your building.” Stucco is consistent with the house.

Taking into account the specific context offered by this property, as well as the minimal impact of the proposed alteration, the proposed replacement garage should be approved. Additionally, although the porch alteration is not subject to a heritage permit, the owner is encouraged to choose materials that complement the buildings of historic interest.

FINANCIAL IMPACT: There is no financial impact.

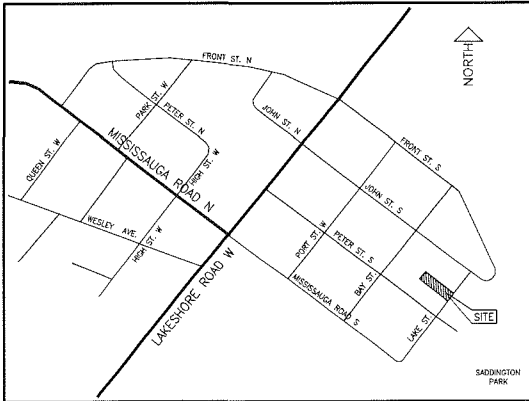
CONCLUSION: The proposed replacement garage is a negligible alteration with minimal impact on the heritage conservation district. As such, it should be approved.

ATTACHMENTS: Appendix 1: Drawings



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



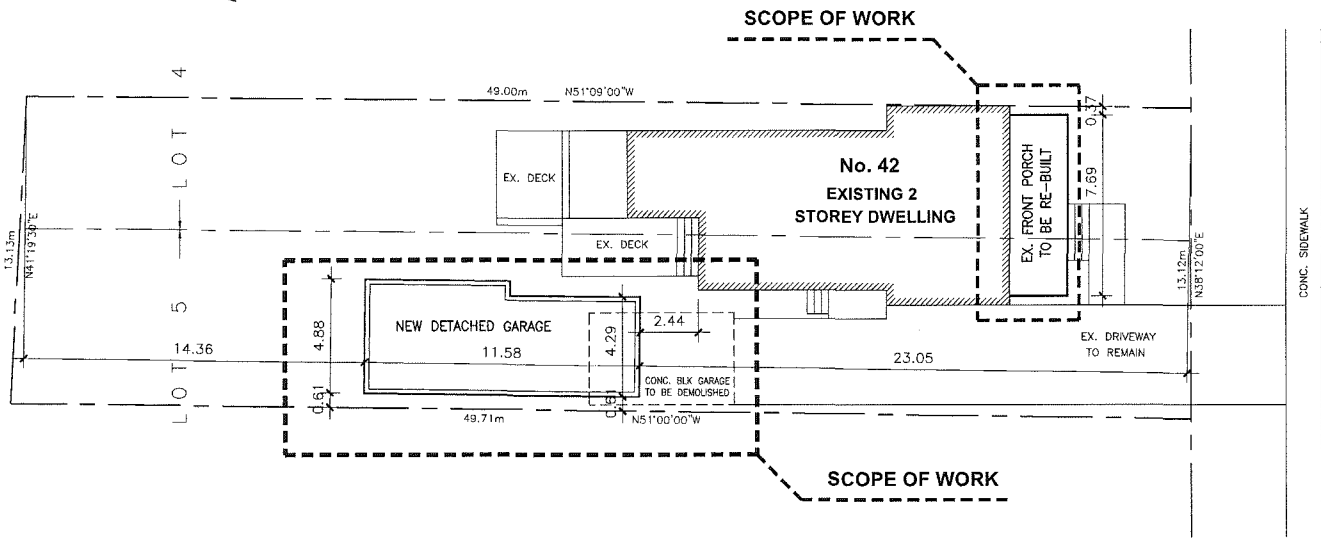
KEY PLAN NOT TO SCALE

SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF
 PART OF LOTS 4 & 5
 (NORTH OF LAKE STREET, WEST OF CREDIT RIVER)
 REGISTER PLAN 300
 CITY OF MISSISSAUGA
 (REGIONAL MUNICIPALITY OF PEEL)

SITE STATISTICS

<u>EXISTING:</u>			
LOT AREA	-	650.60 m ²	7,003 s.f.
EXISTING BLDG FOOTPRINT (NOT INCLUDING PORCH)	-	108.95 m ²	1,173 s.f.
EXISTING FRONT PORCH	-	18.83 m ²	203 s.f.
COVERAGE (HOUSE & PORCH)	-	23.3 %	
EXISTING DETACHED GARAGE	-	23.95 m ²	258 s.f.
COVERAGE (DETACHED GARAGE)	-	3.7 %	
<u>PROPOSED:</u>			
PROPOSED FRONT PORCH	-	18.83 m ²	203 s.f.
PROPOSED DETACHED GARAGE	-	53.14 m ²	570s.f.
COVERAGE (DETACHED GARAGE)	-	8.2 %	

5-3

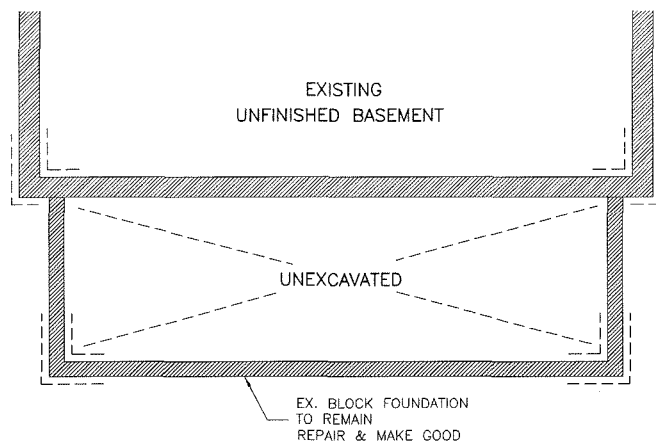


LAKE STREET

SITE PLAN
 SCALE: 1:200

1 MAR. 24/15 ISSUED FOR PERMIT		
No.	Date	Revision
Project: 42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE		
Drawing Title SITE PLAN		
Scale AS SHOWN	Drawing Number A.1	
Date APR. 2015		
Project Number		

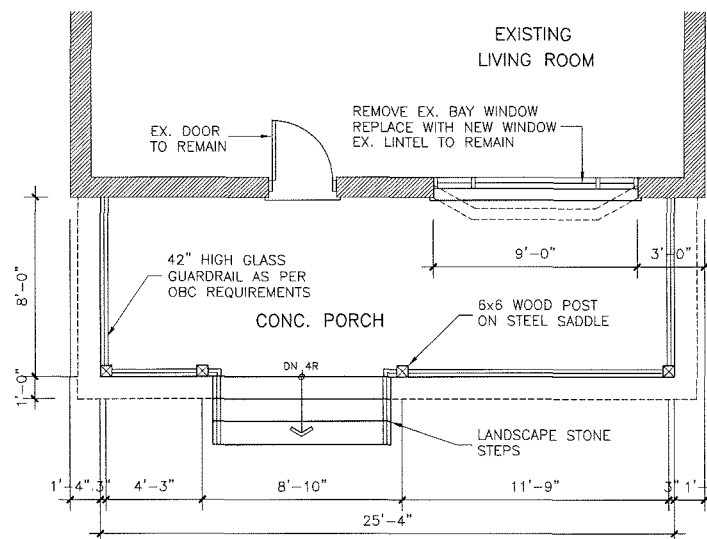
5-4



PARTIAL BASEMENT PLAN

SCALE: 3/16"=1'-0"

EX. WALL TO REMAIN

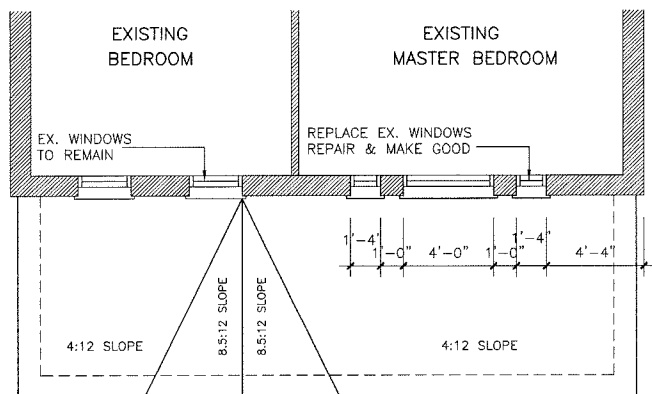


PARTIAL GROUND FLOOR

SCALE: 3/16"=1'-0"

EX. WALL TO REMAIN

1	APR. 01/15	ISSUED FOR BUILDING PERMIT	
No.	Date	Revision	By:
<small>Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.</small> DO NOT SCALE DRAWINGS.			
Project: 42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE			
Drawing Title: PARTIAL BASEMENT & GROUND FLOOR PLAN			
Scale	AS SHOWN		
Date	APR. 2015		
Project Number			
			A.2

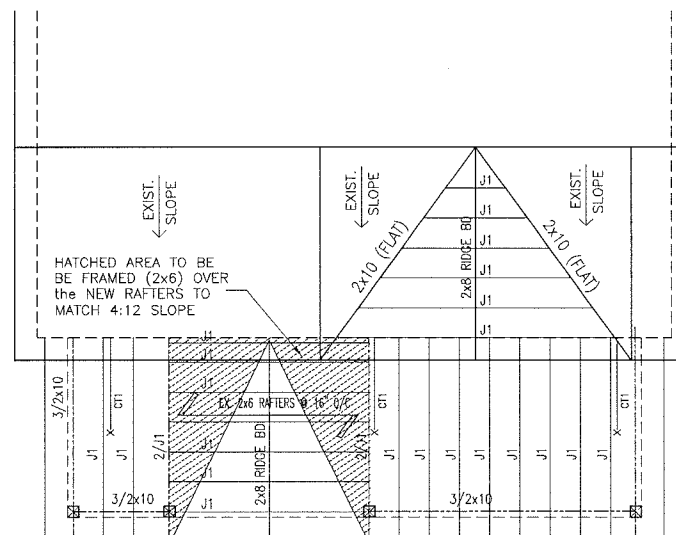


PARTIAL SECOND FLOOR

SCALE: 3/16"=1'-0"



EX. WALL TO REMAIN



PARTIAL ROOF PLAN

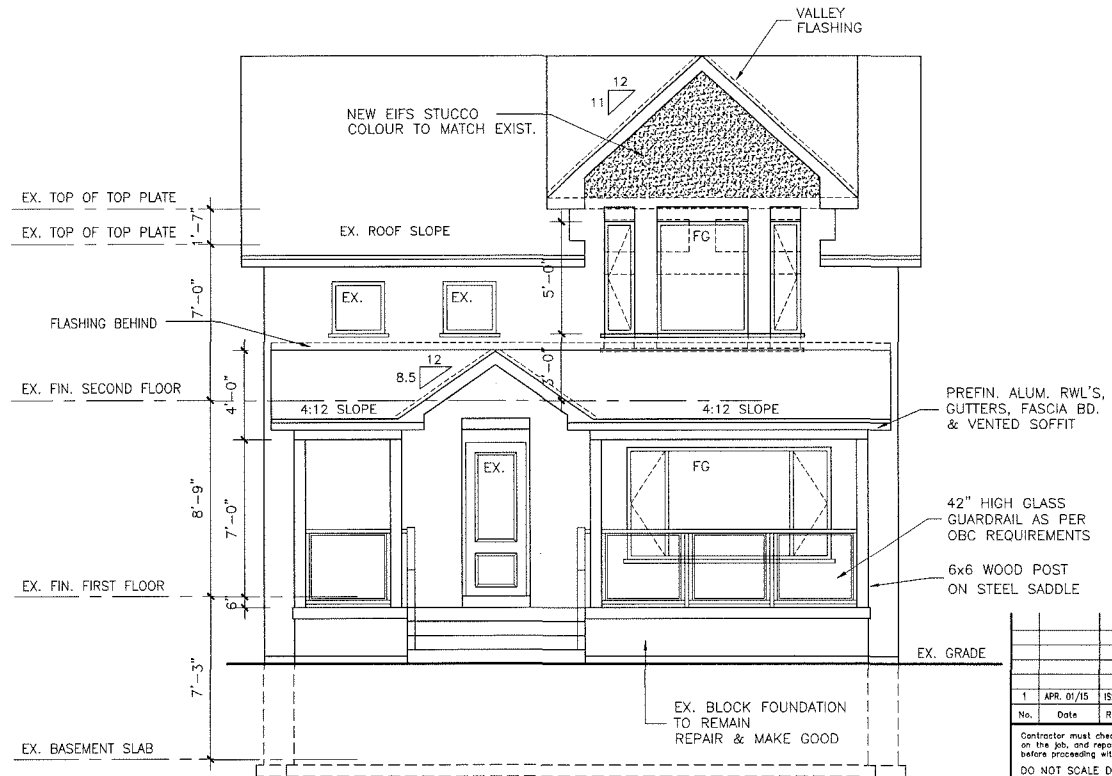
SCALE: 3/16"=1'-0"

J1 - 2x8 @ 16" C/C RAFTER (SPF #2)
CT1 - 2x4 COLLAR TIE @ EA J1 (TYP) (SPF #2)

CT1 - 2x4 COLLAR TIE @ EA J1 (TYP) (SPF #2)

1	APR. 01/15	ISSUED FOR BUILDING PERMIT		
No.	Date	Revision		By:
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.				
DO NOT SCALE DRAWINGS.				
Project:				
42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE				
Drawing Title				
PARTIAL SECOND FLOOR & ROOF PLAN				
Scale	AS SHOWN		Drawing Number	
Date	APR. 2015		A.3	
Project Number				

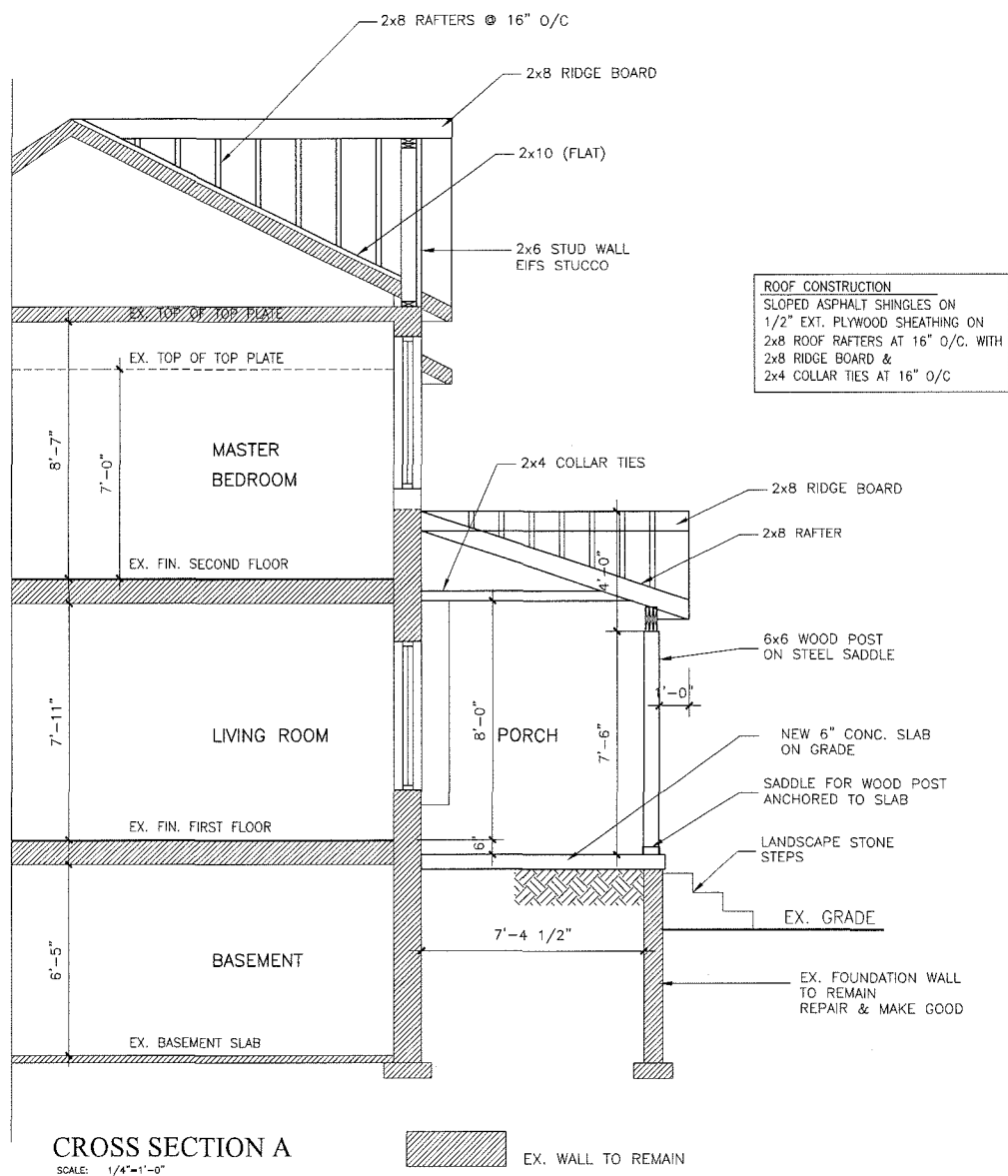
SCALE: 3/16"=1'-0"



SCALE: 3/16"=1'-0"

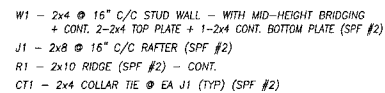
1	APR. 01/15	ISSUED FOR BUILDING PERMIT		
No.	Date	Revision	By:	
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.				
DO NOT SCALE DRAWINGS.				
Project:				
42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE				
Drawing Title				
FRONT & SIDE ELEVATION				
Scale		Drawing Number		
AS SHOWN		A.4		
Date				
APR. 2015				
Project Number				

5-7



1	APR. 01/15	ISSUED FOR BUILDING PERMIT		
No.	Date	Revision	By:	
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.				
DO NOT SCALE DRAWINGS.				
Project:				
42 LAKE STREET				
SINGLE FAMILY RESIDENCE				
PROPOSED RENOVATION & NEW DETACHED GARAGE				
Drawing Title				
CROSS SECTION A				
Scale	AS SHOWN			Drawing Number
Date	APR. 2015			A.5
Project Number				

GARAGE FLOOR PLAN
 SCALE: 3/16"=1'-0"

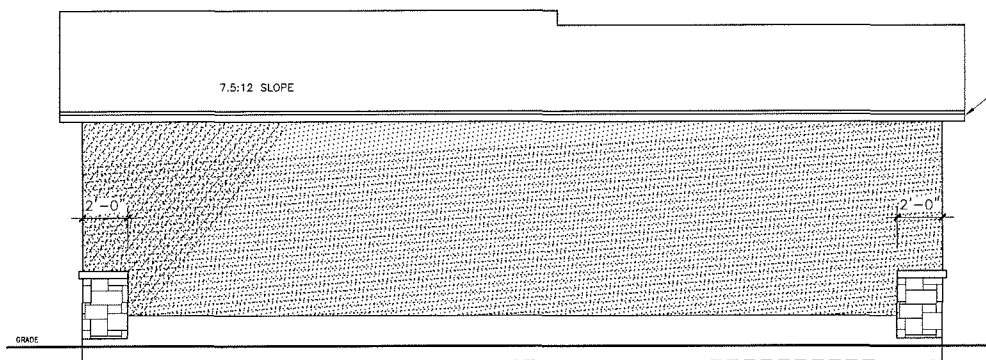


GARAGE ROOF PLAN
 SCALE: 3/16"=1'-0"

1	APR. 01/15	ISSUED FOR BUILDING PERMIT			
No.	Date	Revision	By:		
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work. DO NOT SCALE DRAWINGS.					
Project:					
42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE					
Drawing Title					
GARAGE FLOOR & ROOF PLAN					
Scale		Drawing Number			
AS SHOWN		A.6			
Date					
APR. 2015					
Project Number					

A.6

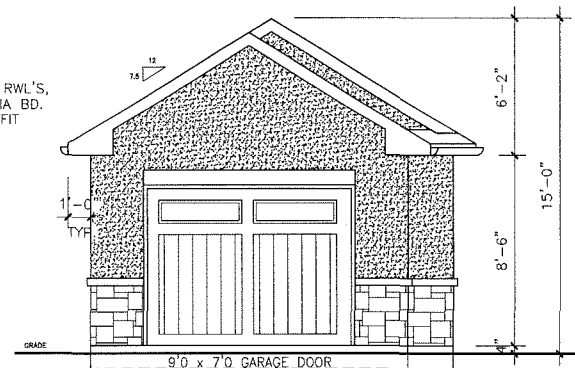
5-9



LEFT SIDE ELEVATION

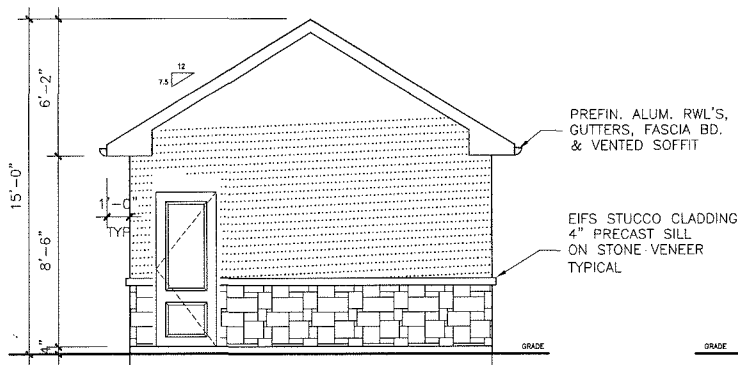
SCALE: 3/16"=1'-0"

PREFIN. ALUM. RWL'S,
GUTTERS, FASCIA BD.
& VENTED SOFFIT



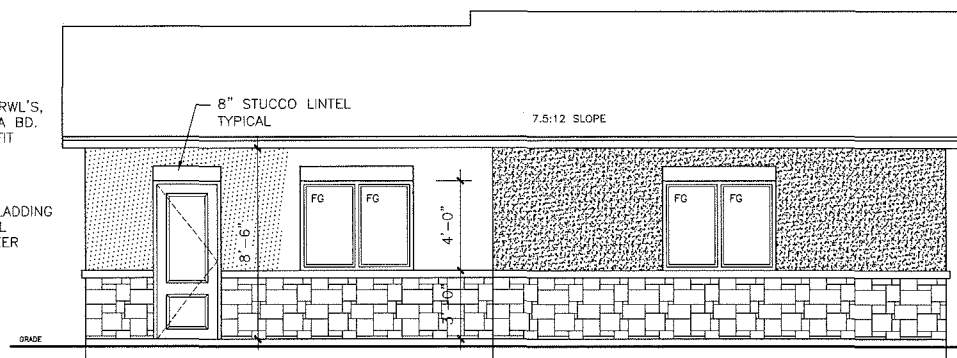
FRONT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

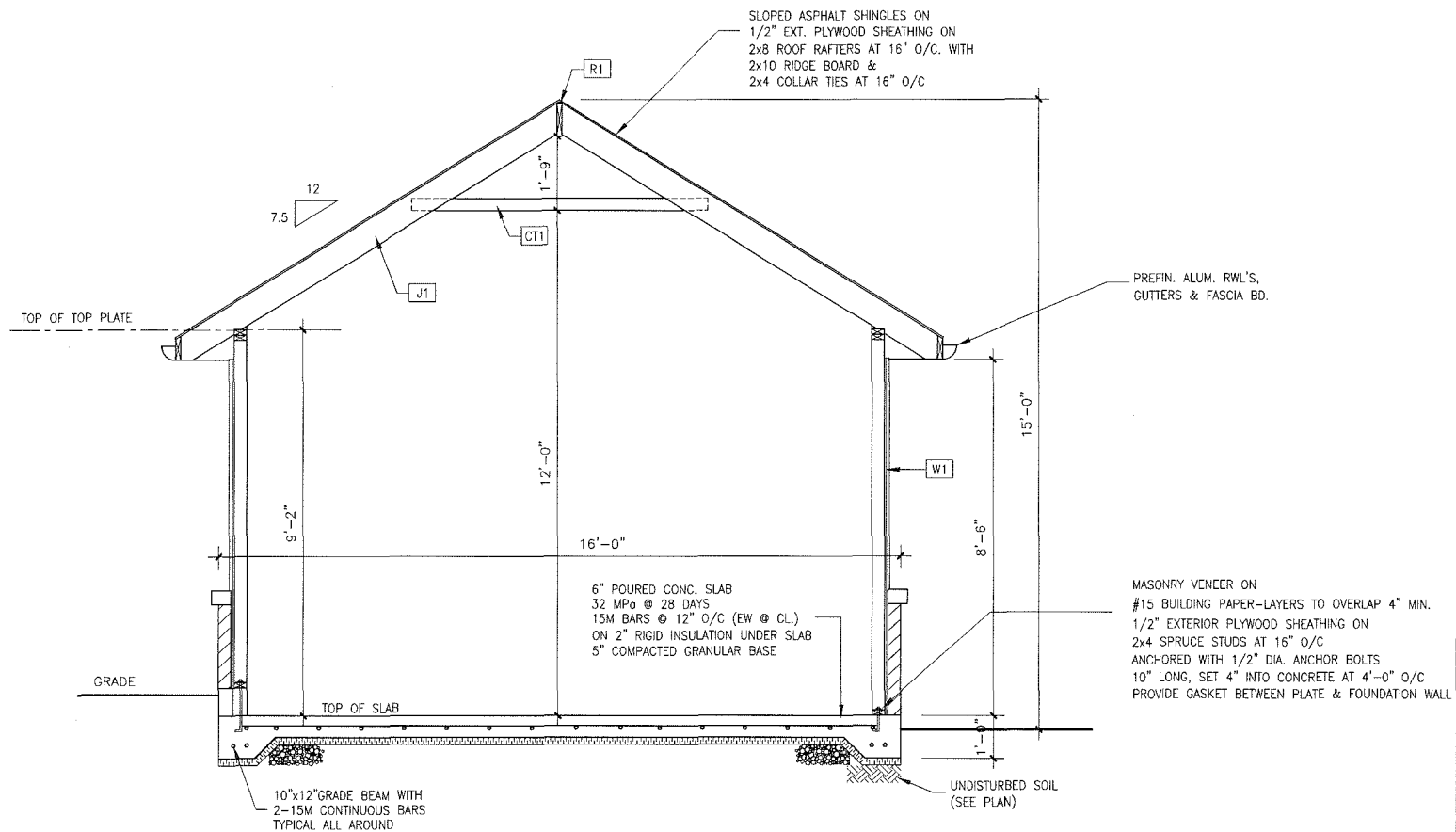
SCALE: 3/16"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"

1	APR. 01/15	ISSUED FOR BUILDING PERMIT	
No.	Date	Revision	By:
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work. DO NOT SCALE DRAWINGS.			
Project:			
42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE			
Drawing Title			
GARAGE ELEVATIONS			
Scale	AS SHOWN		
Date	APR. 2015		
Project Number	A.7		



CROSS SECTION B

SCALE: 3/8"=1'-0"

W1 - 2x4 @ 16" C/C STUD WALL - WITH MID-HEIGHT BRIDGING
+ CONT. 2-2x4 TOP PLATE + 1-2x4 CONT. BOTTOM PLATE (SPF #2)

J1 - 2x8 @ 16" C/C RAFTER (SPF #2)

R1 - 2x10 RIDGE (SPF #2) - CONT.

CT1 - 2x4 COLLAR TIE @ EA J1 (TYP) (SPF #2)

1	APR. 01/15	ISSUED FOR BUILDING PERMIT	
No.	Date	Revision	By:
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.			
DO NOT SCALE DRAWINGS.			
Project:			
42 LAKE STREET SINGLE FAMILY RESIDENCE PROPOSED RENOVATION & NEW DETACHED GARAGE			
Drawing Title			
GARAGE CROSS SECTION B			
Scale	AS SHOWN		Drawing Number
Date	APR. 2015		A.8
Project Number			



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 29, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Old Port Credit Village Heritage Conservation District
J.C. Saddington Park, 53 Lake Street
(Ward 1)

RECOMMENDATION: That the request to install two plaques at J.C. Saddington Park, 53 Lake Street, as described in the report from the Commissioner of Community Services, dated April 29, 2015, be approved, with the caveat that plaques' format and location may change in the future.

BACKGROUND: The Town of Port Credit developed the subject park in the 1970s on extensive landfill at the foot of John and Peter Streets. The City designated the property under the *Ontario Heritage Act* as part of the Old Port Credit Village Heritage Conservation District in 2004. The City leases the park from the Credit Valley Conservation.

The Peel Aboriginal Network has obtained permission from these agencies to install two plaques on the subject property. The plaques are proposed along the Waterfront Trail, which is a component of the Trans Canada Trail and the Pan Am Trail. (The exact site is noted in Appendix 1.) The project is part of an initiative by the Ontario Federation of Indigenous Friendship Centres, in partnership with the Province and the Pan Am Games, to install markers along the trail in time for the Pan Am Games, which commence in July.

As per section 3.1.3.5 of the heritage conservation district plan, the erection of such plaques in City Parks within the district requires a heritage permit.

COMMENTS:

The two plaques include: (1) an interpretive marker referencing the “Mississaugas of New Credit First Nation and the importance of the Credit River” and (2) a marker about the Peel Aboriginal Network. (The drafts are attached as Appendix 2.) The markers would be 18 by 24 inches made of sun glazed enamel and aluminum. (The full plaque design, including pedestal, is shown in Appendix 3.) See Appendix 4 for more background information on the project.

Section 2.2.9.3 of the Port Credit Village Heritage Conservation District Plan states that: “The City will prepare a plan to interpret the village’s history in a coordinated way, designing historical plaques, illustrated displays, gateway signs, street signs and/or interpretive parkland features as component parts of an integrated whole.” J.C. Saddington Park is identified in the Waterfront Parks Strategy as a priority park for redevelopment which is proposed in 2020-2022 (but is currently unfunded).

As plans for the park redevelopment and an interpretation plan for the Heritage Conservation District have yet to be made, the plaques should be allowed as part of the Trans Canada Trail, with the caveat that their format and location may change in the future.

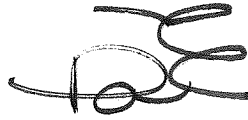
The plaques are complementary to the heritage conservation district and should be approved.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The proposed plaques complement the Old Port Credit Village Heritage Conservation District and should be approved with the caveat that their location and format may change once a district interpretation plan is implemented.

ATTACHMENTS:

- Appendix 1: Location Map
- Appendix 2: Plaque Proofs
- Appendix 3: Installation System
- Appendix 4: Background Information



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



6-5



CREDIT RIVER

RIVIÈRE CRÉDIT



In 1826, the government built a village for the Mississaugas on their traditional lands on what is now the upper portion of the golf club property overlooking the Credit River Valley. The village began as 20 dressed-log houses including a combined chapel and schoolhouse.

The Credit Mission Village prospered and by the late 1830's there were nearly 50 houses with some 500 acres under cultivation. In addition, they owned and operated two sawmills and a schooner. They were known as the "good credit Indians" due to good business practices and the site took on their name.

Settlement pressures and a rising death toll from disease led to the closing of the Credit Mission Village in 1847. The Mississaugas of the Credit Mission buried their dead at an unknown location under the present golf course.



En 1826, le gouvernement bâtit un village pour les Mississaugas sur leurs terres traditionnelles, sur ce qui est maintenant la partie supérieure de la propriété du club de golf, avec vue sur la vallée de la rivière Cr dit. Le village comportait 20 maisons en bois rond y compris un b timent qui abritait une chapelle et une  cole.

Le village de la mission de Cr dit prosp rait et, vers la fin des ann es 1830, il y avait pr s de 50 maisons avec quelques 500 acres cultivables. Les habitants poss daient et exploitaient deux scieries et une go lette. Ils  taient surnomm s les « good credit Indians » (Indiens au bon cr dit) en raison de bonnes pratiques commerciales et le site prit leur nom.

Cependant, les pressions inh rentes   la colonisation caus rent la fermeture du village de la mission de Cr dit en 1847. La mission connut une pression croissante de la part des colons et un nombre croissant de d c s caus s par les maladies. Les Mississaugas de la mission de Cr dit enterr rent leurs morts dans un lieu inconnu situ  sous le terrain de golf actuel.



PEEL ABORIGINAL NETWORK

peel aboriginal network



Indigenous Friendship Centre

Peel Aboriginal Network ("PAN") started in 2006 as a gathering place for Indigenous people in the Peel region. They opened their own cultural centre three years later and began providing programs and services to the Aboriginal community in the region.

In 2014, Peel Aboriginal Network became a member of the Ontario Federation of Indigenous Friendship Centres, a network of 28 urban Aboriginal service organizations offering programs in Ontario since 1972, in the areas of education employment, culture, health, social enterprise and well-being to the Aboriginal population from Atikokan to Windsor.

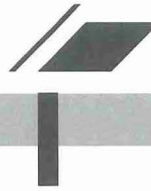
Friendship Centres are status blind, mandated to serve all Aboriginal people regardless of gender, sexual orientation, origin, age, disability or marital status.

Le Peel Aboriginal Network est membre du Ontario Federation of Indigenous Friendship Centres, un réseau de 28 organismes de services pour les Autochtones vivant en milieu urbain qui offre des programmes en Ontario depuis 1972 dans les domaines de l'éducation, de l'emploi, de la culture, de la santé, de l'entreprise sociale, et du mieux-être de la population autochtone d'Atikokan à Windsor.

Les Centres d'amitié fonctionnent selon une politique porte ouverte et sont mandatés pour offrir des services à tous les Autochtones sans égard au statut, au genre, à l'orientation sexuelle, l'origine, l'âge, le handicap ou l'état matrimonial.

Le Peel Aboriginal Network a été lancé en 2006 comme un lieu de rassemblement pour les populations autochtones dans la région de Peel. Leur Centre culturel a ouvert trois ans plus tard et a commencé à offrir des programmes et services à la communauté autochtone de la région.





INSTALLATION SYSTEMS

GROUNDKEY

- Size: 3" x 3" x 36"
 Material: Aluminum
 Installation: Embed in ground 22" leaving 14" above grade.
 Set screws lock the sign in place.
 Allows for removal of sign for storage or repair.
 When to Use: Sign location in soil or installed prior to concrete pad.

BASE PLATES

- Size: 8" x 8" x 1/2" Custom Sizes are available
 Material: Aluminum
 Installation: Welded to bottom of sign post.
 Chemstuds are used to anchor sign to surface.
 When to Use: Sign location on rock, wood or concrete.

MOUNTING BRACKETS

- Size: Custom to each project
 Material: Aluminum
 Installation: Custom
 When to Use: Sign location off of existing structure ex. boardwalk.



GroundKey



Standard Base Plate



Mounting Bracket



GroundKey Covers



*GroundKey installed
in concrete*



*Custom GroundKey /
Base Plate*



Custom Base Plate

GroundKey Installation Guide

What you need before you get started:

1. **Make sure all locates of underground services (gas, telephone, hydro lines, cable etc.) have been completed prior to starting of installation.**
2. You will need a post hole digger to drill the hole, two - three bags of pre-mix concrete per hole, clean water, a level, and a shovel.

Guidelines for Ground Key Installations

1. Ground Keys can be installed up until the ground freezes.
2. Hole Sizes
 - a. Hole Diameter - We recommend a minimum hole diameter of 8" to a maximum of 10".
 - b. Hole depth - We recommend a depth of 31" to 40". In fine gravel or coarse sand, you may need to go as deep as 60".
 - In solid rock, rock drill 4" dia. hole x 9" minimum to 12" maximum and in-fill with liquid sulphur or epoxy cement or fine mix concrete.
3. Pouring Concrete
 - These instructions are for a hole diameter of 8" and 32" deep. You will need 2 to 3 30 kg bags of Dry Mix - Premix Concrete, per hole.
 - a. Pour ½ - 1 bag of dry mix of premixed concrete into the hole. Add a small amount of water to start the top inches of concrete setting.
 - b. Embed ground key 22" below grade.
 - c. Pour remaining concrete into the hole, stopping about 4" below grade. Add a small amount of water to the hole.
 - d. Make sure the concrete is packed tight, and level the Ground Key.
 - e. Return turf, soil, fill, gravel or asphalt, and level with original grade.



- The soil humidity and permeability will affect the needed amount of water.
- If a sign has 2 posts, the Ground Keys will be supplied in a Jig for accurate installation to lock the extensions on the *correct hole centres*. The jig is loaner for installation only. The jig stays above ground and is left in place until the completed signs are mounted. Make certain that the jig is installed vertically and horizontally level, as it cannot be adjusted later.
- If the sign is being mounted onto an existing concrete pad, we will welded the 8" x 8" x 3/8" base plates directly to the posts. The base plates are pre-drilled to accept 3/8" or 1/2" Red Dog expanding anchors or ChemStuds.

Mounting Signs

- The extensions are locked to the post with two 3/8" Stainless Steel Allen set screws in each post.
- Fill the recess (with silicone sealant), to hide the set screw tops, after installation is complete.

Helpful Hints

- To stop a depression forming which might cause a muddy area, or puddle in front of the sign, have the grade around the sign slightly higher than the surrounding area.
- Make certain the top of your drilled hole is not curved outwards, as frost could hook under this lip, and heave the extension out of the ground.
- We suggest that you do not use sonotubes. Sonotubes have waxed faces and can be easily drawn out of the ground by frost, water (hydraulic pressure) or people.



CITY OF MISSISSAUGA
Heritage Property Permit Application
Background Information

Toronto 2015 Pan Am Games / Province of Ontario
Trans Canada Trails Legacy
Aboriginal Trail Markers

This initiative was developed to implement unique Aboriginal markers celebrating communities and their history along the Trans Canada Trail in southern Ontario.

The project, from what I understand, was born, in part, to afford an Aboriginal legacy to the TO2015 Pan Am Games.

The Aboriginal Trail Markers project is an initiative with numerous stakeholders including the Province, the Trans Canada Trail and the 14 Aboriginal Partners of the TO2015 Pan Am Games Organization Committee (the Aboriginal Leadership Partners - ALP). The Native Canadian Centre of Toronto is the lead proponent of the ALP with respect to funding arrangements with the Province for the initiative.

It was decided by the ALP that five of the partners, the Metis Nation of Ontario, the Ontario Federation of Indigenous Friendship Centres (OFIFC), Huron Wendat Nation, Six Nations and the Mississaugas of New Credit First Nation would each forward 6 Markers for the project for a total of 30 Markers.

The 30 Markers are being installed across a wide swath of land - the 'Pan Am footprint' - from Ajax to the east, Midland to the north, Fort Erie to the South and Essex County to the west.

The two proposed Markers for the City of Mississauga are attached. One represents the OFIFC and the Peel Aboriginal Network, the other represents the Host Nation for the Games, the Mississaugas of the New Credit First Nation and the historical significance of the Credit River to the Mississaugas.

The proposed location at JC Saddington Park was chosen because of its proximity to the Credit River and its placement along the Trans Canada Trail. The Peel Aboriginal Network is located on Britannia Road, some ways away from the nearest TransCanada Trail, so it was decided that both Markers would reside in the same location. As they are two parts of a larger set of 30, having them together would offer viewers both an historical as well as contemporary view of Aboriginal communities in Mississauga.

Each Marker is roughly 18" x 24" and information on the materials and installation are included as an attachment. Fontasy Signs is producing and installing the signs and will be responsible for all locates.

It is proposed that the Marker would look somewhat like the following once installed:



The Markers come with a 10-year warranty through Fontasy. It is proposed that the Native Canadian Centre of Toronto would support the coordination of any replacements required with respect to the Markers.



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
1445 Glenburnie Road
(Ward 1)

RECOMMENDATION: That the property at 1445 Glenburnie Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property is preparing to submit a Site Plan application to replace the existing single detached dwelling with a new one. The property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. The area is noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by W.E. Oughtred and Associates Inc., is attached as Appendix 1. It is the consultant's conclusion that the house at 1445 Glenburnie Road is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 1445 Glenburnie Road has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
267 Kenollie Avenue
(Ward 1)

RECOMMENDATION: That the property at 267 Kenollie Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a Site Plan application under file SPI 15 15 to replace the existing single detached dwelling with a new one. The property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. The area is noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Assessment, by Irene Gankevitch, is attached as Appendix 1. It is the consultant's conclusion that the house at 267 Kenollie Avenue is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 267 Kenollie Avenue has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Assessment



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 14, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
15 Shady Lawn Court
(Ward 11)

RECOMMENDATION: That the property at 15 Shady Lawn Court, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property requests permission to replace the existing dwelling. The property is listed on the City's Heritage Register as it forms part of the Credit River Corridor Cultural Landscape. This landscape is, according to the City's Cultural Landscape Inventory, Mississauga's "most significant natural feature." It is noted for its scenic and natural interest.

COMMENTS: The property owner requests permission to demolish the existing

structure. The Heritage Impact Assessment, by MW Hall Corporation, is attached as Appendix 1. It is the consultant's conclusion that the house at 15 Shady Lawn Court is not worthy of heritage designation. Staff concurs with this opinion.

The proposed size and height are subject to an application before the Committee of Adjustment.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 15 Shady Lawn Court has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Heritage Impact Assessment



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

DATE: April 21, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: May 19, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **2015 Designated Heritage Property Grants**

RECOMMENDATION: That the Heritage Property Grant Program requests be approved as outlined in the report from the Commissioner of Community Services, dated April 21, 2015.

BACKGROUND: In May 2007 Council adopted By-law 0184-2007, as amended February 25, 2009, to provide grants to owners of heritage designated properties. The program assists heritage designated property owners with financial assistance from a minimum of \$500 to a maximum of \$5,000 in matching funds for conservation projects, and up to \$10,000 for structural projects. Properties must be designated under the *Ontario Heritage Act*, and the work proposed must be a restoration or reconstruction of original architectural elements.

The Assessment Panel & Process

In support of the Designated Heritage Property Grant process, an assessment panel is established, by the Heritage Advisory Committee, comprising three assessors. The assessors for the term ending November 30, 2018 are; Matthew Wilkinson, Rick Mateljan and David Dodaro. The assessment panel met on April 7, 2015 to provide their recommendations for grant recipients. The City is fortunate to have such a high quality, knowledgeable group of volunteers. Staff is sincerely grateful to the assessors for their time and commitment.

COMMENTS:

In accordance with procedural guidelines, the Heritage Property Grant Review Subcommittee, appointed by the Heritage Advisory Committee, reviewed the applications to ensure they are complete and meet all of the program's criteria.

Eligible projects include:

- Conservation of existing architectural elements;
- Reconstruction of existing architectural elements that need repair;
- Restoration of architectural elements which have been lost but can be replicated based on documentary evidence; and
- Repair and restoration of building elements required for structural soundness.

Twenty one applications were submitted by the advertised deadline of March 31, 2015. Two were deemed ineligible and one was withdrawn from the program. The number of eligible projects amount to \$104,082, which exceeds the \$75,000 cap. Therefore all eligible grant requests have been prorated. A summary of the recommended grant awards is attached as Appendix 1.

Successful grant applicants will be notified of these results with any conditions, including whether the work proposed requires a heritage permit. Work must be complete by October 30, 2015, and property owners must ensure they do not owe any outstanding taxes or monies to the City, so that final inspections can be made by staff shortly thereafter. Invoices are due by November 27, 2015. Grant funds are not provided until all of these conditions have been met to the satisfaction of the City. Unspent funding is forfeited by the grant recipient.

FINANCIAL IMPACT:


\$75,000 funding is available in cost centre 21134 for the Designated Heritage Property Grant program.

CONCLUSION:

A total of eighteen Designated Heritage Property Grant applications are recommended for approval in the 2015 Heritage Property Grant Program. This allows the City to assist successful applicants in the conservation and preservation of Mississauga's built heritage resources.

ATTACHMENTS:

Appendix 1: 2015 Summary of Designated Heritage Property
Grants



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Andrew Douglas, Grants Officer

<i>Number</i>	<i>Address</i>	<i>Applicant</i>	<i>Project</i>	<i>Max. Grant Amount</i>
1	1011 Old Derry Road	Shannon Bubalo	Exterior painting	\$3,493
2	1033 Barberry Lane	Marchall & Janice King	Shingling a Cedar Roof	\$7,200
3	1074 Old Derry Road	Michael Delongte	Fence reconstruction	\$3,600
4	1155 Willow Lane	John Cerar	Installation and repair of floor joists	\$7,200
5	1352 Lakeshore Road East	TRCA	Graffiti removal	\$1,374
6	141 Lakeshore Road East	Marwa Eldardiry	Window repair and replacement	\$3,600
7	15 Mississauga Road South	Jim Fargey	Brick repair and replacement	\$813
8	264 Queen Street South	Kurtis Van Keulen	Repair, repoint and restore existing brick	\$3,560
9	27 Mill Street	James Robertson	Front facade repairs	\$1,080
10	32 Front Street South	Louie Manzo	Foundation Repair	\$7,110
11	34 Thomas Street	John Rogers	Exterior Painting	\$2,268
12	41 Bay Street	Trevor Crawford	Remove aluminum siding and replace with Instillation of wood siding on 2 walls.	\$3,600
13	42 John Street South	Matthew Bergshoeff	Replacing siding on the front and south side of the house.	\$3,600
14	7005 Pond Street	Martin Boeykens	Replacement of Cedar Shingles	\$7,200
15	7059 Second Line West	Miles Backhouse	Porch and deck repair and replacement	\$3,600
16	7076 Old Mill Lane	Dominic Kay	Replace ashfault shingles with cedar shakes.	\$7,200
17	7105 Pond Street	Rosemary Wilson	Window replacement	\$3,600
18	913 Sangster Avenue	Debbie Daymond	Waterproofing the foundation	\$4,841
				\$74,939

Memorandum

Community Services Department
Culture Division



TO: Chair and Members of the Heritage Advisory Committee

FROM: Paula Wubbenhorst, Senior Heritage Coordinator

DATE: April 27, 2015

FILE: 1125 Willow Lane (Ward 11)

SUBJECT: Housekeeping Amendment to Recommendation HAC-0072-2013

The September 2013 Heritage Advisory Committee meeting included an application to alter the property at 1125 Willow Lane. The property is designated under the *Ontario Heritage Act* as it forms part of the Meadowvale Village Heritage Conservation District.

The alteration received conditional approval. However, the recommendation referenced the drawings attached to the Corporate Report, rather than the revised ones presented at the meeting, which were "received." (The recommendation is attached as Appendix 1.) The recommendation should be revised to approve the drawings that were received rather than those included in the Corporate Report. (The final "received" drawings are attached as Appendix 2.)

P. Wubbenhorst

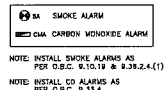
Paula Wubbenhorst
Senior Heritage Coordinator
Culture Division

Appendix 1: Recommendation HAC-0072-2013
Appendix 2: Final Drawings

























HAC-0072-2013

1. That the nine elevation, floor plan, and streetscape drawings for 1125 Willow Lane presented by Alison Strickland, Strickland Mateljan Design + Architecture, and Denise Baker, Townsend and Associates Barristers and Solicitors, to the Heritage Advisory Committee on September 17, 2013, be received; and
2. That the request to alter the property at 1125 Willow Lane, as described in the Corporate Report dated August 29, 2013 from the Commissioner of Community Services, be approved and that the issuance of a heritage permit be subject to the following three conditions:
 - (a) The property owners satisfying the conditions outlined within the body of the above-noted Corporate Report;
 - (b) The property owners obtaining support in writing from the Meadowvale Village Heritage Conservation District Review Committee for the above-noted request to alter by Monday, September 23, 2013; and
 - (c) The property owner's agents receiving an email message from Heritage staff regarding outstanding matters with respect to the request to alter by Monday, September 23, 2013.

Ward 11
CS.08.WIL



- NOTE:
Refer to HVAC drawings and
spec's for other requirements
related to in floor heating system

- | | | | |
|--|---|--|---|
| F1 (Crawl Space Floor) | | F2 (First & Second Floor) | |
| -2" concrete slab |  | -Floor finish |  |
| -4" mill only V.B. |  | -4" concrete slabs |  |
| -8" granular fill "A" |  | -Unfinished or compacted soil |  |
| -Unfinished or compacted soil |  | -Floor finish |  |
| F3 (Exterior Decking) | | F4 (Exterior Porches/Terraces/Screened Pools) | |
| -2" x 4" cedar boards with 1/4" gaps |  | -2" x 4" cedar boards with 1/4" gaps |  |
| -Deck joists steel as indicated |  | -Deck joists steel as indicated |  |
| -2" layer of granular fill on grade |  | -2" layer of granular fill on grade |  |
| F5 (Exterior Porches/Terraces/Screened Pools) | | F6 (Exterior Porches/Terraces/Screened Pools) | |
| -Flagstone & Mortarbed |  | -Flagstone & Mortarbed |  |
| -8" 3/2 rps concrete slab 5'-8X |  | -8" 3/2 rps concrete slab 5'-8X |  |
| -4" x 8" x 1/2 inch mesh |  | -4" x 8" x 1/2 inch mesh |  |
| -8" granular fill "A" |  | -8" granular fill "A" |  |
| -Unfinished soil or compacted material |  | -Unfinished soil or compacted material |  |



**Strickland
Mateljan**
Design + Architecture

79 Wilson Street, Suite 301
Oakville ON L6K 3G4
Tel: 905.842.2848

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code as follows:

QUALIFICATION INFORMATION

I signed online design award under 2.17.3.1 of the building code.

Name	Margaret	Date	2018-06-29
Signature		Print Name	Margaret

REGISTRATION INFORMATION

I signed online design award under 2.17.4.1 of the building code.

Owner/Registration Group / Company Ltd	Parkview	Project No.	18000000
PROFESSIONAL		DATE	2018-06-29

**GAMSIZ
RESIDENCE**
1125 Willow Lane
Mississauga, ON

Crawlspace Plan

Design By: R.M.	Drawn By: A.Z.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: Apr 2014	Project No.: 12.51
Revision No.		

A2.1

Legend:

- SA SMOKE ALARM
- CMA CARBON MONOXIDE ALARM

Notes:

- NOTE: INSTALL SMOKE ALARMS AS PER D.B.C. 9.10.19 & 9.36.2.4 (1)
- NOTE: INSTALL CO ALARMS AS PER D.B.C. 9.33.4

Rooms and Dimensions:

- WOOD DECK
- KITCHEN (111)
- PANTRY (110)
- DINING (108)
- BATHROOM (107)
- QUEST ROOM (106)
- LIVING ROOM (105)
- HALLWAY (104)
- W.C. (103)
- MECHANICAL (103)
- LAUNDRY (102)
- COVERED PORCH
- NEW STONE STEPS

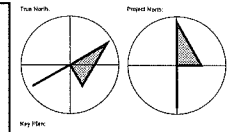
Dimensions:

- Overall dimensions: 50'-0" x 35'-0"
- Room dimensions: 19'-0" x 14'-1", 17'-2", 12'-10", 11'-10", 10'-10", 10'-0", 9'-0", 8'-0", 7'-0", 6'-0", 5'-0", 4'-0", 3'-0", 2'-0", 1'-0", 1'-6", 1'-10", 1'-11", 1'-12", 1'-13", 1'-14", 1'-15", 1'-16", 1'-17", 1'-18", 1'-19", 1'-20", 1'-21", 1'-22", 1'-23", 1'-24", 1'-25", 1'-26", 1'-27", 1'-28", 1'-29", 1'-30", 1'-31", 1'-32", 1'-33", 1'-34", 1'-35", 1'-36", 1'-37", 1'-38", 1'-39", 1'-40", 1'-41", 1'-42", 1'-43", 1'-44", 1'-45", 1'-46", 1'-47", 1'-48", 1'-49", 1'-50", 1'-51", 1'-52", 1'-53", 1'-54", 1'-55", 1'-56", 1'-57", 1'-58", 1'-59", 1'-60", 1'-61", 1'-62", 1'-63", 1'-64", 1'-65", 1'-66", 1'-67", 1'-68", 1'-69", 1'-70", 1'-71", 1'-72", 1'-73", 1'-74", 1'-75", 1'-76", 1'-77", 1'-78", 1'-79", 1'-80", 1'-81", 1'-82", 1'-83", 1'-84", 1'-85", 1'-86", 1'-87", 1'-88", 1'-89", 1'-90", 1'-91", 1'-92", 1'-93", 1'-94", 1'-95", 1'-96", 1'-97", 1'-98", 1'-99", 1'-100", 1'-101", 1'-102", 1'-103", 1'-104", 1'-105", 1'-106", 1'-107", 1'-108", 1'-109", 1'-110", 1'-111", 1'-112", 1'-113", 1'-114", 1'-115", 1'-116", 1'-117", 1'-118", 1'-119", 1'-120", 1'-121", 1'-122", 1'-123", 1'-124", 1'-125", 1'-126", 1'-127", 1'-128", 1'-129", 1'-130", 1'-131", 1'-132", 1'-133", 1'-134", 1'-135", 1'-136", 1'-137", 1'-138", 1'-139", 1'-140", 1'-141", 1'-142", 1'-143", 1'-144", 1'-145", 1'-146", 1'-147", 1'-148", 1'-149", 1'-150", 1'-151", 1'-152", 1'-153", 1'-154", 1'-155", 1'-156", 1'-157", 1'-158", 1'-159", 1'-160", 1'-161", 1'-162", 1'-163", 1'-164", 1'-165", 1'-166", 1'-167", 1'-168", 1'-169", 1'-170", 1'-171", 1'-172", 1'-173", 1'-174", 1'-175", 1'-176", 1'-177", 1'-178", 1'-179", 1'-180", 1'-181", 1'-182", 1'-183", 1'-184", 1'-185", 1'-186", 1'-187", 1'-188", 1'-189", 1'-190", 1'-191", 1'-192", 1'-193", 1'-194", 1'-195", 1'-196", 1'-197", 1'-198", 1'-199", 1'-200", 1'-201", 1'-202", 1'-203", 1'-204", 1'-205", 1'-206", 1'-207", 1'-208", 1'-209", 1'-210", 1'-211", 1'-212", 1'-213", 1'-214", 1'-215", 1'-216", 1'-217", 1'-218", 1'-219", 1'-220", 1'-221", 1'-222", 1'-223", 1'-224", 1'-225", 1'-226", 1'-227", 1'-228", 1'-229", 1'-230", 1'-231", 1'-232", 1'-233", 1'-234", 1'-235", 1'-236", 1'-237", 1'-238", 1'-239", 1'-240", 1'-241", 1'-242", 1'-243", 1'-244", 1'-245", 1'-246", 1'-247", 1'-248", 1'-249", 1'-250", 1'-251", 1'-252", 1'-253", 1'-254", 1'-255", 1'-256", 1'-257", 1'-258", 1'-259", 1'-260", 1'-261", 1'-262", 1'-263", 1'-264", 1'-265", 1'-266", 1'-267", 1'-268", 1'-269", 1'-270", 1'-271", 1'-272", 1'-273", 1'-274", 1'-275", 1'-276", 1'-277", 1'-278", 1'-279", 1'-280", 1'-281", 1'-282", 1'-283", 1'-284", 1'-285", 1'-286", 1'-287", 1'-288", 1'-289", 1'-290", 1'-291", 1'-292", 1'-293", 1'-294", 1'-295", 1'-296", 1'-297", 1'-298", 1'-299", 1'-300", 1'-301", 1'-302", 1'-303", 1'-304", 1'-305", 1'-306", 1'-307", 1'-308", 1'-309", 1'-310", 1'-311", 1'-312", 1'-313", 1'-314", 1'-315", 1'-316", 1'-317", 1'-318", 1'-319", 1'-320", 1'-321", 1'-322", 1'-323", 1'-324", 1'-325", 1'-326", 1'-327", 1'-328", 1'-329", 1'-330", 1'-331", 1'-332", 1'-333", 1'-334", 1'-335", 1'-336", 1'-337", 1'-338", 1'-339", 1'-340", 1'-341", 1'-342", 1'-343", 1'-344", 1'-345", 1'-346", 1'-347", 1'-348", 1'-349", 1'-350", 1'-351", 1'-352", 1'-353", 1'-354", 1'-355", 1'-356", 1'-357", 1'-358", 1'-359", 1'-360", 1'-361", 1'-362", 1'-363", 1'-364", 1'-365", 1'-366", 1'-367", 1'-368", 1'-369", 1'-370", 1'-371", 1'-372", 1'-373", 1'-374", 1'-375", 1'-376", 1'-377", 1'-378", 1'-379", 1'-380", 1'-381", 1'-382", 1'-383", 1'-384", 1'-385", 1'-386", 1'-387", 1'-388", 1'-389", 1'-390", 1'-391", 1'-392", 1'-393", 1'-394", 1'-395", 1'-396", 1'-397", 1'-398", 1'-399", 1'-400", 1'-401", 1'-402", 1'-403", 1'-404", 1'-405", 1'-406", 1'-407", 1'-408", 1'-409", 1'-410", 1'-411", 1'-412", 1'-413", 1'-414", 1'-415", 1'-416", 1'-417", 1'-418", 1'-419", 1'-420", 1'-421", 1'-422", 1'-423", 1'-424", 1'-425", 1'-426", 1'-427", 1'-428", 1'-429", 1'-430", 1'-431", 1'-432", 1'-433", 1'-434", 1'-435", 1'-436", 1'-437", 1'-438", 1'-439", 1'-440", 1'-441", 1'-442", 1'-443", 1'-444", 1'-445", 1'-446", 1'-447", 1'-448", 1'-449", 1'-450", 1'-451", 1'-452", 1'-453", 1'-454", 1'-455", 1'-456", 1'-457", 1'-458", 1'-459", 1'-460", 1'-461", 1'-462", 1'-463", 1'-464", 1'-465", 1'-466", 1'-467", 1'-468", 1'-469", 1'-470", 1'-471", 1'-472", 1'-473", 1'-474", 1'-475", 1'-476", 1'-477", 1'-478", 1'-479", 1'-480", 1'-481", 1'-482", 1'-483", 1'-484", 1'-485", 1'-486", 1'-487", 1'-488", 1'-489", 1'-490", 1'-491", 1'-492", 1'-493", 1'-494", 1'-495", 1'-496", 1'-497", 1'-498", 1'-499", 1'-500", 1'-501", 1'-502", 1'-503", 1'-504", 1'-505", 1'-506", 1'-507", 1'-508", 1'-509", 1'-510", 1'-511", 1'-512", 1'-513", 1'-514", 1'-515", 1'-516", 1'-517", 1'-518", 1'-519", 1'-520", 1'-521", 1'-522", 1'-523", 1'-524", 1'-525", 1'-526", 1'-527", 1'-528", 1'-529", 1'-530", 1'-531", 1'-532", 1'-533", 1'-534", 1'-535", 1'-536",

W1 (Drainage – Foundation Walls) – Drainage course – Minimum compaction – 3" spacing – Minimum foundation wall as indicated – 1/2" drainage course grade as per elevations – 15 lb. 1/2" bedding sand – 2" x 4" @ 16" o.c. framing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
W2 (Exterior Walls) – Board and Batten – 1/2"x6 horizontal siding – 1/2" plywood sheathing – 2" x 4" @ 16" o.c. framing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
W3 (Acid Wall) – 18" gravel – 3" epoxy – 2" x 4" @ 16" o.c. framing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
W4 (Exterior Walls) – 18" gravel – 3" epoxy – 2" x 4" @ 16" o.c. framing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
W5 (Boundered Walls) – 18" gravel – 2" x 4" @ 16" o.c. framing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	

NOTE:
 Refer to HVAC drawings and specifications for other requirements related to in floor heating system

F1 (Dress Floor Floor) – 2" concrete slab – 1/2" mill – 3" granular fill "A" – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
F2 (First & Second Floor) – 1/2" floor finish – 3/4" I&G spans plywood subfloor – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
F3 (Exterior Decking) – 2" x 4" cedar boards with 1/2" spacing – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	
F4 (Exterior Porches/Terraces/Screened Porch) – 1/2" granite & Mortar – 1/2" mill – 3" granular fill – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel – 1/2" rigid insulation – 6 mil. poly V.B./V.R. barrier – 18" gravel	



4	Apr 27, 2015	Windows Changed Per Meeting Request	AS
5	Apr 13, 2015	Profile Posing	RSL
7	Apr 2, 2015	Site Plan Reevaluation	AS
8	Mar 6, 2015	Structure Added	AS
9	Dec 1, 2014	Site Plan Reevaluation	RSL
4	June 5, 2014	General Revisions	RSL
3	Jan 10, 2014	Site Plan Reevaluation	AS
2	July 29, 2013	Site Plan Application	RSL
1	July 2, 2013	Meeting Application	RSL
No.	Date	Issued/Revision	By

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Consultant:	Consultant:

AestArchitect	
The undersigned has reviewed and takes responsibility for this design, and meets the qualifications and meets the requirements set forth in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under 2.17.3.4.1 of the building code	
Work History:	<i>[Signature]</i> PP-688
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
Individual/Company Design Certificate No.	<i>[Signature]</i> 00000
Title/Status	DESIGNER

Project:

**GAMSIZ
RESIDENCE**

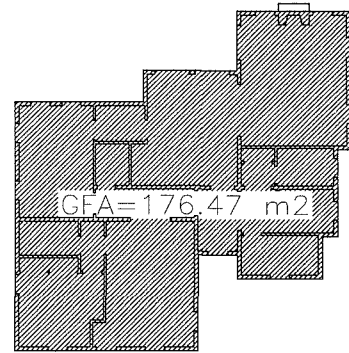
1125 Willow Lane
Mississauga, ON

Sheet Title:

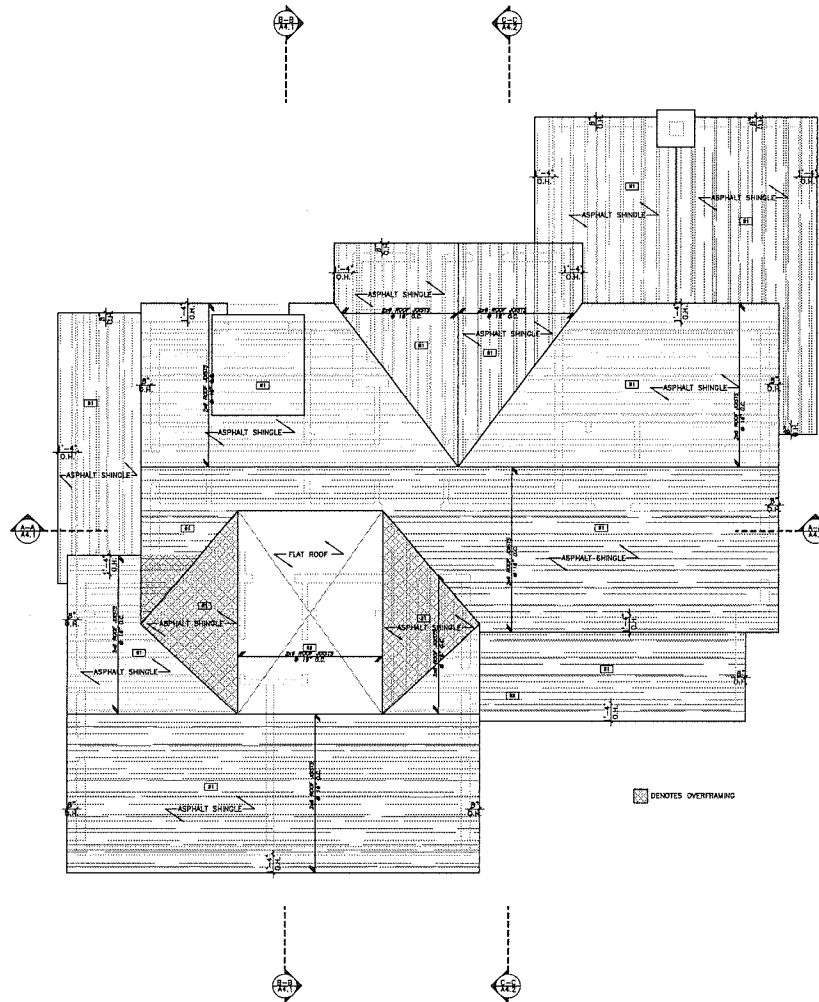
First Floor Plan

Design By: R.M.	Drawn By: A.Z.	Approved By: R.M.
Scale: 1/4" = 1'-0"	Date: Apr 2014	Project No: 12.51
Drawing No		

A2.2

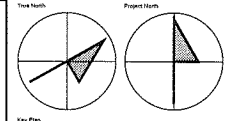


11-5



NOTE:
Provide 150 S.F. of ventilation area for every 300 S.F.T. of ceiling area, on per O.B.C.
Provide ice and water shield in valleys and entire roof slope below 4/12.

R1 (Main Roof) -Asphalt shingles -15 lb. building paper -1/2" & waterproof roof slope 4/12 or less -Eave protection in accord with O.B.C. -8" plywood sheathing -Roofing/ceiling joints size as indicated -Ventilated attic space as per O.B.C. -R30 batt insulation -R31 batt insulation for sloped ceilings with 2 1/2" min. air space above -6 mil. poly V.B./Air barrier -8" drywall	
R2 (Porch Roof) -Asphalt shingles -15 lb. building paper -8" plywood sheathing -Roofing/ceiling joints size as indicated -Ventilated attic space as per O.B.C. -Ceiling joints size as indicated -1 1/2" x 4" tongue and groove boards -8" drywall	
R3 (Flat Roof) -Single ply mineral impregnated membrane plywood sheathing -Roofing/ceiling joints size as indicated -Ventilated space as per O.B.C. -R31 (min.) batt insulation -8 mil. poly V.B./Air barrier -8" drywall	



No.	Date	Issued/Revision	By
1	Apr 15, 2015	Initial Pricing	RM
2	Apr 2, 2015	Site Plan Revision	AB
3	Mar 5, 2015	Structure Added	AB
4	Dec 1, 2014	Site Plan Revision	RM
5	June 6, 2014	General Revision	RM
6	Jan 10, 2014	Site Plan Revision	RM
7	July 28, 2013	Site Plan Application	RM
8	July 2, 2013	Initial Application	RM

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Comments	Comments

Architect/BCA

The undersigned has prepared and taken responsibility for this design, and the qualifications and experience of the architect and architect-in-charge are as follows:

QUALIFICATION INFORMATION

Project: GAMSIZ RESIDENCE

Architect: Strickland Mateljan Design Associates Ltd.

Architect-in-Charge: [Signature]

Project: GAMSIZ RESIDENCE

Architect: Strickland Mateljan Design Associates Ltd.

Architect-in-Charge: [Signature]

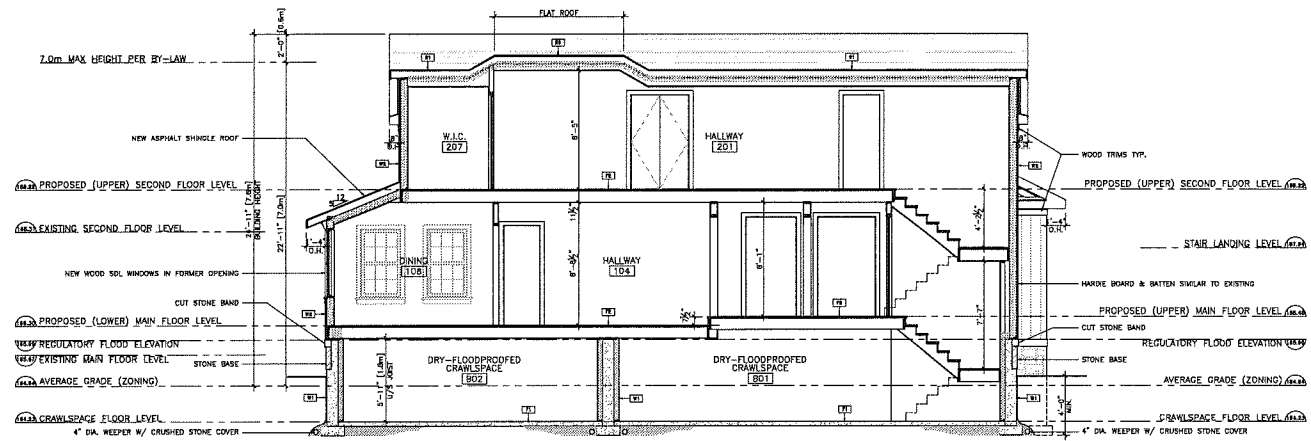
GAMSIZ RESIDENCE
1125 Willow Lane
Mississauga, ON

Roof Plan

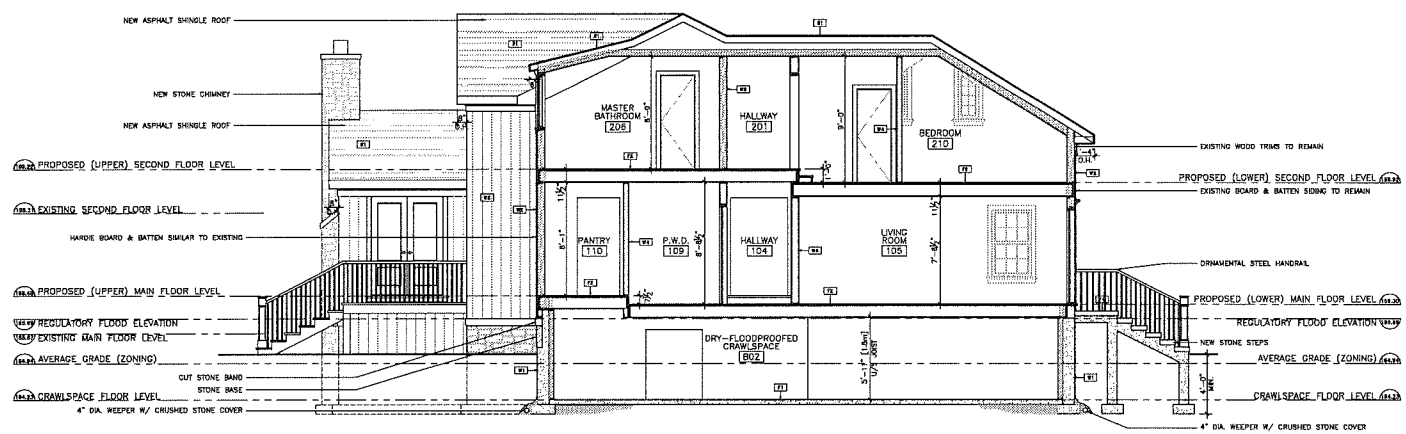
Design By	Drawn By	Approved By
R.M.	A.Z.	R.M.
Scale	Date	Project No.
1/4"=1'-0"	Apr 2014	12.51

Drawing No: **A2.4**

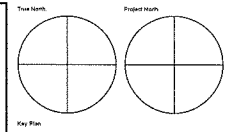
8-11



SECTION A-A
A4.1



SECTION B-B
A4.1



No.	Date	Revised/Version	By
8	Apr 13, 2015	Permitting	RM
7	Apr 2, 2015	Site Plan Reevaluation	AB
6	Mar 5, 2015	Structure Added	AB
5	Dec 1, 2014	Site Plan Reevaluation	RM
4	June 9, 2014	General Revision	RM
3	June 10, 2014	Site Plan Reevaluation	RM
2	July 26, 2013	Site Plan Application	RM
1	July 2, 2013	Heritage Application	RM

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Consultant	Contractor
Strickland Mateljan	

QUALIFICATION OF DESIGN
The undersigned hereby certifies that he/she is a duly qualified professional engineer and is duly licensed to practice in the Province of Ontario.
Professional Engineer Design is a registered design under the Engineering Act, R.S.O. 1990, c. 19.
Professional Engineer Design is a registered design under the Engineering Act, R.S.O. 1990, c. 19.
Professional Engineer Design is a registered design under the Engineering Act, R.S.O. 1990, c. 19.

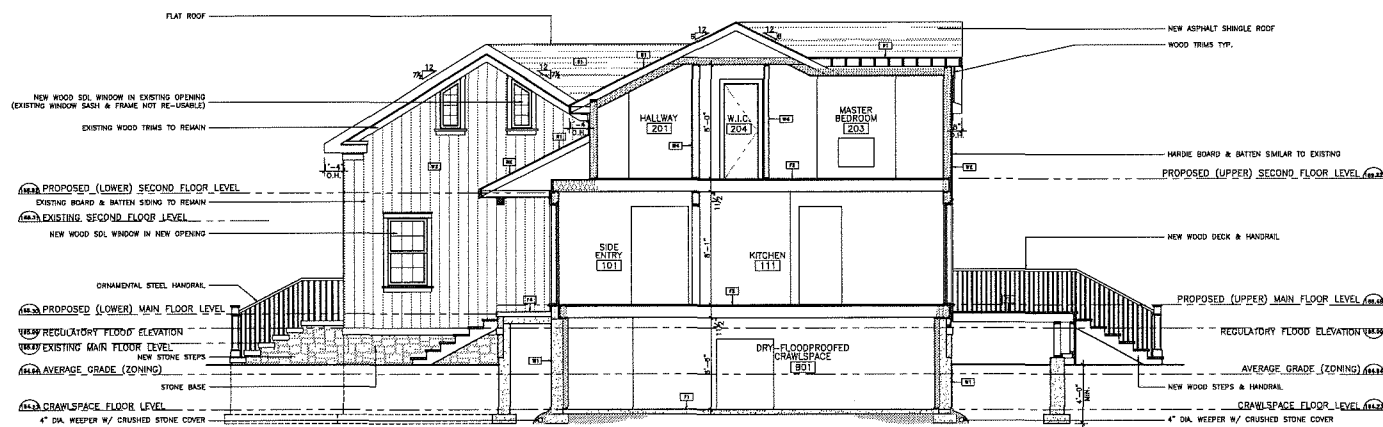
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Mississauga, ON

Section A-A & B-B

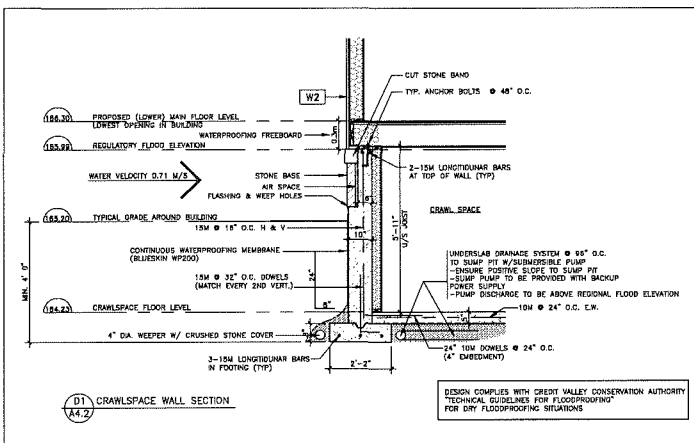
Design By:	Drawn By:	Approved By:
R.M.	A.Z.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	Apr 2014	12.51

A4.1

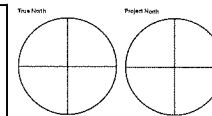
11-9



C-C SECTION C-C
A4.2



DESIGN COMPLIES WITH GREY VALLEY CONSERVATION AUTHORITY
TECHNICAL GUIDELINES FOR FLOODPROOFING
FOR DRY FLOODPROOFING SITUATIONS



Key Plan

No.	Date	Issued/Revision	By
1	Apr 13, 2015	Plan/Filing	RM
2	Apr 2, 2015	Site Plan Re-submission	AG
3	Mar 5, 2015	Structural Added	AS
4	Jun 9, 2014	General Revision	RM
5	Dec 1, 2014	Site Plan Re-submission	RM
6	Jun 10, 2014	Site Plan Re-submission	RM
7	Jul 28, 2013	Site Plan Application	RM
8	Jul 2, 2013	Heritage Application	RM

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changes. Submit shop drawings for approval.

Consultant	Consultant

APPROVED

Project	Project
GAMSIZ RESIDENCE 1125 Willow Lane Mississauga, ON	

Section C-C

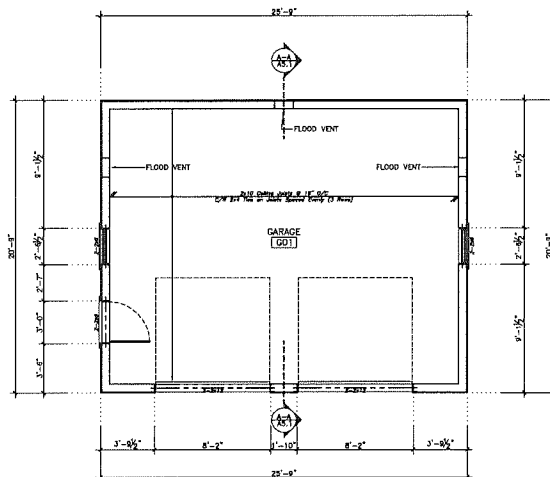
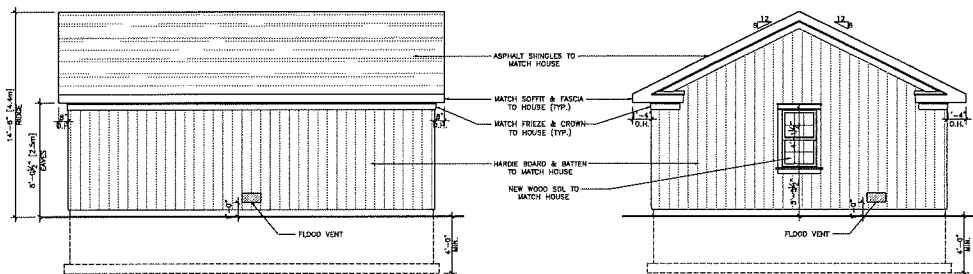
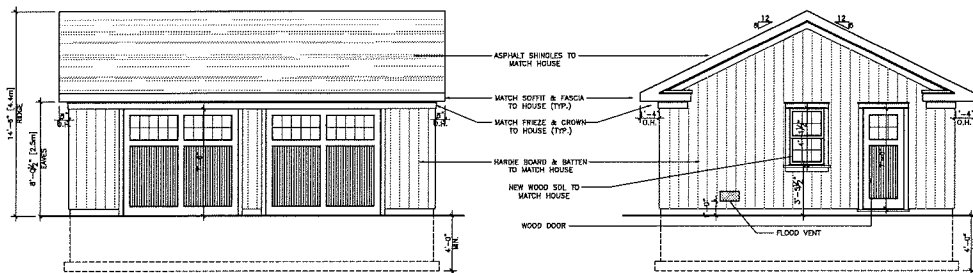
Design By	Drawn By	Approved By
R.M.	A.Z.	R.M.

Scale	Date	Project No.
1/4"=1'-0"	Apr 2014	12.51

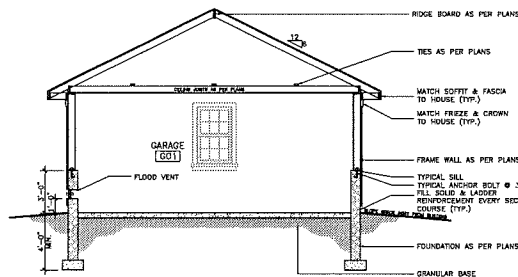
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A4.2

11-10



1 MAIN FLOOR PLAN
AS.1



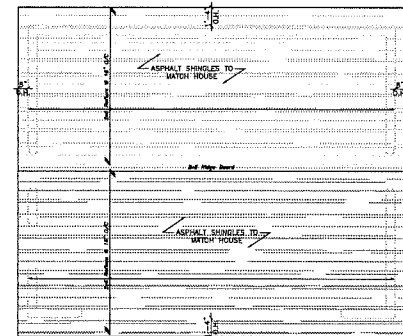
A-A SECTION A-A
AS.1

DESIGNED TO CONFORM
WITH CVC'S WET FLOOD
PROOFING CRITERIA

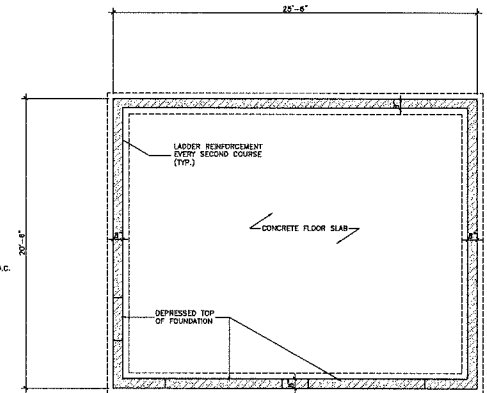
G01 (Foundation Wall)	
-8" Concrete Foundation Wall -Rebar solid -Rebar spacing as per plans -8" x 8" x 5/8" wire mesh -2-10# Bars	
G02 (Exterior Wall)	
-Wood siding -1/2" sheathing -1/2" plywood sheathing -2" x 6" @ 16" o.c. framing -1/2" drywall	

G03 (Garage Floor)	
-4" concrete slab (28Mpa Slab with 5-0# @ 12" on center) -Soil sub as indicated -8" x 8" x 5/8" wire mesh -2-10# Bars	

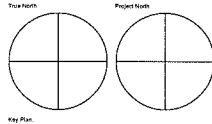
G04 (Garage Roof)	
-Asphalt shingles -15 lb. building paper -1x6 & 2x6 rafter roof slopes -6/12 or less -Lower protection in second with 0.85 -1/2" plywood sheathing -Rafters/ceiling joists size as indicated	



2 ROOF PLAN
AS.1



3 FOUNDATION PLAN
AS.1



6	Apr 13, 2015	Plan Pricing	AS
7	Apr 2, 2015	Site Plan Resubmission	AS
8	Mar 6, 2015	Structure Added	AS
9	Dec 1, 2014	Site Plan Resubmission	AS
4	Jun 6, 2014	General Revision	AS
3	Jan 10, 2014	Site Plan Resubmission	AS
2	July 28, 2013	Site Plan Application	AS
1	July 2, 2013	Heritage Application	AS

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Consultant:	Consultant:
Architect:	Architect:

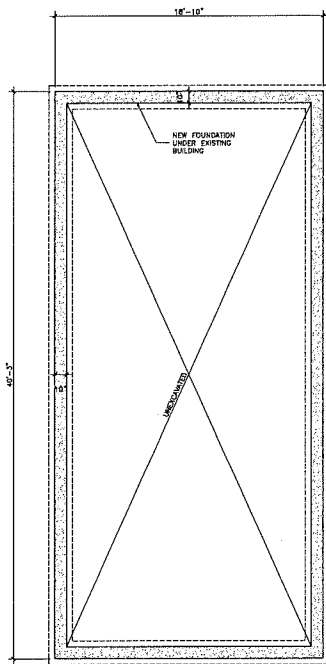
The undersigned has reviewed and approved this drawing for this design, and this drawing is to be used for the construction of the project and shall be used for the construction of the project.	
DESIGNER	DATE
REVISIONS	DATE
REVISIONS	DATE

GAMSIZ RESIDENCE
1125 Willow Lane
Mississauga, ON

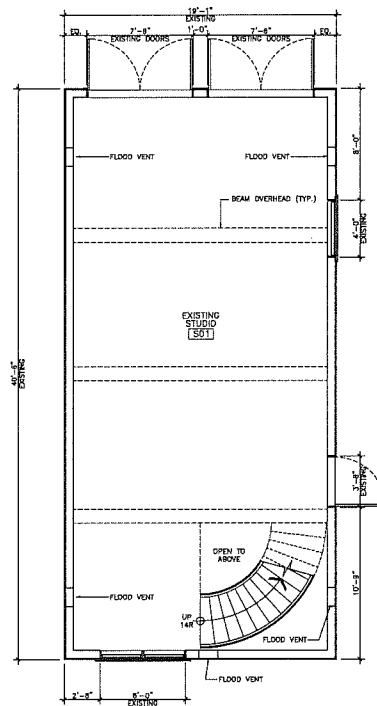
Garage Plans, Elevations & Section

Design By	Drawn By	Approved By
R.M.	A.Z.	R.M.
Scale	Date	Project No.
1/4"=1'-0"	Apr 2014	12.51

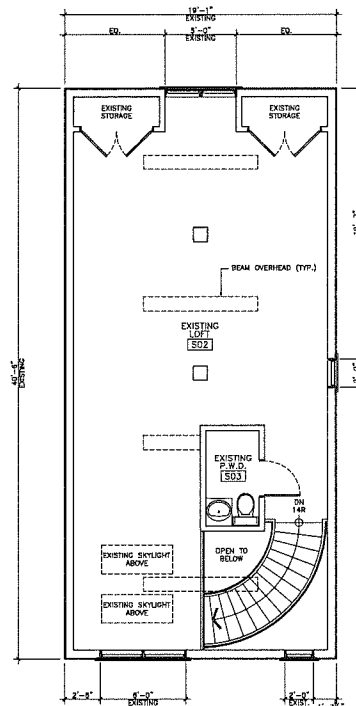
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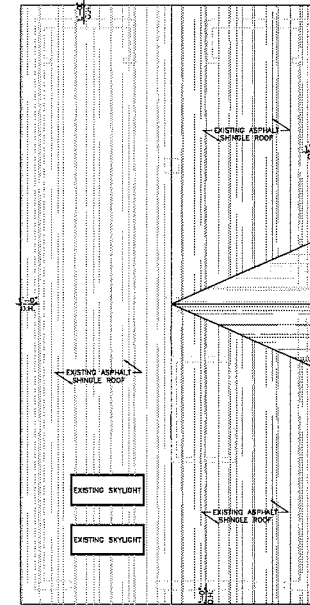
1 FOUNDATION PLAN
A6.1



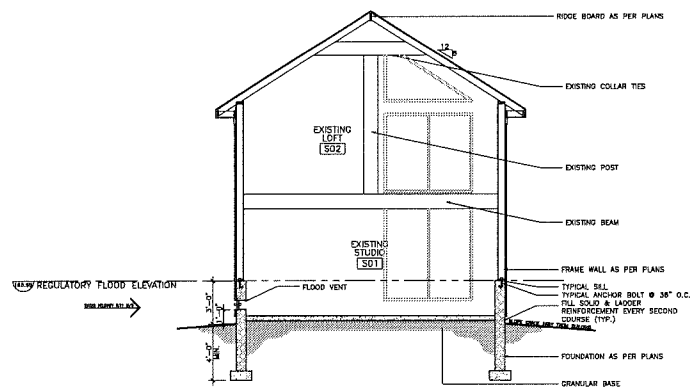
2 EXISTING FIRST FLOOR LEVEL
A6.1



3 EXISTING SECOND FLOOR LEVEL
A6.1

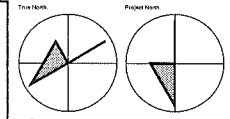


4 EXISTING ROOF PLAN
A6.1



5 SECTION A-A
A6.1

DESIGNED TO CONFORM
WITH CVC'S WET FLOOD
PROOFING CRITERIA



No.	Date	Revised/Revision	By
1	Apr 13, 2015	Public Pricing	RM
2	Apr 2, 2015	Site Plan Reevaluation	AD
3	Mar 5, 2015	Structure Added	AD
4	Dec 1, 2014	Site Plan Reevaluation	RM
5	June 9, 2014	General Foundation	RM
6	Jan 15, 2014	Site Plan Reevaluation	RM
7	July 26, 2013	Site Plan Application	RM
8	July 2, 2013	Heritage Application	RM

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Consultant	Consultant

Project	Project

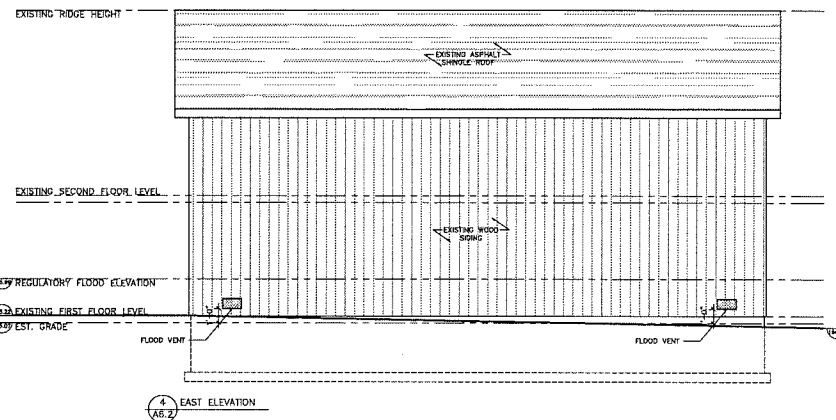
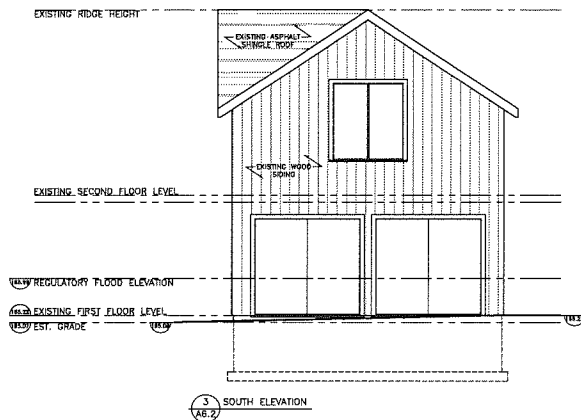
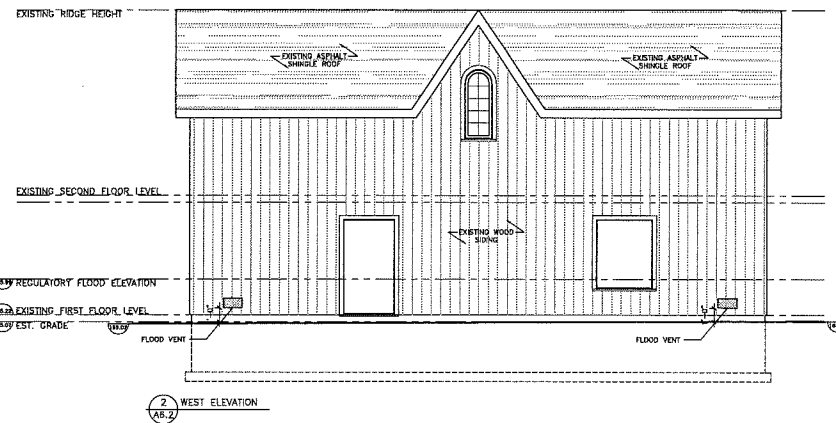
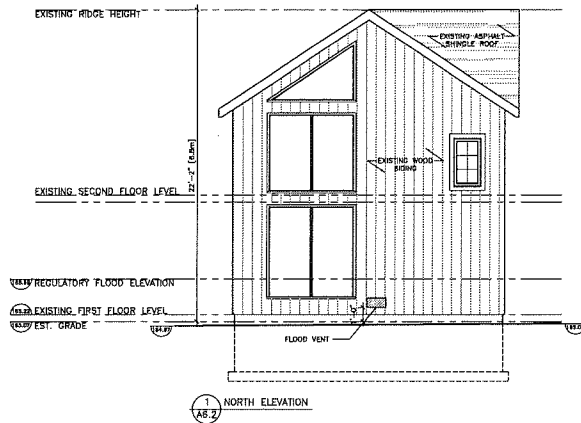
GAMSIZ RESIDENCE
1125 Willow Lane
Mississauga, ON

Existing Barn Plans
Existing Barn Section

Design By	Drawn By	Approved By
R.M.	A.Z.	R.M.
Scale	Date	Project No.
1/4"=1'-0"	Apr 2014	12.51

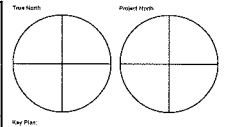
Drawing No. **A6.1**

11-12



DESIGNED TO CONFORM
WITH CVC'S WET FLOOD
PROOFING CRITERIA

DESIGN FOLLOWS THE
RECOMMENDATIONS OF
THE LETTER PROVIDED
BY VIKTOR GINIC P.ENG.
DATED MARCH 27, 2015



No.	Date	Revised/Revision	By
1	July 2, 2013	Initial Application	RM
2	July 29, 2013	Site Plan Application	RM
3	June 9, 2014	General Re-evaluation	RM
4	Jan 10, 2014	Site Plan Re-evaluation	RM
5	Dec 1, 2014	Site Plan Re-evaluation	RM
6	Mar 5, 2015	Structure Added	AD
7	Apr 2, 2015	Site Plan Re-evaluation	AD
8	Apr 13, 2015	Final Paving	RM

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Consultant	Consultant

<p>QUALIFICATION INFORMATION</p> <p>Required unless design is prepared under 2.1.1.1 of the building code.</p> <p>REGISTRATION OF PROFESSIONAL ENGINEER</p> <p>Professional design is prepared under 2.1.1.1 of the building code.</p> <p>Professional Design Associates Ltd.</p>	
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**GAMSIZ
RESIDENCE**
1125 Willow Lane
Mississauga, ON

Existing Barn Elevations

Design By	Drawn By	Approved By
R.M.	A.Z.	R.M.
Date	Project No.	Scale
Apr 2014	12.51	1/4"=1'-0"

Drawing No.

A6.2