

AGENDA



HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, MARCH 10, 2015 – 9:30 A.M.

***PLEASE ARRIVE 15 MINUTES EARLY WITH THE RECORD OF OFFENCES
DECLARATION AND ACKNOWLEDGMENT & PERMISSION TO SHARE
PERSONAL INFORMATION FORMS SENT TO CITIZEN MEMBERS. THE
COMMISSIONER OF OATHS WILL BE PRESENT TO SIGN.***

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

Members

Councillor George Carlson, Ward 11
Councillor Carolyn Parrish, Ward 5
Michael Battaglia, Citizen Member
Elizabeth Bjarnason, Citizen Member
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Lindsay Graves, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Cameron McCuaig, Citizen Member
Paul McGuigan, Citizen Member
Matthew N. Wilkinson, Citizen Member

CONTACT PERSON: Mumtaz Alikhan, Legislative Coordinator, Office of the City Clerk

Telephone Number: 905-615-3200, ext. 5425; Fax Number: 905-615-4181

Email Address: mumtaz.alikhan@mississauga.ca

NOTE: Heritage Impact Assessments related to properties in this Agenda can be viewed in person by appointment in Heritage Office, Culture Division, 201 City Centre Drive, 2nd Floor – 905-615-3200 ext. 4064

CALL TO ORDER

Appointment of Chair

Appointment of Vice-Chair

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

DEPUTATIONS - Nil.

MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting held on February 10, 2015
2. Proposed Heritage Designation and Alteration, Scruton House, 307 Queen Street South (Ward 11)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

1. That the Scruton House, 307 Queen Street South, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value.
2. That, should the property be protected with notice of intent to designate, the proposed addition be approved subject to the following conditions:
 - a) That any and all original wood windows be restored where possible before resorting to replication; and
 - b) That the north façade of the garage portion of the addition be recessed slightly to the south, to make it legible from the nineteenth century structure and to camouflage the mass of the addition; and
 - c) That more fenestration be added to the north side of the addition to camouflage its mass; and
 - d) That a landscape plan be included with particular emphasis on retaining and adding trees and other vegetation on the north side to, again, camouflage the mass of the addition.

3. Request to Demolish Heritage Listed Properties, 5175 and 5215 Mississauga Road, (Ward 11)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

That the properties located at 5175 and 5215 Mississauga Road, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

4. Request to Demolish a Heritage Listed Property, 169 Donnelly Drive (Ward 1)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

That the property at 169 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

5. Request to Demolish a Heritage Listed Property, 1312 Stavebank Road (Ward 1)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

1. That the property at 1312 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.
2. That an interpretive plaque, recognizing the residency of artist Thomas Keith Roberts at the subject property, be installed at the public right-of-way at the owner's expense, with approval and text/image design by the City.

6. Request to Alter a Heritage Designated Property, Parker "Chappell" Estate, 4300 Riverwood Park Lane (Ward 6)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

That the request to alter the property at 4300 Riverwood Park Lane, as described in the report from the Commissioner of Community Services, dated February 17, 2015, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

7. Request to Demolish a Heritage Listed Property, 973 Tennyson Avenue (Ward 2)

Corporate Report from the Commissioner of Community Services dated February 17, 2015:

RECOMMENDATION

That the property at 973 Tennyson Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

8. Heritage Impact Statement, 866 Tennyson Avenue

Memorandum dated February 17, 2015 from Paula Wubbenhorst, Senior Heritage Coordinator for receipt.

9. 2015 Heritage Advisory Committee Meeting Schedule10. Information Items – Nil.

DATE OF NEXT MEETING – Tuesday, April 14, 2015 at 9:30 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT



DRAFT MINUTES

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, FEBRUARY 10, 2015 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)
Councillor Carolyn Parrish (arr. 9:46am)
Robert Cutmore, Citizen Member
David Dodaro, Citizen Member
Mohammad N. Haque, Citizen Member
James Holmes, Citizen Member
Rick Mateljan, Citizen Member
Cameron McCuaig, Citizen Member
Michael Spaziani, Citizen Member

MEMBER ABSENT:

Michelle Walmsley, Citizen Member
Matthew N. Wilkinson, Citizen Member

STAFF PRESENT:

Mark Warrack, Manager, Culture and Heritage Planning, Culture Division
Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division
Mumtaz Alikhan, Legislative Coordinator

CALL TO ORDER – 9:34 a.m.

The Chair called the meeting to order.

APPROVAL OF AGENDA

Approved (R. Mateljan)

DECLARATIONS OF CONFLICT OF INTEREST

None.

DEPUTATIONS

Nil.

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting held on December 9, 2014

The Minutes of the Heritage Advisory Committee Meeting held on December 9, 2014 were approved as presented.

Approved (C. McCuaig)

2. Request to Alter a Heritage Designated Property, Bowie Medical Hall, 264 Queen Street South (Ward 11)

The Committee made the following comments:

- That Recommendation 1 clarify that high quality wood frame double-paned windows with divided lights and with wooden interior and exterior muntin bars as well as a spacer bar between the glass panes be used if it is not possible to restore the original wood windows.
- Under Recommendation 5, that a sample be requested instead of a letter of credit.

Staff agreed to the amendment to Recommendation 1 and with respect to Recommendation 5, Paula Wubbenhorst, Senior Heritage Coordinator, advised that a letter of credit is appropriate but will request a sample of the replacement bricks.

RECOMMENDATION

HAC-0001-2015

That the request to alter the Bowie Medical Hall, 264 Queen Street South, as described in the report from the Commissioner of Community Services, dated January 19, 2015, be approved, as amended, with the following conditions:

1. That every attempt be made to restore any and all original wood windows but, when this is not feasible, that high quality wood frame double-paned windows, with divided lights which have wooden interior and exterior proper scale muntin bars, be used; and

2. That the original “ten over two” window on front face of the porch be maintained and restored; and
3. That the band of upright bricks that caps the ground floor windows of the front façade of the 1904 photo also be replicated; and
4. That a mason with proven experience in heritage conservation and restoration, approved by the Director, Culture Division, oversee the project; and
5. That the project is subject to a letter of credit, determined by the Director, Culture Division, to ensure that any replacement bricks and masonry detail required on the nineteenth century portion of the building, either be period replicas or new brick, which replicates the dimensions of the existing brick, with compatible properties; and
6. That the property owner agree to the amendment of the heritage designation by-law, without objection, to reflect the proposed changes.

Approved (M. Spaziani)

3. Request to Demolish a Listed Property Within a Cultural Landscape, 215 Broadway Street, (Ward 11)

Concern was expressed that the Heritage Impact Statement (HIS) includes the replacement building which could impact the HIS if it is not approved. Ms. Wubbenhorst responded that the recommendation is with respect to the existing building, not the replacement building. Concern was also expressed at the mass of the replacement building and the lack of set-backs. It is a monster building not in keeping with the character of the area or the heritage context. Staff will forward these concerns in the site plan process.

Corporate Report from the Commissioner of Community Services dated January 6, 2015:

RECOMMENDATION

HAC-0002-2015

That the property located at 215 Broadway Street (Ward 11), which is listed on the City’s Heritage Register as part of the Streetsville Village Core Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner’s request to demolish the structures be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated January 6, 2015 from the Commissioner of Community Services.

Approved (Councillor C. Parrish)

4. Heritage Advisory Committee and Related Staff Milestones: 2014 Year in Review

Corporate Report from the Commissioner of Community Services dated January 7, 2015:

RECOMMENDATION

HAC-003-2015

That the Corporate Report dated January 7, 2015 from the Commissioner of Community Services entitled "Heritage Advisory Committee and Related Staff Milestones: 2014 Year in Review," be received.

Received (Councillor Parrish)

5. SUBCOMMITTEE UPDATES FROM CHAIRS

Heritage Designation Subcommittee – Nil.

Public Awareness Subcommittee – Nil.

6. INFORMATION ITEMS – Nil.

DATE OF NEXT MEETING – Tuesday, March 10, 2015 at 9:30 a.m., Council Chamber

OTHER BUSINESS

- (a) Mark Warrack, Manager, Culture and Heritage Planning, Culture Division, updated the Committee with respect to the status of the various vacancies in the Culture Division which were anticipated to be filled in the near future.
- (b) With respect to the status of the Museums and Heritage Strategic Plan (Plan), Mr. Warrack advised that the hiring of a consultant is underway and the intent is for the completion of the Plan by the end of 2015. Once the consultant is hired, a schedule will be finalized and brought to the Committee. Councillor Carlson stated that a workshop should be scheduled on a Saturday for Committee Members and staff to develop a Work Plan for the Committee's Term.
- (c) Mr. Holmes inquired about the status of the Meadowvale Village Heritage Conservation District Advisory Sub-Committee. Mr. Warrack advised that once Council has appointed members for the new term of the Heritage Advisory Committee, a meeting with the City Clerk's Office will be scheduled to draft the Sub-Committee's Terms of Reference.

ADJOURNMENT – 9:59 a.m.



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

SUBJECT: **Proposed Heritage Designation and Alteration
Scruton House
307 Queen Street South
(Ward 11)**

- RECOMMENDATION:**
1. That the Scruton House, 307 Queen Street South, be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value.
 2. That, should the property be protected with notice of intent to designate, the proposed addition be approved subject to the following conditions:
 - a) That any and all original wood windows be restored where possible before resorting to replication; and
 - b) That the north façade of the garage portion of the addition be recessed slightly to the south, to make it legible from the nineteenth century structure and to camouflage the mass of the addition; and
 - c) That more fenestration be added to the north side of the addition to camouflage its mass; and
 - d) That a landscape plan be included with particular emphasis

on retaining and adding trees and other vegetation on the north side to, again, camouflage the mass of the addition.

**REPORT
HIGHLIGHTS:**

- The subject property was listed on the City's Heritage Register circa 1989, and added to the Cultural Landscape Inventory in 2005 as part of the Mississauga Road Scenic Route Cultural Landscape
- Merits designation under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value
- Owner proposes to restore the existing building and to add a long one storey board and batten addition at the rear, which would include a two-car garage and a separate self-contained living unit
- The proposed restoration and addition should be approved subject to the conditions outlined in the recommendation section of this report

BACKGROUND:

Innovative businessman John Scruton (1828-96) presumably built the main house at the subject property upon purchasing it in 1856. (A location map and photos are attached as Appendices 1 and 2 respectively). It is a one-and-a-half storey Gothic Revival "Ontario Cottage" built in the horizontal plank method.

It includes a plank-on-plank "tail" at the rear, which, based on its construction, coincided with the preceding owner Timothy Street. (Plank-on-plank construction dates to the second quarter of the nineteenth century.) Streetsville's namesake purchased the property in 1822.

John and his son Louis (c.1854-1921) were furniture makers and undertakers. Louis went on to have a career as an embalmer. The father and son were long-time Streetsville residents and prominent local businessmen who contributed to the prosperity of the village.

The City added the property to the Heritage Register circa 1989. It was added to the Cultural Landscape Inventory in 2005 as part of the Mississauga Road Scenic Route Cultural Landscape. The property is adjacent to the Streetsville Memorial Cemetery, to the north, which is designated under the *Ontario Heritage Act*.

The current property owner is restoring the existing building and

proposes to add a long one-storey board and batten addition at the rear. The property owner has been working with staff and has shown respect for the heritage preservation of the property and its heritage attributes. Further, he is supportive of the property's designation. The addition would include a two-car garage and a separate self-contained living unit. A Heritage Impact Statement, by heritage consultant Megan Hobson, outlines the proposal and is attached as Appendix 3.

COMMENTS:

Heritage Planning staff recommend that the property be designated under the *Ontario Heritage Act*. A property merits designation under this legislation if it has physical/design, historical/associative and/or contextual value as per Ontario Regulation 9/06, attached as Appendix 4. The Scruton House property meets these criteria:

Physical/Design Value

307 Queen Street South has physical/design value as a representative example of a modest Gothic Revival style dwelling, commonly known as an "Ontario Cottage." The building displays a moderate degree of craftsmanship and artistic merit.

Historical/Associative Value

307 Queen Street South has historical/associative value because of its association with Timothy Street, the namesake of the village, who purchased all 200 acres of the original Crown Grant in 1822. The earliest section of the existing dwelling was likely constructed under his tenure. Further, the property has historical/associative value because of its association with John and Louis Scruton, long-time residents and prominent local businessmen, who contributed to the prosperity of mid-nineteenth century Streetsville. Moreover, the property yields information that contributes to an understanding of nineteenth-century settlement culture in Toronto Township. The stacked plank construction method, used to build the early nineteenth century section of the dwelling, was often found in mill towns with their abundance of old growth forest. Physically, the one-and-a-half storey Gothic Revival dwelling was constructed in a style which reflects the architectural preferences of the early English, Scottish and Irish immigrants who settled the area. Further, the later construction of the one-and-a-half storey section of the building is indicative of the increasing prosperity of the land owner. Typically, initial settlement dwellings were modest and quickly constructed. These were augmented or replaced by more spacious and often ornate 'second generation' dwellings. Such is the case on the subject property.

Contextual Value

307 Queen Street South has significant contextual value in defining, maintaining and supporting the character of the area. This is due to its residential character and proximity to remnants of Streetsville's early history, including both the village's historic thoroughfare and nineteenth-century St. Andrew's Presbyterian Church and Scotch Burying Ground. Similarly, the structure remains physically, functionally and historically linked to its surroundings.

The proposed designation statement is attached as Appendix 5. Should Council adopt a motion to designate the property under the *Ontario Heritage Act*, a heritage permit would be required for the alteration. The proposal is generally sympathetic to the property's heritage attributes, as currently laid out. To comply, staff recommend that every effort be made to restoring the windows before resorting to replication.

Section 7.4.1.11 of the Mississauga Official Plan states that "Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the *Ontario Heritage Tool Kit*, the Ontario Ministry of Culture and the *Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada.

The Standards and Guidelines do **not** recommend: "Duplicating the exact form, material, style and detailing of the historic resource in a new addition so that the new work appears to be part of the historic place." The property owner has begun sheathing the plank-on-plank "tail" in board and batten. To make the board and batten addition legible from the nineteenth century structure, and to break up the mass of the long wall that would be the north façade, it is recommended that the garage portion be set back slightly to the south.

Further, vegetation and fenestration should be employed along the north side to camouflage and break up the mass of the north face. Additional windows must be orderly arranged. As per the *Streetsville Design Guidelines*, "the side and rear elevation should be designed in a manner equal to the front elevation in detail, trim, the orderly arrangement of windows and roof forms" where construction occurs that is exposed to open space areas.

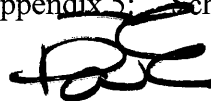
Overall, the proposed interventions to the existing dwelling are minimal. Additionally, the simplicity and height of the addition show appropriate deference to the heritage resource, as per the *Standards and Guidelines*. As such, the proposal should be approved, subject to the conditions outlined at the outset of this report.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The Scruton House should be designated under the *Ontario Heritage Act* for its physical/design, historical/associative and contextual value. Additionally, the proposed restoration and addition should be approved subject to the conditions outlined in the recommendation section of this report.

ATTACHMENTS:

- Appendix 1: Location Map
- Appendix 2: Photos
- Appendix 3: Heritage Impact Statement and Appendix B2:
Addition Photos by Megan Hobson, M.A., Dipl.
Heritage Conservation
- Appendix 4: Ontario Regulation 9/06, Ontario Heritage Act
- Appendix 5: Schedule B – Proposed Designation Statement



Paul A. Mitcham, P. Eng., MBA
Commissioner of Community Services

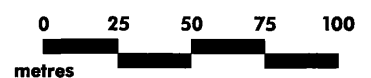
Prepared By: Elaine Eigl, Heritage Coordinator



307 Queen Street South



MISSISSAUGA



307 Queen Street South

Appendix 2

3 February 2015 - (unless otherwise noted)

Queen Street South, looking south toward 307 Queen Street South



307 Queen Street South

Appendix 2

3 February 2015 - (unless otherwise noted)

307 Queen Street South, south-west façades



Facing north-east, at the intersection of Church Street and Queen Street South



307 Queen Street South

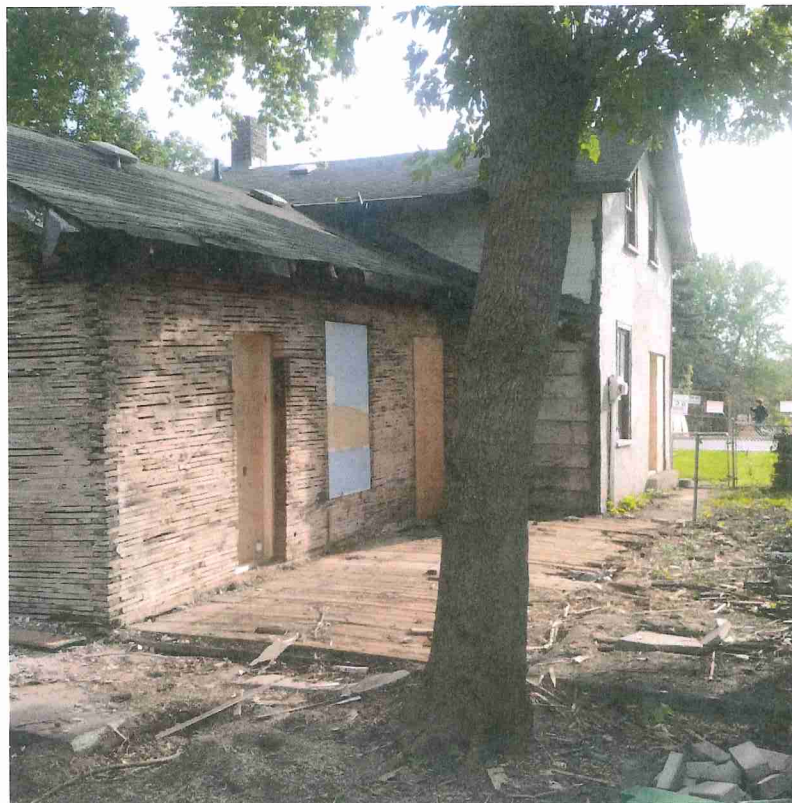
Appendix 2

3 February 2015 - (unless otherwise noted)

Left to right: Facing north-east, St. Andrew's Presbyterian Church; 307, 309 & part of 311 Queen Street South



Detail showing two different methods of construction, plank-on-plank, and horizontal plank.
September 2014





Français**Ontario Heritage Act****ONTARIO REGULATION 9/06****CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST**

Consolidation Period: From January 25, 2006 to the e-Laws currency date.

No amendments.

This is the English version of a bilingual regulation.

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s. 1 (1).

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or

iii. is a landmark. O. Reg. 9/06, s. 1 (2).

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.
O. Reg. 9/06, s. 2.

Français

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Designation Statement – 307 Queen Street South**Description of Property**

The property located at 307 Queen Street South in the historic village of Streetsville, known as the Scruton House, is the site of a dwelling comprised of two distinct parts. The one-storey section, thought to be the earliest part of the house, was built in a style of construction which differs from that of the one-and-a-half-storey section. The one-storey section, at the rear of the structure, is believed to have been built sometime in the second quarter of the nineteenth century. It was built in the stacked plank method. The one-and-a-half-storey portion of the dwelling, which fronts onto Queen Street South, was built in the horizontal plank method. It is believed to have been constructed later, possibly around the time Scruton purchased the property. Architecturally, the structure is a Gothic Revival style dwelling which is often identified as an "Ontario Cottage". It is situated on the east side of Queen Street South, adjacent to the former 'Scotch Burying Ground', now Streetsville Memorial Cemetery. Today, the property lies just south of the main commercial core of the village, in an area which is a mix of residential and commercial properties.

Statement of Cultural Heritage Value or Interest

307 Queen Street South has physical/design value as a representative example of a modest vernacular Gothic Revival style dwelling. The building displays a moderate degree of craftsmanship and artistic merit.

307 Queen Street South has historical/associative value because of its association with Timothy Street, the namesake of the village, who purchased all 200 acres of the original Crown Grant in 1822. The earliest section of the existing dwelling was likely constructed during his tenure. Further, the property has historical/associative value because of its association with John and Louis Scruton, long-time residents and prominent local businessmen, who contributed to the prosperity of mid-nineteenth century Streetsville. Moreover, the property yields information that contributes to an understanding of nineteenth-century settlement culture in Toronto Township. The stacked plank construction method, used to build the early nineteenth century section of the dwelling, was often found in mill towns with their abundance of old growth forest. Physically, the one-and-a-half storey Gothic Revival dwelling was constructed in a style which reflects the architectural preferences of the early English, Scottish and Irish immigrants who settled the area. Further, the later construction of the one-and-a-half storey section of the building is indicative of the increasing prosperity of the land owner. Typically, initial settlement dwellings were modest and quickly constructed. These were augmented or replaced by more spacious and often ornate 'second generation' dwellings. Such is the case on the subject property.

307 Queen Street South has significant contextual value in defining, maintaining and supporting the character of the area. This is due to its residential character and proximity to remnants of Streetsville's

early history, including both the village's historic thoroughfare and nineteenth-century St. Andrew's Presbyterian Church and Scotch Burying Ground. Similarly, the structure remains physically, functionally and historically linked to its surroundings.

Description of Heritage Attributes

Key attributes that reflect the property's physical/design value:

- The vernacular Ontario Cottage style of construction, with its Gothic Revival architectural features
- The shape, form and materials of the dwelling, which, as an integral part of Streetsville's portfolio of heritage buildings, represents a period landscape of a small early Ontario village

The two-storey section's:

- Symmetrical, modestly unadorned, 3-bay west façade, fronting onto Queen Street South, including its material, shape, form
- Setback from Queen Street South
- Roughcast stucco exterior finish over wood lath
- Underlying horizontal wide-plank walls
- West façade's projecting frontispiece, or porch, which houses the main entry way, topped by a gable roof
- Decorative brackets, including their material, shape, form and location
- Wood pilasters bracketing the front door, their material, shape, form and location
- Decorative wood bargeboard
- Gable roof, including its shape and form
- Tall symmetrical brick chimneys including their material, shape, form and location
- Early doorbell hardware, including their material, shape, form and location
- Wood front door with its arched four-over-four window, with its wood muntin bars, and its early hardware, including its material, shape, form and location
- Entry way's fixed casement wood windows (north and south façades), and their four-pane, wood muntin bar configuration, including their material, shape, form and location
- Second floor arched gothic window aperture, topped by a louvered wood shutter, including its material, shape, form and location
- Second floor three-by-three, hinged 'casement' style wood window, with wood muntin bars, above the main entry way, including its material, shape, form and location
- Two-over-two and six-over-six double hung wood windows, with wood muntin bars, including their material, shape, form and location
- Six-over-six double hung wood window, with wood muntin bars and half-moon decorative wood header, including its material, shape, form and location within the south wall
- Wooden sills

The one-storey stacked-plank section's:

- Modest, unadorned façades, including their material, shape, form and location on the property
- Underlying stacked plank walls
- Wooden sills
- Two-over-two and six-over-six double hung wood windows, with wood muntin bars, including their material, shape, form and location
- Material, shape, form and location of the side entry door
- Gable roof with return eaves

Note: Recently, the roughcast stucco finish has been removed. Future consideration must be given to the restoration of the historic roughcast stucco finish, applied in an approved nineteenth century method.

Key attributes that reflect the property's historical/associative value:

- Its location within a residential character area in the village of Streetsville
- Its proximity to the commercial core of Streetsville, where the Scruton family carried out their various business ventures
- Its adjacency to the Streetsville Memorial Cemetery, formerly the Scotch Burying Ground, where the Scruton family likely carried out their various business ventures
- Its location on land once owned by Timothy Street, the namesake of the village
- Its one-storey massing and one-and-a-half storey massing, which are indicative of the transition from the earliest settlement dwellings and the next generation settlement dwellings
- Its various early to mid-nineteenth century construction methods, including stacked-plank and horizontal plank walls; and its traditional stucco exterior
- Its proximity to Queen Street South, with its minimal open space between the projecting frontispiece and the public right-of-way
- Its Gothic Revival architecture features; including, but not limited to the front gable and decorative bargeboard; the arched Gothic window in the gable with its louvered shutter; the open porch over the main entrance with decorative brackets; and, the wooden pilasters around the front door

Key attributes that reflect the property's contextual value:

- Its location on Queen Street South within the core of the community which retains the distinct scale and character of a rural farming town
- Its residential character, including its large lot, mature trees, the dwelling's relatively modest massing relative to the size of the property, and the dwelling's proximity to the street front, all of which serve to characterize the south end transitional approach to the commercial core of the village

- Views of the dwelling from Queen Street South, the Streetsville Memorial Cemetery, and to a lesser degree from Church Street which forms the eastern boundary of the property
- The role it plays as part of village's portfolio of heritage buildings, with their consistent scale and period "small village" landscape elements, all of which helps to identify Streetsville as a significant cultural landscape



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish Heritage Listed Properties
5175 and 5215 Mississauga Road
(Ward 11)**

RECOMMENDATION: That the properties at 5175 and 5215 Mississauga Road, which are listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The subject properties are listed on the City's Heritage Register as they form part of the Mississauga Road Scenic Route Cultural Landscape, noted for its historical origins and scenic quality as one of the oldest original roads within Mississauga. Additionally, the latter property is adjacent to the Barber House, 5155 Mississauga Road, which is designated under the *Ontario Heritage Act*.

COMMENTS: The property owner requests permission to demolish the existing

structures. The Heritage Impact Statements, by Irvin Heritage Inc., are attached as Appendices 1 and 2. It is the consultant's conclusion that the houses at these properties are not worthy of heritage designation. Staff concurs with this opinion.

The property owner is filing an application to subdivide these properties. As such, the proposed replacement is not available at this time. Further information regarding this development, its impact on the cultural landscape and proposed mitigation measures will be required through the planning process. The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: The owner of 5175 and 5215 Mississauga Road has requested permission to demolish the structures on these properties, which are listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS: Appendix 1: Heritage Impact Statement for 5175 Mississauga Rd.
Appendix 2: Heritage Impact Statement for 5215 Mississauga Rd.



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
169 Donnelly Drive
(Ward 1)

RECOMMENDATION: That the property at 169 Donnelly Drive, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a Site Plan application under file SPI 14/154 to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. This area is noted for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement, by W.E. Oughtred and Associates, is attached as Appendix 1. The arborist report is attached as Appendix 2. It is the consultant's conclusion that the house at 169 Donnelly Drive is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 169 Donnelly Drive has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement
Appendix 2: Arborist Report



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator



Welwyn Consulting

October 20, 2014

W.E. Oughtred and Associates Inc.
c/o Arlene Beaumont
1900 Dundas Street West, Suite 245
Mississauga, Ontario
L5K 1P9

**SUBJECT: Arborist Report and Tree Preservation Plan
169 Donnelly Drive, Mississauga**

Dear Arlene:

Attached please find the Arborist Report and Tree Preservation Plan that I have prepared for your property.

My report includes an evaluation of all trees on or within 6 metres of the subject site's property lines with a diameter at breast height (DBH) of 15cm or greater. This evaluation includes the DBH, height, canopy spread, health, and structural condition of all trees that may be affected by the currently proposed site plan. My report also provides a Tree Preservation Plan for the property, including the appropriate Tree Protection Zones (TPZ).

This information complies with The City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*. The Mississauga Heritage Advisory Committee (HAC) has requested specific tree-related information for this site which has been addressed on Page 7 and in Appendix B on Page 21 of this report.

Included in the report (if required) are Valuation Appraisals of any City-owned trees as required by the City of Mississauga to obtain the necessary tree permits.

This letter is part of the Arborist Report and Tree Preservation Plan and may not be used separately. Please feel free to contact me to discuss this report further.

Best regards,

A handwritten signature in black ink, appearing to read "Tom Bradley".

Tom Bradley B.Sc. (Agr)
ASCA Registered Consulting Arborist #492
ISA Certified Arborist #ON-1182A
ISA Certified Tree Risk Assessor
Butternut Health Assessor #257 (OMNR)
Welwyn Consulting
welwyntrees@gmail.com
(905)301-2925



Welwyn Consulting

Arborist Report and Tree Preservation Plan

169 Donnelly Drive, Mississauga

Prepared For

W.E. Oughtred and Associates Inc.
c/o Arlene Beaumont
1900 Dundas Street West, Suite 245
Mississauga, Ontario
L5K 1P9

Prepared By

Tom Bradley
ASCA Registered Consulting Arborist #492
ISA Certified Arborist #ON-1182A
ISA Certified Tree Risk Assessor
Butternut Health Assessor #257 (OMNR)
Welwyn Consulting
1222 Welwyn Drive
Mississauga, Ontario
L5J 3J3

Prepared On

October 20, 2014



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Summary

This Arborist Report and Tree Preservation Plan addresses all trees with a diameter at breast height (D.B.H.) of 15cm or greater and within 6 metres of the subject site that may be affected by the proposed property development and provides recommendations for their preservation and/or removal. This report also includes hoarding distances for the Tree Protection Zones (TPZ) and provides recommendations for current and future tree health care.

Based upon the Tree Inventory for this property, there are **38 trees** that may be affected by the proposed site development plan:

- 14 trees on the subject site
- 10 neighbouring trees within 6 metres of the subject site property line
- 4 shared ownership tree (subject site and neighbour west of subject site)
- 10 City-owned trees within proximity to the subject site

Table 1: Tree Preservation and Removal

TREES TO PRESERVE	TREE NUMBER	TOTAL
i) Subject Site Trees	8, 14, 15, 20, 21, 22, 24, 36, 37	9
ii) Neighbouring Trees	5, 6, 7, 12, 16, 17, 18, 19, 23, 25	10
iii) Shared-ownership Trees	9, 10, 11, 13	4
iv) City-owned Trees	1, 26, 27, 32, 33, 34, 38	7
	#of Trees To Be Preserved:	30
TREES TO BE REMOVED	TREE NUMBER	TOTAL
i) Subject Site Trees	28, 29, 30, 31, 35	5
ii) Neighbouring Trees	0	0
iii) Shared-ownership Trees	0	0
iv) City-owned Trees	2 (dead tree) 2 and 3 (City trees- Mulberry)	3
	#of Trees To Be Removed:	8
	Total trees on or adjacent to subject site:	38

Specific tree-related issues on this site:

- 1.) A Hydro-Vac investigation of the area to the east of Trees #9, 10, 11 and 13 shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process.

Please refer to Page 8 and the photos on Page 34 of this report for further information.



Introduction

This Arborist Report and Tree Preservation Plan provides the current condition of all trees with a D.B.H of 15cm or greater on or adjacent to the subject site that may be affected by the proposed site development plan, including any City and/or neighbouring trees within 6 metres of the subject site's property lines as indicated by the attached site plan in Appendix A. The intent of the Tree Preservation Plan is to retain as many trees on the site as is reasonable through the use of Tree Protection Zones (TPZ) and other generally recognized arboricultural practices and to minimize the potential impact of construction injury to the trees.

Assignment

I was contacted by W.E. Oughtred & Associates Inc. to provide an Arborist Report and Tree Preservation Plan, as required by the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006* to minimize the impact that the proposed construction may have on the trees on or adjacent to this property. My report shall list specific trees to be preserved or removed, recommend any immediate maintenance required to create a safer environment for contractors and the property owner and provide a long-term tree preservation and management plan for the site.

Limits of Assignment

This report is limited to assessing and documenting the health and structural condition of the trees with a D.B.H of 15cm or greater on or 6 metres from the subject site during my site survey on September 9, 2014. My evaluation is based upon a visual inspection of the trees from the ground, and the analysis of photos and any samples taken during that inspection.

Unless specifically stated in the report:

- 1.) Neither aerial inspections nor root excavations were performed on any trees on site or within 6 metres of the subject site.
- 2.) A Level 2 "Basic" assessment using the 2011 International Society of Arboriculture (I.S.A.) *Best Management Practices* was used for tree evaluations within this report.

Purpose and Use

The purpose of this report is to document the current health and structural condition of the trees with a D.B.H of 15cm or greater on and within 6 metres of the subject site property, and to provide an Arborist Report and Tree Preservation Plan that complies with the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*.

This report is intended for the exclusive use of W.E. Oughtred & Associates Inc. Upon submission by and payment to Welwyn Consulting, this report will become their property to use at their discretion.



Observations

The proposed development is located in an established residential area near the intersections of Glenburnie Road and Donnelly Drive within the City of Mississauga. This site presently contains a residential dwelling that will be demolished and replaced with a new home. I visited the site on September 9, 2014 to conduct my tree inventory and take photographs of the trees on site, as well as any neighbouring or City-owned trees that may be affected by the proposed site plan.



Photo #1



Photo #2

Figure #1: These 2 photos show the front and back yard of the property at 169 Donnelly Drive as they appeared during the tree inventory conducted on September 9, 2014.

Appendices

Appendix A contains the most current site plan supplied by W.E. Oughtred and Associates Inc. which provides the following information:

- The location of the trees on or adjacent to the subject site
- Property lines for the subject site and neighbouring properties
- Property lines for City-owned lands adjacent to the subject site
- All existing buildings and hard surfaces
- An outline of the proposed building

Appendix B contains the Tree Inventory for this site. All trees were assigned numbers, and measured for diameter at breast height (DBH=1.4m), height, and canopy spread. The trees' health and structural condition were evaluated, which provides the basis for their recommended preservation or removal.

Appendix C contains the Tree Appraisal values for any City-owned trees on municipal property adjacent to the subject site that may be impacted by the proposed site plan.

Appendix D contains selected photos of trees on this site.



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Trees to Preserve (30)

Prior to any work commencing, an on site meeting should take place with the following people to discuss the Tree Preservation Plan:

- A Certified Consulting Arborist
- A representative from the City of Mississauga's Urban Forestry Department
- The property owner(s) and any Architects, Engineers, and contractors involved with the project

NOTE:

For this site, the Mississauga Heritage Advisory Committee (HAC) requires specific tree-related information including:

- 1.) The type, species, diameter, size, health and age of all trees on the property*
- 2.) The plans for all current, future and removed trees*
- 3.) The cultural implications of removing any trees in the context of the Cultural Landscape Inventory*
- 4.) Mitigation and enhancement plans for all trees*

▪ **Trees #1, 26, 27, 32, 33, 34 and 38 (Trees on City-owned lands)**

These 7 trees are located on the south and east boulevard areas of the property at 169 Donnelly Drive and on lands owned by the City of Mississauga.

These 7 City-owned trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

▪ **Trees #5, 6 and 7 Neighbouring trees**

These 3 trees are located on the neighbour's property west of 169 Donnelly Drive and must be protected for the duration of the demolition and construction activities on the subject site.

These 3 neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

▪ **Tree #8 White Mulberry (subject site)**

This tree is located in the rear yard of the south portion of the property at 169 Donnelly Drive and shall be protected for the duration of the demolition and construction activities on the subject site.

This tree shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the tree's continued survival.



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■ **Tree #9, 10, 11 and 13** **Norway Spruces (shared ownership)**

These 4 trees are located in the rear yard of the property at 169 Donnelly Drive and have shared ownership with the neighbour to the west. The 4 trees are separated from the subject site by a 1.8m tall wooden fence that is inside the west subject site property line.

Tree #9 (Norway Spruce: DBH = 44cm with a minimum required TPZ of 3.0m) is 3.04m from the proposed building foundation. There are two (2) large buttress roots and one lateral surface root which are visible at grade level on the east side of this tree. With an expected over-dig of 90cm, these tree roots would more than likely be injured during the proposed building foundation excavation and may impact Tree #9's structural integrity.

A Hydro-Vac investigation of the area to the east of Trees #9, 10, 11 and 13 shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process. Any roots in the immediate area of the excavation could be assessed, and if reasonable and feasible, properly pruned by the attending Certified Consulting Arborist. This action should reduce the potential for root injury caused by the excavating equipment, and the work should be completed prior to the construction process.

All shared trees must be preserved unless their removal is agreed upon in a "Letter of Agreement" signed by all owners. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

■ **Trees #12 and 16** **Neighbouring trees**

These 2 trees are located on the neighbour's property west of 169 Donnelly Drive. While they appear to be outside the scope of the currently proposed site plan, they must be protected for the duration of the demolition and construction activities on the subject site.

These 2 neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

■ **Trees #14 and 15** **White Mulberry (subject site)**

These 2 trees are located in the rear yard of the north portion of the property at 169 Donnelly Drive and shall be protected for the duration of the demolition and construction activities on the subject site.

These 2 trees shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.



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■ **Trees #17, 18, 19, 23 and 25**

Neighbouring trees

These 5 trees are located on the neighbouring properties to the north and west of 169 Donnelly Drive. While they appear to be outside the scope of the currently proposed site plan, they must be protected for the duration of the demolition and construction activities on the subject site.

These 5 neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

■ **Trees #20, 21, 22 and 24**

Subject site trees

These 4 trees are located in the rear yard near the north property line of 169 Donnelly Drive and shall be protected for the duration of the demolition and construction activities on the subject site.

These 4 trees shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.

■ **Trees #36 and 37**

Blue Spruce and White Mulberry (subject site)

These 2 trees are located in the front yard of 169 Donnelly Drive near the west portion of the existing semi-circular driveway and shall be protected for the duration of the demolition and construction activities on the subject site.

These 2 trees shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 12 of this report should result in the trees' continued survival.



Prior to construction, all trees scheduled for removal should be removed to grade level to increase the safety for both the property owner and any contractors.

- Cultural Significance of the proposed tree removals:**

Cultural Significance of the proposed tree removals:

Cultural Significance of the proposed tree removals:

It is expected that the City of Mississauga's Urban Forestry will request compensation for the removal of these 3 trees in the form of replacement trees or "cash in lieu of planting" of \$452/tree.



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Replacement Tree Planting (6)

Below is the Tree Replacement Plan Policy from The City of Mississauga's *Private Tree Protection By-Law 254-12*:

- (2) Where the planting of a Replacement Tree(s) has been imposed as a condition, the Commissioner may require any one or more of the following:
- (a) the Replacement Tree(s) be located on the same Lot in a location, number, size, and/or species to the satisfaction of the Commissioner;
 - (b) a replanting plan be filed to the satisfaction of the Commissioner;
 - (c) a written undertaking by the Owner to carry out the replacement planting;
 - (f) monies or a letter of credit in a form satisfactory to the Commissioner be delivered to the Commissioner to cover the costs of the Replacement Trees, and the maintenance of the Tree(s) for a period of up to two (2) years; or
 - (g) payment of each Replacement Tree not replanted on the Owner's Lot be made into the City's Replacement Tree Planting Fund. The payment for each such Tree shall be the cost of each street Tree planting as provided in the Fees and Charges By-law.

As required by the City of Mississauga and the Heritage Advisory Committee, replacement trees are required to be planted as compensation for the mature trees being removed as a result of re-development of the site at 169 Donnelly Drive. The number of replacement trees is to be in accordance with the Tree By-law and will be specified once the Tree Removal Permit application has been submitted. Replacement trees are to be native in species, a minimum 60mm caliper for deciduous trees and a minimum 1.80m high for coniferous trees. The payment in lieu of replacement tree planting has been set by the City of Mississauga at \$452.00/tree.

NOTE:

As compensation for mature trees to be removed from this site, six (6) replacement trees and their proposed locations are marked with the symbol Rx on the site plan in Appendix A on Page 20 of this report.

I.D.#	Tree Species	Recommended Location
R1-R2 (2 trees)	White Pine <i>Pinus strobus</i>	Front yard (full sun)
R3-R5 (3 trees)	Eastern Hemlock <i>Tsuga canadensis</i>	Back yard (part/full shade)
R6 (1 tree)	Sugar Maple <i>Acer saccharum</i>	Front yard (full sun)



Tree Care Recommendations

Cabling

Cabling is a practice which provides physical support for trees with structurally weak limbs, co-dominant stems, any branch or trunk unions with included bark, and tree species generally known to be weak-wooded. An aerial inspection of the tree's structural condition should be performed prior to cable installation, and any dead, diseased, or hazardous wood should be removed. Cabled trees should be inspected annually to assess both the cabling hardware and the tree's structural condition. Cabling reduces but does not eliminate a tree's hazard or failure potential.

- **There are no trees recommended for cabling on this site at this time.**

Fertilization

Current research conducted through the International Society of Arboriculture (I.S.A.) indicates that preserved trees within close proximity of proposed construction activities should not be fertilized during the 1st year following construction injury. Uptake of nutrients and water in compacted soils can be reduced and fertilizer salts may actually remove water from a tree's root zone. If and when supplemental fertilization is deemed necessary, products which stimulate root growth should be employed over those that stimulate shoot and foliage growth and be applied at low application rates.

Supplemental fertilization needs should be assessed by a Certified Consulting Arborist upon completion of all on-site construction activities, and any recommendations should be based on site-specific soil nutrient deficiencies determined primarily through soil testing and secondarily by visual analysis of nutrient deficiencies in foliage, twigs, buds, and roots.

Pruning

Pruning is a practice which removes dead, diseased, broken, rubbing, crossing, and hazardous limbs 2.5 cm and larger from trees to create a safer working environment and improve tree health and vigor. Pruning also provides an excellent opportunity for an aerial inspection of the structural integrity of the tree(s). All pruning should be completed prior to any site demolition or construction.

Trees #5, 17, 18, and 19 (neighbour), #10 and 12 (shared), #26, 33 and 38 (City), and #21 (subject site)

- **Remove large-caliper hazardous deadwood from these trees**



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Root Pruning/Hydro-Vac

Root pruning is performed to minimize a tree's potential loss of structural stability through root removal and/or injury due to excavation within close proximity of its root zone. While not always feasible for all projects, root pruning should occur in late autumn during tree dormancy and ideally one full growing season prior to any on-site construction or demolition to allow for root regeneration. Root pruning should be performed by a Certified Arborist in accordance with generally recognized standards and principles within the field of Arboriculture. *Hydro-Vac or Air-Spade technologies provide two of the least invasive methods for root zone excavation, and should be performed under the supervision of a Certified Arborist.*

General Methodology (other than hydro-vac/air spade)

Under the direction of a Certified Consulting Arborist, and using a large excavator, the soil shall be carefully removed starting approximately 4m perpendicular to the edge of the proposed building foundation area. Digging in a line parallel to the roots rather than across them should minimize cracking of any large roots near the tree's base. The soil shall be removed in layers approximately 1.0m deep to minimize the potential for striking any large roots that may have been close to the soil surface.

■ **Trees #9, 10, 11 and 13 (shared trees)**

A Hydro-Vac investigation of the area to the east of Trees #9, 10, 11 and 13 shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process. Any roots in the immediate area of the excavation could be assessed, and if reasonable and feasible, properly pruned by the attending Certified Consulting Arborist. This action should reduce the potential for root injury caused by the excavating equipment, and the work should be completed prior to the construction process.

Irrigation

An irrigation plan for preserved trees should be designed and implemented with the assistance of a Certified Consulting Arborist. The amount and frequency of irrigation will depend on factors such as soil type, local and seasonal precipitation patterns, duration of droughts, and the amount of construction activity near specific trees. The top 30 cm of soil in a tree's root zone should be kept moist without being saturated. Infrequent deep watering produces trees with deeper roots, while frequent shallow watering produces shallow-rooted trees. *When combined with soil aeration improvement techniques such as vertical mulching, drill holes, and radial trenching, an adequate but not excessive supply of moisture to a tree's root zone can be an effective and efficient way to help alleviate construction injury.* Preserved trees should be monitored at regular intervals by a Certified Consulting Arborist for signs of drought stress or excess irrigation.

- **An irrigation plan will be developed upon determination of tree injury levels after completion of any required root pruning.**



Mulching

It may be determined by the Certified Consulting Arborist that trees within close proximity of construction activities will require a layer of composted wood chip mulch applied to the root zones inside the TPZ hoarding. Decomposed wood mulch 5–10 cm (2–4 inches) deep applied to a tree's root zone should help to retain soil moisture, regulate soil temperature, and provide a natural organic source of nutrients in their elemental form over time. Piling of mulch against the tree stem should be avoided. Fresh wood chip mulch should be applied to a depth of 20 – 30 cm over steel plates or plywood on vehicle and equipment traffic areas within close proximity to the TPZ to distribute weight on the soil and help reduce potential root zone soil compaction.

- **There are no specific mulching requirements at this time.**

Root Zone Aeration Improvements

Aeration improvement techniques such as drill holes, vertical mulching, soil fracturing, and radial trenching have the ability to reduce various degrees of soil compaction by increasing the amount of soil macro and micropores. Any form of root zone aeration improvement should be performed post-construction and under the supervision of a Certified Consulting Arborist to help remediate soil compaction caused by construction activity near preserved trees.

- **There are no root zone aeration improvements required on this site at this time.**

Transplanting

Transplanting of larger caliper trees, through either hand digging or tree spade, allows for relocation and retention of desirable trees that might have otherwise been removed due to conflict with the proposed property construction design. Trees should be tree-spaded out by a reputable operator, and are best transplanted during dormancy in late autumn. No construction activity should take place near re-located trees either before or after transplantation.

Any transplanted trees should be fertilized using a complete fertilizer with a preferred nitrogen/phosphorus/potassium ratio of 1-2-2, with the Nitrogen component in slow release form. A 10 cm layer of composted wood mulch should be applied to the root zone, and the tree should receive regular irrigation for a period of at least one year. The tree may also require staking for a period of 1 year to provide stability while it re-establishes its root system.

- **There are no trees to be transplanted on this site at this time.**



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Tree Preservation Plan

The following Tree Preservation Plan should be implemented prior to any on-site construction activity.

Hoarding

Hoarding is used to define the **Tree Protection Zone (TPZ)**, which protects a tree's root zone, trunk, and branches from injury during both construction and landscaping phases of the project. Hoarding should be installed prior to any construction activity, and remain intact until construction and landscaping is completed. **No** TPZ should be used for the temporary storage of building materials, storage or washing of equipment, or the dumping of construction debris, excess fill, or topsoil.

As required by the City of Mississauga, hoarding should be constructed of 4x8 plywood sheets using 2x4 top and bottom rail construction supported by 4x4 wooden posts. A TPZ may be constructed of orange safety fencing using 2x4 top and bottom rail construction and supported by t-bar supports when protecting street trees where site line obstruction is a concern. TPZ signage should be posted in visible locations on the TPZ hoarding. T-bar supports for solid hoarding will only be allowed through pre-approval from the City of Mississauga's Development and Design Department.

The architect of record for the project should update the most current site plan/grading plan to include all existing trees properly plotted and numbered, with TPZ hoarding locations clearly indicated.

Hoarding Installation

A diagram of the proposed hoarding plan for this site can be found in Appendix A on Page 20 of this report. The recommended radial distances from the trunk for installation of TPZ hoarding are listed in Appendix B starting on Page 21 of this report, and the hoarding should be installed using the following guidelines:

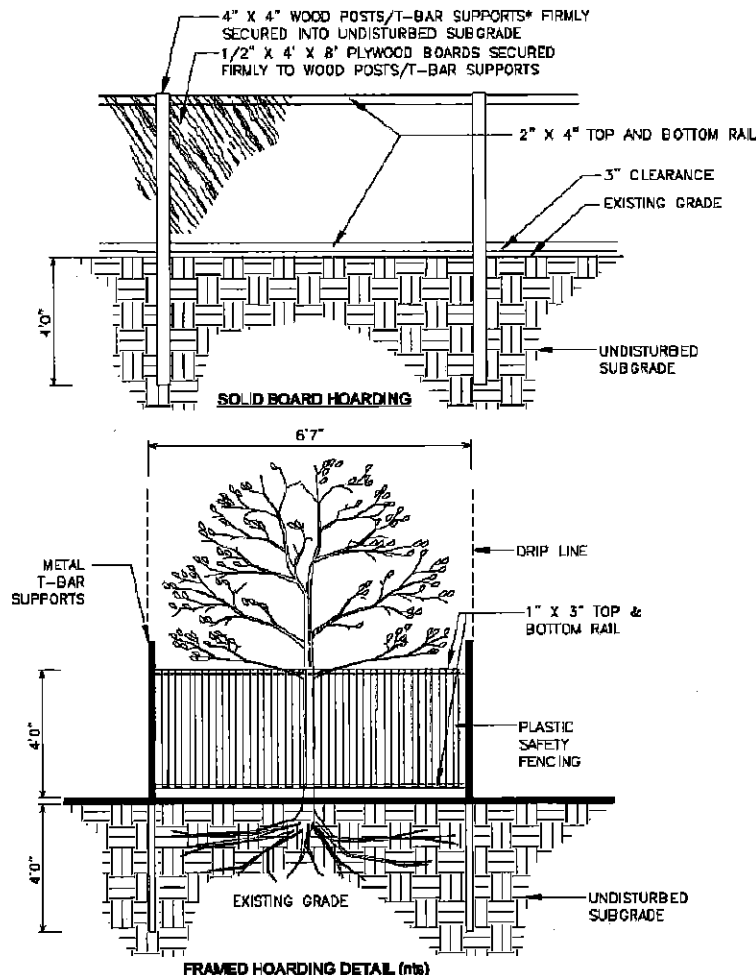
- 1) All TPZ hoarding should be placed at the recommended radial distance from the base of all trees to be protected, or up to all existing and/or proposed hard surfaces to allow for construction.
- 2) Any large numbers of trees that can be grouped together in a closed box or continuous line system for protection should have their TPZ hoarding placed at the recommended radial distance from the base of all of the largest peripheral trees of the system, or up to all existing and/or proposed hard surfaces to allow for construction.
- 3) Encroachment within a tree's TPZ may require a special permit from the City of Mississauga and/or on-site supervision by a Certified Consulting Arborist during any proposed excavation activities for root pruning and assessment.



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City of Mississauga TPZ Hoarding Specifications

The diagram below provides the City of Mississauga's standards for Tree Protection Zone (T.P.Z) hoarding.



NOTES:

1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM DEVELOPMENT AND DESIGN.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.

* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

MISSISSAUGA
Development and Design

SCALE: N.T.S.
DATE: JAN, 2008

DEVELOPMENT & DESIGN CONSTRUCTION HOARDING



Welwyn Consulting

Tree Preservation Plan Summary

I.) Pre-Construction Phase

- If necessary, have the Certified Consulting Arborist schedule an on-site meeting with a representative from the City of Mississauga's Urban Forestry Department, the property owner(s), and any Architects, Engineers, and contractors involved with the project to discuss the Tree Preservation Plan.
- Complete all Tree Care Recommendations, including pruning and any required tree removals.
- Install Tree Protection Zone (TPZ) hoarding as required.
- Where required, apply composted wood mulch to tree root zones within the TPZ hoarding, and apply fresh wood mulch over steel plates and/or plywood to any high-traffic areas immediately adjacent to the TPZ hoarding to help reduce soil compaction.
- If feasible, root-prune any preserved trees adjacent to excavation areas prior to construction under the supervision of a Certified Consulting Arborist.
- Establish an irrigation plan with the assistance of a Certified Consulting Arborist.

II.) Construction Phase

- Maintain and respect TPZ hoarding throughout the construction phase. Do not store or dump materials in this area.
- Continue irrigation plan as directed by a Certified Consulting Arborist.
- Prune any roots exposed during excavation under the supervision of a Certified Consulting Arborist.
- On-going monitoring by a Certified Consulting Arborist to evaluate construction injury/stress and make recommendations.

III.) Post-Construction Phase

- Remove hoarding only after permission from the City of Mississauga.
- Continue irrigation program as directed by a Certified Consulting Arborist.
- Supplemental fertilizer needs assessment by a Certified Consulting Arborist.
- Post-construction monitoring of all trees by a Certified Consulting Arborist.

NOTE:

Post-Construction Monitoring

Construction injury may take several years to become apparent. All preserved trees should be inspected by a Certified Consulting Arborist on a semi-annual basis for a period of up to 2 years to pro-actively address any tree health related issues as they occur.



ASSUMPTIONS AND LIMITING CONDITIONS

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, by-laws, or other governmental regulations.

Care has been taken to obtain all information from reliable sources, and all data has been verified insofar as possible. The consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.

Neither all nor any part of the contents of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society, institute, or any initialed designation conferred upon the consultant/appraiser as stated in his/her qualification.

This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as either engineering or architectural reports or surveys.

Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflections the condition of those items at the time of inspection, and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



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CERTIFICATE OF PERFORMANCE

I, Tom Bradley, certify that:

- I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of any evaluation or appraisal is stated in the attached report and the Limits of Assignment.
- I have no current or prospective interest in the vegetation of the property that is the subject of this report, and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts.
- My compensation is not contingent upon the reporting of a pre-determined conclusion that favours the cause of the client or any other party, or upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- My analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Registered Consulting Arborist through the American Society of Consulting Arborists (A.S.C.A), and a Certified Arborist with the International Society of Arboriculture (I.S.A). I have been involved in the fields of Arboriculture and Horticulture in a full-time capacity for a period of more than 20 years.

Signed: 

Date: October 20, 2014



Note: The proposed Tree Protection Zone (TPZ) hoarding is shown as green lines and is not to scale on this drawing. Rx denotes six (6) replacement trees and their recommended locations.



Solid Hoarding

Framed Hoarding



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Appendix B: Tree Survey

I.D #	Owner	Tree Species Common Name and Approx. Age	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
1	City of Mississauga	Sugar Maple (5 years)	<i>Acer saccharum</i>	6	5	1	Good	Good	Healthy and vigorous; staked	Preserve: TPZ = 1.8m
2	City of Mississauga	Scots Pine (30 years)	<i>Pinus sylvestris</i>	24	18	3	—	—	Dead tree	Remove: Potential safety hazard
3	City of Mississauga	White Mulberry (15 years)	<i>Morus alba</i>	7, 7, 7, 8, 8, 6 (17.5)	6	8	Good	Poor	Small-caliper deadwood in canopy; co-dominant stems with included bark union at tree base; growing through existing fence	Remove: Proposed site plan in conflict with the tree
4	City of Mississauga	White Mulberry (20 years)	<i>Morus alba</i>	19	7	9	Good	Good	Small-caliper deadwood in canopy; adjacent to existing fence on north side of tree	Remove: Proposed site plan in conflict with the tree
5	Neighbour	Thornless Honey Locust (25 years)	<i>Gleditsia triacanthos var.inermis</i>	32	18	9	Good	Good	Large-caliper deadwood in canopy; lower branch canopy shaded and reduced 8m from tree base	Preserve: TPZ = 2.4m
6	Neighbour	White Pine (45-50 years)	<i>Pinus strobus</i>	48.5	24	10	Good	Good	Small-caliper deadwood and branch stubs from a failure in upper canopy; live branch canopy above 14m	Preserve: TPZ = 3.0m
7	Neighbour	Norway Spruce (40 years)	<i>Picea abies</i>	38.5	22	13	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 4m south side and 8m north side	Preserve: TPZ = 2.4m
8	Subject Site	White Mulberry (20 years)	<i>Morus alba</i>	9, 12, 17 (22.5)	8	8	Good	Poor	Small-caliper deadwood in canopy; co-dominant stems with included bark union 0.5m from tree base; fence on east side of stem	Preserve: TPZ = 2.4m
9	Shared Ownership	Norway Spruce (45-50 years)	<i>Picea abies</i>	44	22	11	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 4m from tree base and shaded on north side; physically separated from subject site by 1.8m tall wooden fence; <u>3m from proposed subject site building foundation; large anchor/surface roots visible</u>	Preserve: TPZ = 3.0m <i>Hydro- vac/air space investigation on east side of tree</i>



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I.D #	Owner	Tree Species Common Name and Approx. Age	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
10	Shared Ownership	Norway Spruce (25-30 years)	<i>Picea abies</i>	22.5	18	6	Good	Good	Small-caliper deadwood in canopy; lower canopy shaded and suppressed to 12m; separated from subject site by 1.8m tall wooden fence	Preserve: TPZ = 2.4m <i>Hydro- vac/air space investigation on east side of tree</i>
11	Shared Ownership	Norway Spruce (25-30 years)	<i>Picea abies</i>	28.5	20	12	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 4m and shaded on north and south sides; separated from subject site by 1.8m tall wooden fence	Preserve: TPZ = 2.4m <i>Hydro- vac/air space investigation on east side of tree</i>
12	Neighbour	White Pine (80-85 years)	<i>Pinus strobus</i>	82	30	14	Good	Good	Large-caliper deadwood and branch stubs in canopy from previous branch failures; live branch canopy above 18m; separated from subject site by 1.8m tall wooden privacy fence	Preserve: TPZ = 5.4m
13	Shared Ownership	Norway Spruce (45-50 years)	<i>Picea abies</i>	50	22	12	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 4m from tree base and shaded on south side; separated from subject site by 1.8m tall wooden fence on east side	Preserve: TPZ = 2.4m <i>Hydro- vac/air space investigation on east side of tree</i>
14	Subject Site	Norway Spruce (50-55 years)	<i>Picea abies</i>	50	22	12	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 2m from tree base; separated from subject site by 1.8m tall wooden fence on east side	Preserve: TPZ = 3.6m
15	Subject Site	Norway Spruce (40-45 years)	<i>Picea abies</i>	40.5	20	12	Good	Poor	Small-caliper deadwood in canopy; co-dominant stems with included bark union 12m from tree base; branch canopy shaded and reduced on south side; separated from subject site by 1.8m tall wooden fence on east side	Preserve: TPZ = 3.0m
16	Neighbour	Red Oak (80-90 years)	<i>Quercus rubra</i>	108	24	20	Good	Fair	Small-caliper deadwood in canopy; co-dominant stems with included bark union 7m from tree base with canopy above union	Preserve: TPZ = 6.0m



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ID #	Owner	Tree Species Common Name and Approx. Age	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
17	Neighbour	Colorado Blue Spruce (35-40 years)	<i>Picea pungens</i> 'Glauca'	35	21	6	Good	Fair	Large-caliper deadwood in canopy on south side; co-dominant stems with included bark union 12m from tree base and clearance pruned 2m	Preserve: TPZ = 2.4m
18	Neighbour	White Cedar (20 years)	<i>Thuja</i> <i>occidentalis</i>	11	8	2	Good	Good	Large-caliper deadwood in canopy; branch canopy shaded and reduced on south and east sides; separate from subject site by chain-link fence	Preserve: TPZ = 2.4m
19	Neighbour	Kousa Dogwood (25 years)	<i>Cornus kousa</i>	3, 4, 6, 12, 12 (18.5)	8	11	Good	Fair	Large-caliper deadwood in canopy; co-dominant stems with included bark unions at tree base; separated from subject site by chain-link fence	Preserve: TPZ = 2.4m
20	Subject Site	Persian Walnut (40-45 years)	<i>Juglans regia</i>	49	20	18	Good	Fair	Small-caliper deadwood in canopy; co-dominant stems with included bark union 3m from tree base with canopy above union; lower branch canopy shaded	Preserve: TPZ = 3.0m
21	Subject Site	White Spruce (40-45 years)	<i>Picea glauca</i>	35	22	5	Good	Good	Large-caliper deadwood in lower canopy; lower branch canopy shaded 16m from tree base and clearance pruned 4m	Preserve: TPZ = 2.4m
22	Subject Site	Norway Spruce (40 years)	<i>Picea abies</i>	43	24	10	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded and reduced on west side and clearance pruned 3m from tree base	Preserve: TPZ = 3.0m
23	Neighbour	Kousa Dogwood (30 years)	<i>Cornus kousa</i>	4, 5, 5, 5, 10, 12 (18)	12	8	Good	Fair	Small-caliper deadwood in canopy; co-dominant stems with included bark unions at tree base	Preserve: TPZ = 2.4m
24	Subject Site	White Spruce (20-25 years)	<i>Picea glauca</i>	20	12	8	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded on north side and clearance pruned 2.5m from tree base	Preserve: TPZ = 2.4m
25	Neighbour	Ivory Silk Lilac (20-25 years)	<i>Syringa reticulata</i>	4, 4, 6 (8)	8	6	Good	Fair	Small-caliper deadwood in canopy; co-dominant stems with included bark unions at tree base	Preserve: TPZ = 2.4m
26	City of Mississauga	Red Maple (50-60 years)	<i>Acer rubrum</i>	54	22	18	Good	Fair	Large-caliper deadwood in canopy; co-dominant stems with included bark union 8m from tree base with canopy above union; branch canopy shaded on south side	Preserve: TPZ = 3.6m



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LD #	Owner	Tree Species Common Name and Approx. Age	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Action
27	City of Mississauga	White Oak (90-95 years)	<i>Quercus alba</i>	112	30	16	Good	Good	Small-caliper deadwood in canopy; co-dominant stems with included bark union 12m from tree base with branch canopy above 10m	Preserve: TPZ = 6.0m
28	Subject Site	Japanese Maple (15-20 years)	<i>Acer palmatum</i>	13.5	6	4	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1m	Remove: Proposed site plan in conflict with the tree
29	Subject Site	White Pine (60-65 years)	<i>Pinus strobus</i>	55.5	30	10	Good	Fair	Large-caliper deadwood in canopy; lower branch canopy clearance pruned 12m from tree base and shaded on east side	Remove: Proposed site plan in conflict with the tree
30	Subject Site	White Pine (60-65 years)	<i>Pinus strobus</i>	56.5	30	6	Good	Fair	Large-caliper deadwood in canopy; lower branch canopy clearance pruned 12m from tree base and shaded on west side	Remove: Proposed site plan in conflict with the tree
31	Subject Site	White Pine (60-65 years)	<i>Pinus strobus</i>	60.5	22	12	Good	Fair	Large-caliper deadwood in canopy; lower branch canopy clearance pruned 12m from tree base and shaded on north side	Remove: Proposed site plan in conflict with the tree
32	City of Mississauga	American Beech (10 years)	<i>Fagus grandifolia</i>	6	4	2	Good	Good	Healthy and vigorous recent planting; staked	Preserve: TPZ = 1.8m
33	City of Mississauga	Scots Pine (40 years)	<i>Pinus sylvestris</i>	32.5	18	4	Good	Good	Large-caliper deadwood in canopy; lower branch canopy clearance pruned 6m from tree base	Preserve: TPZ = 2.4m
34	City of Mississauga	Scots Pine (40 years)	<i>Pinus sylvestris</i>	39	18	4	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 10m from tree base	Preserve: TPZ = 2.4m
35	Subject Site	Flowering Crabapple (15 years)	<i>Malus spp.</i>	11	6	4	Good	Good	Small-caliper deadwood and epicormic shoots in canopy	Remove: Proposed site plan in conflict with the tree
36	Subject Site	Colorado Blue Spruce (30 years)	<i>Picea pungens</i> 'Glaucous'	29.5	15	5	Good	Good	Small-caliper deadwood in canopy; branch canopy clearance pruned 2m from tree base and shaded on west side	Preserve: TPZ = 2.4m
37	Subject Site	White Mulberry (20 years)	<i>Morus alba</i>	25	10	12	Good	Good	Small-caliper deadwood in canopy; Cherry tree sapling growing at east side base	Preserve: TPZ = 2.4m
38	City of Mississauga	Scots Pine (45-50 years)	<i>Pinus sylvestris</i>	51	22	10	Good	Good	Large-caliper deadwood in canopy; branch canopy begins 12m from tree base	Preserve: TPZ = 3.6m



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Appendix C: Tree Valuation Appraisals

TREE APPRAISAL Trunk Formula Method

Tree Number: One (1)
Address: 191 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Sugar Maple	<i>Acer saccharum</i>
2	Condition:	94 %	
3	DBH:	6 cm	
4	Location:	72 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	80 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$270.00
8	Installation Cost: (1.5x Plant Cost)	\$405.00
9	Installed Tree Cost:	\$675.00
10	Unit Tree Cost:	\$10.62

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	28 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	-36 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$297.24
14	Appraised Value (#13 x #5 x #2 x #4) :	\$159.77
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$160



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TREE APPRAISAL Trunk Formula Method

Tree Number: Three (3)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	White Mulberry	
2	Condition:	72	%
3	DBH:	17	cm
4	Location:	47	%

*Morus
alba*

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	43	%
6	Replacement Plant Size:	8	cm
	Trunk		
6b	Area:	50.24	cm ²
7	Replacement Plant Cost:	\$40.00	
8	Installation Cost: (1.5x Plant Cost)	\$60.00	
9	Installed Tree Cost:	\$100.00	
10	Unit Tree Cost:	\$1.99	

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	227	cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	177	cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$451.83	
14	Appraised Value (#13 x #5 x #2 x #4) :	\$65.17	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE: \$70



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Four (4)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	White Mulberry	<i>Morus alba</i>
2	Condition:	75 %	
3	DBH:	19 cm	
4	Location:	53 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	43 %
6	Replacement Plant Size:	8 cm
	Trunk	
6b	Area:	50.24 cm ²
7	Replacement Plant Cost:	\$40.00
8	Installation Cost: (1.5x Plant Cost)	\$60.00
9	Installed Tree Cost:	\$100.00
10	Unit Tree Cost:	\$1.99

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	283 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	233 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$563.30
14	Appraised Value (#13 x #5 x #2 x #4) :	\$96.89
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$100



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TREE APPRAISAL Trunk Formula Method

Tree Number: Twenty Six (26)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Red Maple	<i>Acer rubrum</i>
2	Condition:	72 %	
3	DBH:	54 cm	
4	Location:	75 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	65 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$270.00
8	Installation Cost: (1.5x Plant Cost)	\$405.00
9	Installed Tree Cost:	\$675.00
10	Unit Tree Cost:	\$10.62

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	2289 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	2225 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$24,299.36
14	Appraised Value (#13 x #5 x #2 x #4) :	\$8,514.27
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$8,500



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TREE APPRAISAL Trunk Formula Method

Tree Number: Twenty Seven (27)
 Address: 169 Donnelly Drive, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: September 9, 2014
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	White Oak	<i>Quercus alba</i>
2	Condition:	72 %	
3	DBH:	112 cm	
4	Location:	83 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	79 %
6	Replacement Plant Size:	7 cm
	Trunk	
6b	Area:	38.465 cm ²
7	Replacement Plant Cost:	\$225.00
8	Installation Cost: (1.5x Plant Cost)	\$337.50
9	Installed Tree Cost:	\$562.50
10	Unit Tree Cost:	\$14.62

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	8490 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	8452 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$124,155.08
14	Appraised Value (#13 x #5 x #2 x #4) :	\$58,747.34
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$58,700



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TREE APPRAISAL Trunk Formula Method

Tree Number: Thirty Two (32)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	American Beech	
2	Condition:		88 %
3	DBH:		6 cm
4	Location:		67 %

*Fagus
grandifolia*

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	70 %
6	Replacement Plant Size:	6 cm
	Trunk	
6b	Area:	28.26 cm ²
7	Replacement Plant Cost:	\$245.00
8	Installation Cost: (1.5x Plant Cost)	\$367.50
9	Installed Tree Cost:	\$612.50
10	Unit Tree Cost:	\$21.67

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	28 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	0 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$606.86
14	Appraised Value (#13 x #5 x #2 x #4) :	\$247.80
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$250



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Thirty Three (33)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Scots Pine	<i>Pinus sylvestris</i>
2	Condition:	75 %	
3	DBH:	32 cm	
4	Location:	77 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	53 %
6	Replacement Plant Size:	6 cm
	Trunk	
6b	Area:	28.26 cm ²
7	Replacement Plant Cost:	\$130.00
8	Installation Cost: (1.5x Plant Cost)	\$195.00
9	Installed Tree Cost:	\$325.00
10	Unit Tree Cost:	\$11.50

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	804 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	776 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$9,246.28
14	Appraised Value (#13 x #5 x #2 x #4) :	\$2,817.81
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$2,820



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Thirty Four (34)
 Address: 169 Donnelly Drive, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: September 9, 2014
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Scots Pine	<i>Pinus sylvestris</i>
2	Condition:	75 %	
3	DBH:	39 cm	
4	Location:	77 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	53 %
6	Replacement Plant Size:	6 cm
	Trunk	
6b	Area:	28.26 cm ²
7	Replacement Plant Cost:	\$130.00
8	Installation Cost: (1.5x Plant Cost)	\$195.00
9	Installed Tree Cost:	\$325.00
10	Unit Tree Cost:	\$11.50

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	1194 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	1166 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$13,731.42
14	Appraised Value (#13 x #5 x #2 x #4) :	\$4,184.65
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$4,180



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Thirty Eight (38)
Address: 169 Donnelly Drive, Mississauga
Owner: City of Mississauga
Date of Appraisal: September 9, 2014
Appraiser: Tom Bradley
Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Scots Pine	<i>Pinus sylvestris</i>
2	Condition:	72 %	
3	DBH:	51 cm	
4	Location:	75 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	53 %
6	Replacement Plant Size:	6 cm
	Trunk	
6b	Area:	28.26 cm ²
7	Replacement Plant Cost:	\$130.00
8	Installation Cost: (1.5x Plant Cost)	\$195.00
9	Installed Tree Cost:	\$325.00
10	Unit Tree Cost:	\$11.50

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	2042 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	2014 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$23,483.72
14	Appraised Value (#13 x #5 x #2 x #4) :	\$6,709.37
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$6,700



Appendix D: Site Photos

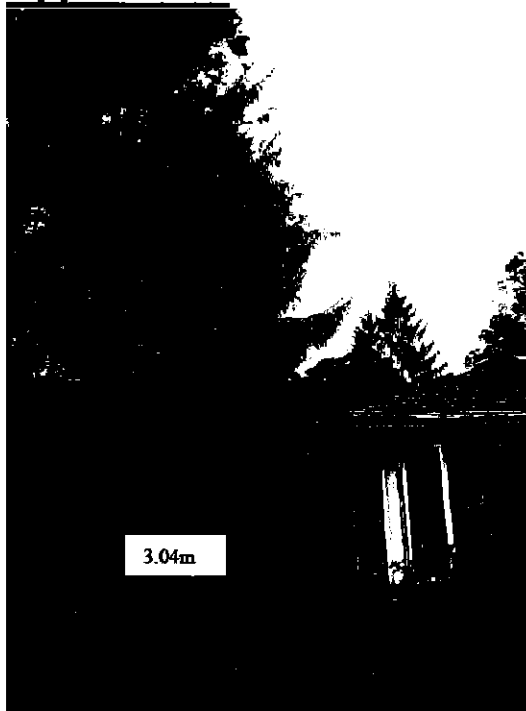


Photo #3



Photo #4

Figure #2: Proposed area of Hydro Vac Root Investigation at 169 Donnelly Drive

The above photos provide the following information:

- Photo #3 shows the west side of the existing subject site dwelling. The new proposed building footprint will be moved to 3.04m from the western property line. Note that the fence has been placed to the east of the property line.
- The east side of the root systems of Trees #9, 10, 11 and 13 (shared ownership trees) will likely be affected during excavation (including over-dig) for the proposed building foundation
- Photo #4 shows 2 large buttress roots and 1 surface root within 1m of Tree #9's base. It would be logical to assume other large roots may be present under the patio adjacent to Trees #9, 10, 11 and 13.

A Hydro-Vac investigation of the area to the east of Trees #9, 10, 11 and 13 shall be performed, under the supervision of a Certified Consulting Arborist, to determine the size and quantity of tree roots that could be affected by the excavation process. Any roots in the immediate area of the excavation could be assessed, and if reasonable and feasible, properly pruned by the attending Certified Consulting Arborist.

Please refer to Pages 8 and 13 of this report for further information.



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
1312 Stavebank Road
(Ward 1)

- RECOMMENDATION:**
1. That the property at 1312 Stavebank Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.
 2. That an interpretive plaque, recognizing the residency of artist Thomas Keith Roberts at the subject property, be installed at the public right-of-way at the owner's expense, with approval and text/image design by the City.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property is preparing to submit a Site Plan application to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Mineola West Cultural Landscape. This area is noted

for its original large lotting pattern, mature trees, undulating topography and overall character of early twentieth century development.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Statement (HIS), by David Small Designs, is attached as Appendix 1. The arborist report is attached as Appendix 2. It is the consultant's conclusion that the house at 1312 Stavebank Road is not worthy of heritage designation. Staff concurs with this opinion.

However, as mentioned in the HIS, landscape painter Thomas Keith Roberts, OSA, RCA, resided at the property from 1946 until his death in 1998. Roberts was an established painter, famous for his landscapes painted in all seasons across Canada. His work continues to appear in private auctions. To mitigate the loss of his house, staff recommend that an interpretive plaque be installed on site at the owner's expense.

Employing a heritage consultant with expertise writing and researching interpretive panels, the owner would provide the text and copy. Once the text and copy are approved by the Culture Division, the owner would fund the production of the layout and design by the City's Creative Services to City standards. After this is complete and approved by the Culture Division and Corporate Communications, the file would be sent to the owner to manufacture the plaque, to City standards, and install it at the site in a location visible from the public right-of-way, to be agreed upon between the owner and the City.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 1312 Stavebank Road has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*. However, an interpretive

plaque must be installed recognizing the long-time residency of artist Thomas Keith Roberts.

ATTACHMENTS:

Appendix 1: Heritage Impact Statement

Appendix 2: Arborist Report



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator

Daniels Tree Service

Construction related arborist report

1312 Stavebank Road., Mississauga Ontario

Prepared For: Julian Hlywa

Our Matter: Proposed two story home with garage and porch

Table of contents

1. Introduction
2. Review
3. Field Observation
4. Inventoried Tree Species
5. Tree Measurements
6. Tree Locations
7. Tree Conditions
8. Tree Inventory
9. Photo Section
10. Tree Protection zones and Site Plan.

1. Introduction

Daniels Tree Service was hired by Julian Hlywa to provide a tree inventory and assessment for a residential property.

The subject property is municipally known as 1312 Stavebank Rd, Mississauga, Ontario which is within the Credit River conservation area.

The land is the subject of redevelopment. One two story home with a driveway and porch is to replace the old two story home. 33 existing trees are in conflict with construction related activities from the new proposed development.

2. Review

Prior to any field work, a review of all available drawings was conducted.

This included a dated 2014/01/09 site and reference plan prepared from DAVID SMALL DESIGNS.

3. Field observation

On site inspection and data recording was initiated on January 16th 2015.

All trees located on the subject lands and trees within six meters of the Subject lands, whose diameter at breast height are 9.0cm or larger were inventoried and assessed. All trees located on the municipal road allowance (ROW) adjacent to the subject lands, regardless of diameter, were tagged, inventoried and assessed to in this report as "municipal tree".

Any species ranked as endangered, threatened or of special concern, located on the subject lands were noted and inventoried.

All data used in this report is empirical in nature, unless stated otherwise.

All measurements in this report are expressed in the metric system of measure.

4. Inventoried tree species

All inventoried trees have been identified by using their regionally used common name.

5. Tree measurements

All significant trees were sized by measuring their trunk diameter at 1.4 meters above existing grade (diameter at breast height, or DBH) as per accepted arboricultural standards.

6. Tree locations

The locations of all significant and municipal trees were originally surveyed and plotted on a Site Plan, as prepared by DAVID SMALL DESIGNS, and dated 2014/01/09. This survey information was transferred to and accurately appears in this report as the Tree inventory as prepared by Daniels Tree Service

7. Tree Conditions

A generalized assessment system was employed to describe the overall condition of each inventoried tree.

A Five (5) level scale from VERY GOOD, GOOD, FAIR, POOR, and VERY POOR was used to quantify the range of the tree's condition. Very GOOD condition was applied to a tree whose health, growth rate, crown closure, and structural integrity was greater than Eighty (80) percent of a perfect specimen. VERY POOR was applied to a tree whose condition is less than Twenty (20) percent of a perfect specimen.

8. Tree Inventory

A total of Twenty three (33) trees were inventoried.

Zero (0) significant trees are located on Municipal land.

Twenty four (24) significant trees are located on private land.

Nine (9) significant trees are neighboring trees.

Zero (0) trees were inventoried that do not meet the minimum size requirement of 10 cm DBH.

There were no endangered, threatened or trees of special concern identified on the subject lands or within six (6) metres of the subject lands.

Tree Inventory

Tag#	Species	DBH (cm)	Condition	Category	Remarks	Recommendations
1	Red oak	27	Good	(2) Neighbouring	Healthy young tree	Preserve with TPZ
2	Silver maple	101	Poor/Fair	(2) Neighbouring	Large vertical crack that failed to compartmentalize	Preserve with TPZ Prune back to improve sunlight for surrounding trees. By pruning back this leaning tree the weight will be reduced which will put less stress on the large vertical crack on the trunk thus decreasing the chances of failure.

3	Red oak	23.5	Fair	(1) Private	This trees main stem grows right into tree 2's branches. Pruning should be done to improve structure before it's too late.	Preserve with TPZ
4	Silver maple	99	Poor	(1) Private	This tree leans over the drive way, electrical power lines and trees 5 and 6. The trunk is decaying and will soon enough not be able to support the weight of the lean. This tree needs to be removed to mitigate the risk of damaging property, healthy trees, power lines, and whatever happens to be under it. Also by removing this tree sunlight will be increased which will benefit surrounding trees.	Remove

5	Red oak	60	Good	(1) Private	Good structure. Could use more sunlight because tree 4 leans over blocking most of the sunlight.	Preserve with TPZ
6	Red oak	26	Fair	(1) Private	Good structure. Could use more sunlight due to the leaning tree 4	Preserve with TPZ
7	Horse chestnut	51.5	Good	(1) Private	Good specimen tree. No problem other than it interferes with construction.	.Unfortunately this tree needs to be removed because it is right where the front porch and walkway are to be constructed. There is no way around this.
8	Norway spruce	48	Very poor	(1) Private	This tree is dead.	Preserve with TPZ
9	Norway spruce	53	Poor/Fair	(1) Private	Plenty of spruce gall mite galls.	Preserve with TPZ
10	Bur oak	54	Good	(1) Private	Decent tree no defects.	Preserve with TPZ
11	White cedar	27.5	Fair/Good	(1) Private	Leaning tree. Pretty healthy	This tree needs to be removed because it interferes with the construction of the home
12	Silver maple	104	Fair/Good	(2) Neighbouring	Healthy tree. Multiple stems	Preserve with TPZ (Reduced TPZ)

13	Silver maple	45	Fair/good	(1) Private	Decent tree but does not get enough sunlight. Should have a denser canopy and	Preserve with TPZ (Reduced TPZ)
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					more root growth space.	
14	Bur oak	49	Fair/Good	(2) Neighbouring	This tree looks like at some point it was topped because it has no central leader. This tree will never grow tall Decent tree otherwise.	Preserve with TPZ
15	Horse chestnut	47	Fair	(1) Private	This tree has a large lean.	Preserve with TPZ
16	Norway spruce	51	Poor/Fair	(1) Private	Excurent growth. Defoliated canopy. Spruce gall.	Preserve with TPZ
17	Norway maple	21	Fair	(1) Private	Very excurrent growth. Exposed roots. Needs more sunlight. Grows on a steep hill/cliff.	Preserve with TPZ
18	Norway spruce	38	Poor/Fair	(1) Private	Defoliated canopy. Exposed roots. Grows on a steep hill/cliff	Preserve with TPZ
19	Red oak	100	Fair/Good	(2) Neighbouring	Good structure. Some decay and dead wood	Preserve with TPZ
20	Norway maple	80	Fair	(2) Neighbouring	Leans towards river and has exposed roots most likely due to erosion	Preserve with TPZ
21	Bur oak	20	Fair	(1) Private	Small leaning tree	Preserve with TPZ
22	White pine	30	Poor/Fair	(1) Private	Excurent growth. Some dead wood. Grows right on hill/cliff	Preserve with TPZ
23	Red oak	101	Fair/Good	(1) Private	Large multi-stem tree Grows right on hill/cliff	Preserve with TPZ
24	Black cherry	23	Poor/Fair	(1) Private	Small excurent tree grows on hill/cliff	Preserve with TPZ
25	Norway	22	Fair	(1)	Small excurrent	Preserve with TPZ

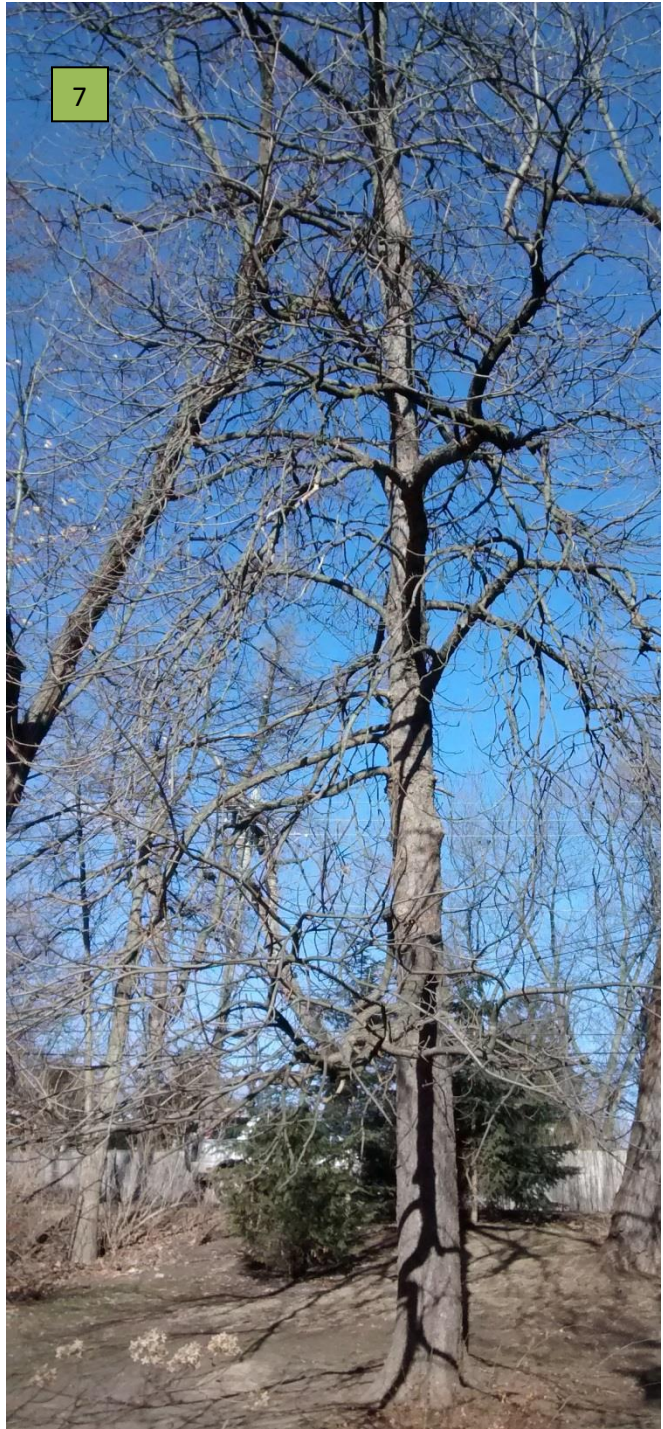
	maple			Private	tree grows on hill/cliff	
26	Red oak	70	Fair	(1) Private	Lots of pruning cuts that haven't compartmentalized yet.	Preserve with TPZ
27	Bur oak	79	Good	(2) Neighbouring	Healthy tree. Good structure. Grows on hill/cliff	Preserve with TPZ
28	Bur oak	31	Good	(1) Private	Healthy tree. Good structure. Grows at top of hill/cliff. Some deadwood	Preserve with TPZ
29	Black cherry	50	Poor/Fair	(1) Private	Grows beside home. Some deadwood. Possible root loss from past construction. .	Preserve with TPZ
30	Scotch pine	30	Fair	(2) Neighbouring	Decent tree. Should have more branches	Preserve with TPZ
31	Scotch pine	40	Fair	(2) Neighbouring	Decent tree. Should have more branches.	Preserve with TPZ
32	Bur oak	30	Fair	(1) Private	Good specimen tree. Could use a bit more sunlight.	Preserve with TPZ
33	Norway spruce	40	Fair	(1) Private	Some deadwood. Spruce gall. Defoliated canopy	Preserve with TPZ

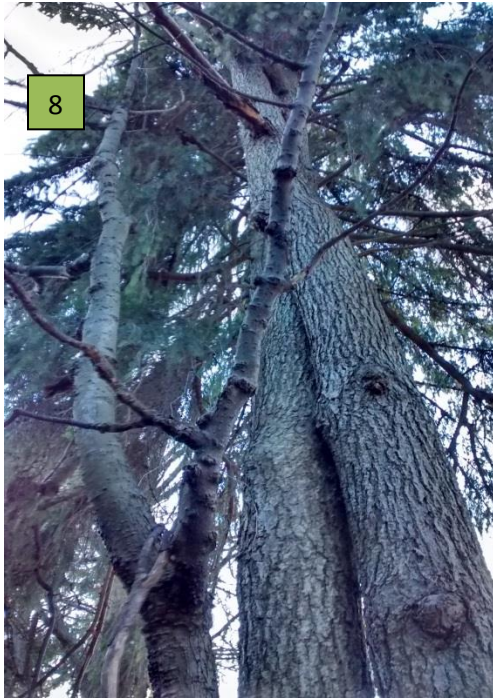
9. Photo Gallery

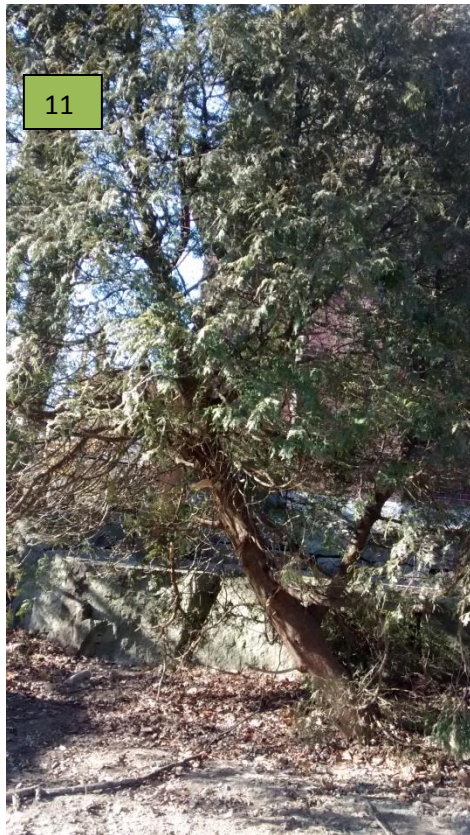


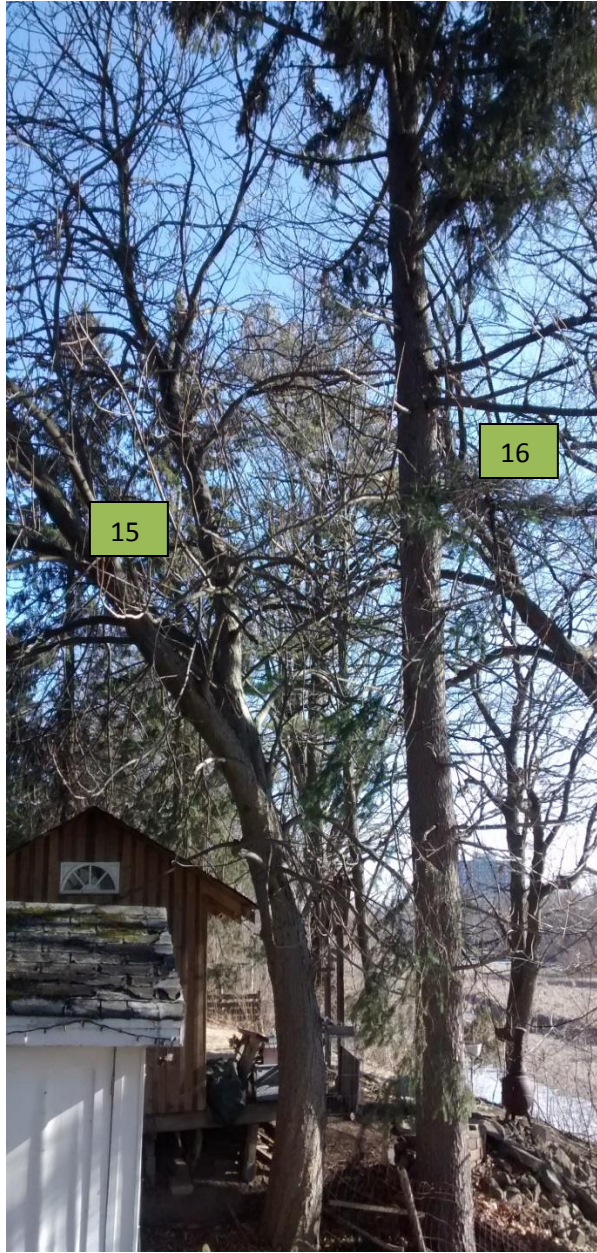


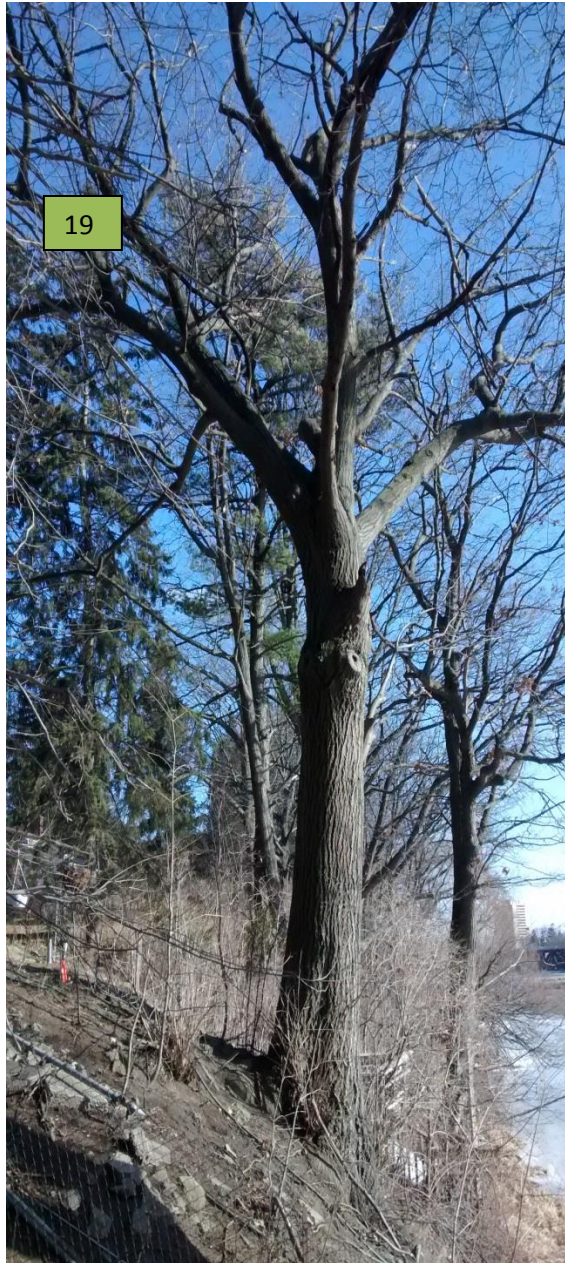














25

24

21











10. Tree protection zones and Site plan

Before any construction related activities begin tree protection zones must be in place. If any roots are found at any time during the excavation phase they should be pruned by a certified arborist. There will be tree protection zone hoarding set up around the perimeter of the home and driveway. All trees are being protected at the maximum distance possible. The hoarding will be placed 5ft or 1.52 m out from the building edge continuing around the entire buildings perimeter. No grading, excavation, or construction activity is to occur within the tree protection zone. The 1.52 m around the perimeter is needed for scaffolding and cannot be reduced to a lesser distance.

Tree 12 and 13 will require applications for a permit to injure because they cannot be protected to the extent of their drip line. A 30cm deep layer of horizontal mulch covered with plywood is to be applied within the 1.52 m of spacing between the hoarding and building. The mulch covered with plywood will be placed under the scaffolding and spread out to the drip lines of tree 12 and 13. Tree 12 will have 1m of protection on its south side while tree 13 will have 0.70m of protection on its south side.

Trees 7 and 11 have to be removed because they heavily interfere with construction. Tree 7 grows right where the proposed walkway and front porch are to be built. Tree 11 grows too close to the building's edge and will die from root loss if kept. Tree 4 is in poor condition and considered hazardous because of its leaning, decaying structure. 6 new 50mm Red Maples and 3 new 50mm Red Oak trees will be planted to replace the three removed trees

Ryan Rolfe

ISA Certified Arborist

ON-1789A



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Alter a Heritage Designated Property**
Parker "Chappell" Estate
4300 Riverwood Park Lane
(Ward 6)

RECOMMENDATION: That the request to alter the property at 4300 Riverwood Park Lane, as described in the report from the Commissioner of Community Services, dated February 17, 2015, be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto.

BACKGROUND: W.R. Percy Parker built the main residence, commonly referred to as "Chappell House," at the subject property in 1919. Credit Valley Conservation purchased the property in 1986 but leases it to the City. The City designated the property under the *Ontario Heritage Act* in 2004 (by-law 0505-2004) for its historical, architectural and contextual significance.

The City seeks to convert the building from "Office" to "Assembly/Classroom" use to allow the Riverwood Conservancy to expand its educational programming. (The plans are attached as Appendix 1.) In order to comply with this change of use, three of the exits would need to be modified. These include the front (main

entrance) door, the garden door and the back patio doors. (Photos of these accesses are attached as Appendix 2.)

The front door would be rehung at the front of the doorframe to swing outward. For the garden door, a new door frame is required. Every effort will be made to reuse the existing door, swinging out. However, a replica may be required. The landing at this entrance also needs to be widened to 1200 mm to comply with the change of use. Finally, because the rear exit needs to be a single door with a push bar, the patio doors are proposed to be replaced with one door with side lites, as per the attached drawings. All changes would be made using the same materials as that which exists.

COMMENTS:

Section 33.1 of the *Ontario Heritage Act* states that “No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property’s heritage attributes [...] unless the owner applies to the Council of the municipality.”

The designation statement refers to the “doors leading onto the rear flagstone patio” as “formerly multi-paned French doors.” This suggests that the current doors are not original. The by-law also references the “rose garden exit.” (This is probably the only original door of the three entries.) No further detail is provided on these accesses.

The proposed changes would not negatively impact the property. They would positively impact the facility by providing more opportunities for its use. However, it is recommended that any doors that cannot be maintained in situ be stored for the potential that they may be repurposed elsewhere in the future.


FINANCIAL IMPACT: There is no financial impact as the Riverwood Conservancy is covering the capital costs.

CONCLUSION: The City proposes to change the use of the “Chappell” Estate from “Office” to “Assembly” necessitating modifications to three entryways. As the proposed changes will serve to bring new uses to the property and not negatively impact the heritage attributes, the proposal should be approved.

ATTACHMENTS:

Appendix 1: Change of Use Drawings

Appendix 2: Photos



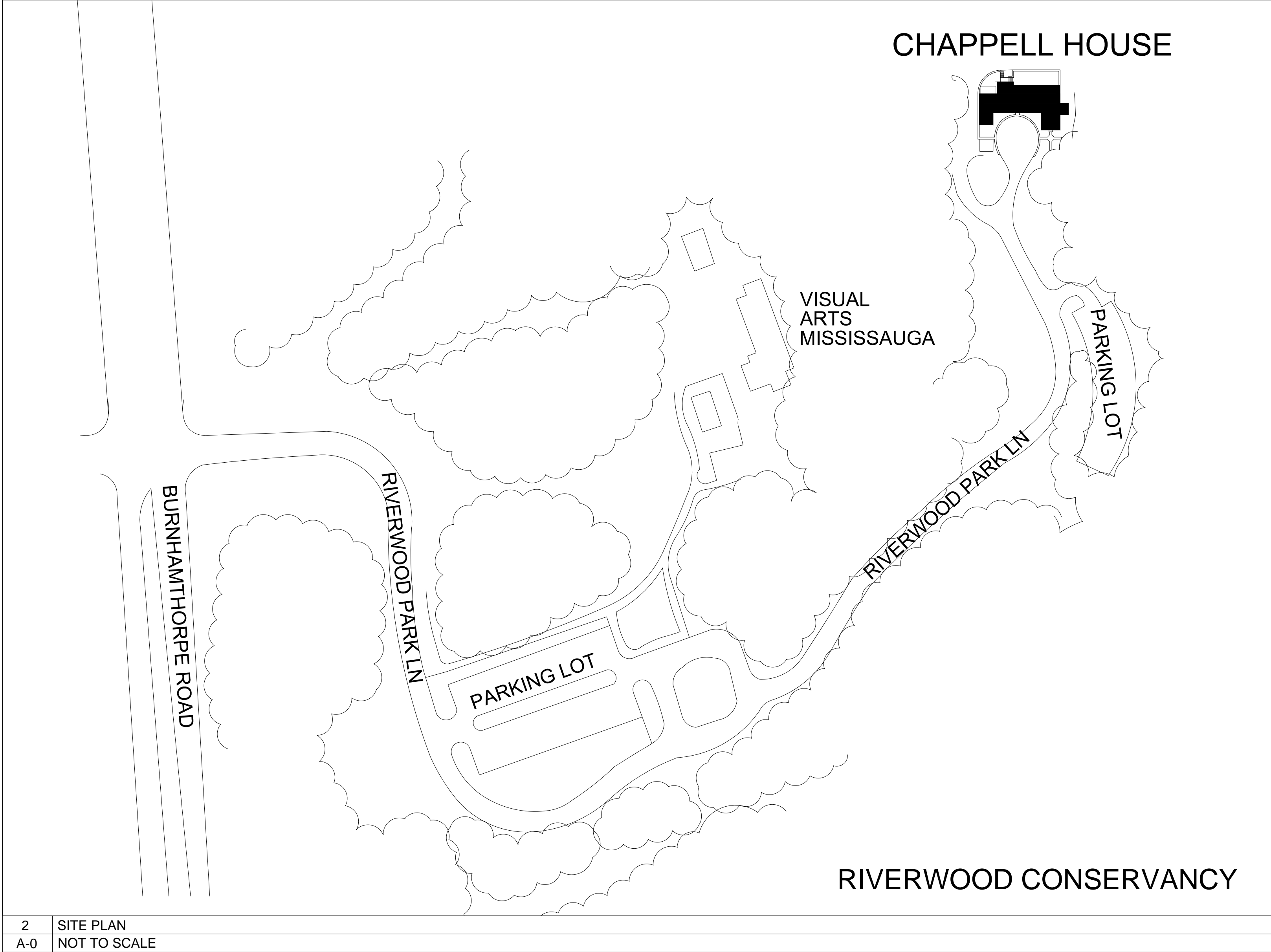
Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator

24"x36"

OBC Data - Interior Alteration / Renovations		OBC Reference
Building Description		
High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
Atrium Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.8
Design activities will impact on building systems, fixtures and services systems to which subsection 3.2.6 or any provision in Articles 3.2.8.2. to 3.2.8.11. apply (see rows 3 and 4 of table 2.20.2.1 of the Ontario Building Code)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Project Description		
Floor Area		
Tenant Occupied Area:	600 m²	
Area Affected by Alteration:	235 m²	
Occupant Load		
Occupant load based on:	<input type="checkbox"/> 9.3 m² (100 sq.ft.) / person <input checked="" type="checkbox"/> design of space (meeting rooms for internal use are not included in occupant load)	
Occupant Load:	EXISTING VACANT AREA	
Change in Occupant Load Due to Alteration:	TOTAL OCCUPANCY 55 PERSONS GROUP A2: MAX 45 PERSONS GROUP D: MAX 10 PERSONS	
General		
Tenant Improvement in Existing Building:	CHANGE OF USE from Occupancy "D" to "A-DIVISION2"	
Cross Over Floor (emergency access to floor areas)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.4.6.17
Type of Tenancy:	<input type="checkbox"/> Multiple - more than one tenant on floor <input checked="" type="checkbox"/> Single - one tenant on floor	
Major Occupancy Classification	existing group "D". proposed partial space as group A-DIV2	3.1.2.1(1)
Subsidiary Occupancy Classification	None	
Barrier-Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.1.8.
Interconnected Floors	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mezzanine	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.1.2.8.
Sprinkler System on Affected Floors	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.2.20-83
Length of Fire Hose	EXISTING	3.2.9.4
Fire Alarm	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4
New Electromagnetic Locks	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.12
Fire Separation Affected	<input type="checkbox"/> None <input type="checkbox"/> 1 Hour rated between suite and corridor <input checked="" type="checkbox"/> Other: 30 MINUTES FIRE SEPARATION IS REQUIRED AT WALLS AND CEILING SEPARATING OFFICES FROM SCHOOL SPACE	3.3.1.4

1	MATRIX
A-0	1. DUE TO HISTORICAL AND HERITAGE VALUE OF THE EXISTING BUILDING, EXTENT OF WORK IS LIMITED TO WORK THAT HAS BEEN IDENTIFIED IN THIS SET OF DRAWINGS, ANY ADDITIONAL MODIFICATION TO THE BUILDING INCLUDING METHOD OF WORK IS TO BE COORDINATED WITH ARCHITECT AND THE CLIENT PRIOR TO PROCEEDING WITH WORK. 2. SITE VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH WORK. 3. CONTRACTOR TO COORDINATE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BEFORE CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. 5. BUILDING IS OCCUPIED. NOISE GENERATING WORK MUST BE SCHEDULED FOR AFTER HORS IN COORDINATION WITH THE BUILDING MANAGER. 6. CONTRACTOR TO PATCH WORK SURFACES AND MAKE GOOD TO MATCH ADJACENT SURFACES. 7. FOR ANY SHUTDOWN, MINIMUM 48 HR. NOTICE IS REQUIRED PRIOR TO PROCEEDING WITH WORK. 8. CONTRACTOR TO NOTE/OBEY PROCEDURE FOR USE OF SHIPPING/RECEIVING BAY.
3	GENERAL NOTES
A-0	



CHAPPELL HOUSE

ISSUED FOR PERMIT FOR CHANGE OF USE | DEC, 2014

4300 RIVERWOOD PARK LANE , MISSISSAUGA, ONTARIO

ARCHITECTURAL DRAWINGS	
A-0	FRONT PAGE: SITE PLAN, MATRIX, NOTES
A-1	EXISTING AND PROPOSED FLOOR PLANS
A-2	EXISTING ELEVATIONS
A-3	SECTION DETAIL & SCHEDULE
MECHANICAL DRAWINGS	
M-1	
M-2	
ELECTRICAL DRAWINGS	
E-1	
E-2	
E-3	
4	TABLE OF CONTENT
A-0	

LOCATION PLAN

KEY PLAN

2 FEBRUARY 15	3	ISSUED FOR COORDINATION
23 DECEMBER 14	2	ISSUED FOR PERMIT
17 DECEMBER 14	1	FOR COORDINATION ONLY

NORTH

PAPADOPOULOS & PRADHAN ARCHITECTS INC.

28 RIPPLETON ROAD,
TORONTO, ONTARIO, M3B 1H5
TEL 416 490 0685 FAX 416 490 1408
E-MAIL: papaprad1@yahoo.ca

IQBAL & IQBAL
ASSOCIATES ENGINEERING
48 GENNELA SQUARE, TORONTO,
ONTARIO, TEL: 416 284 6662

PROJECT

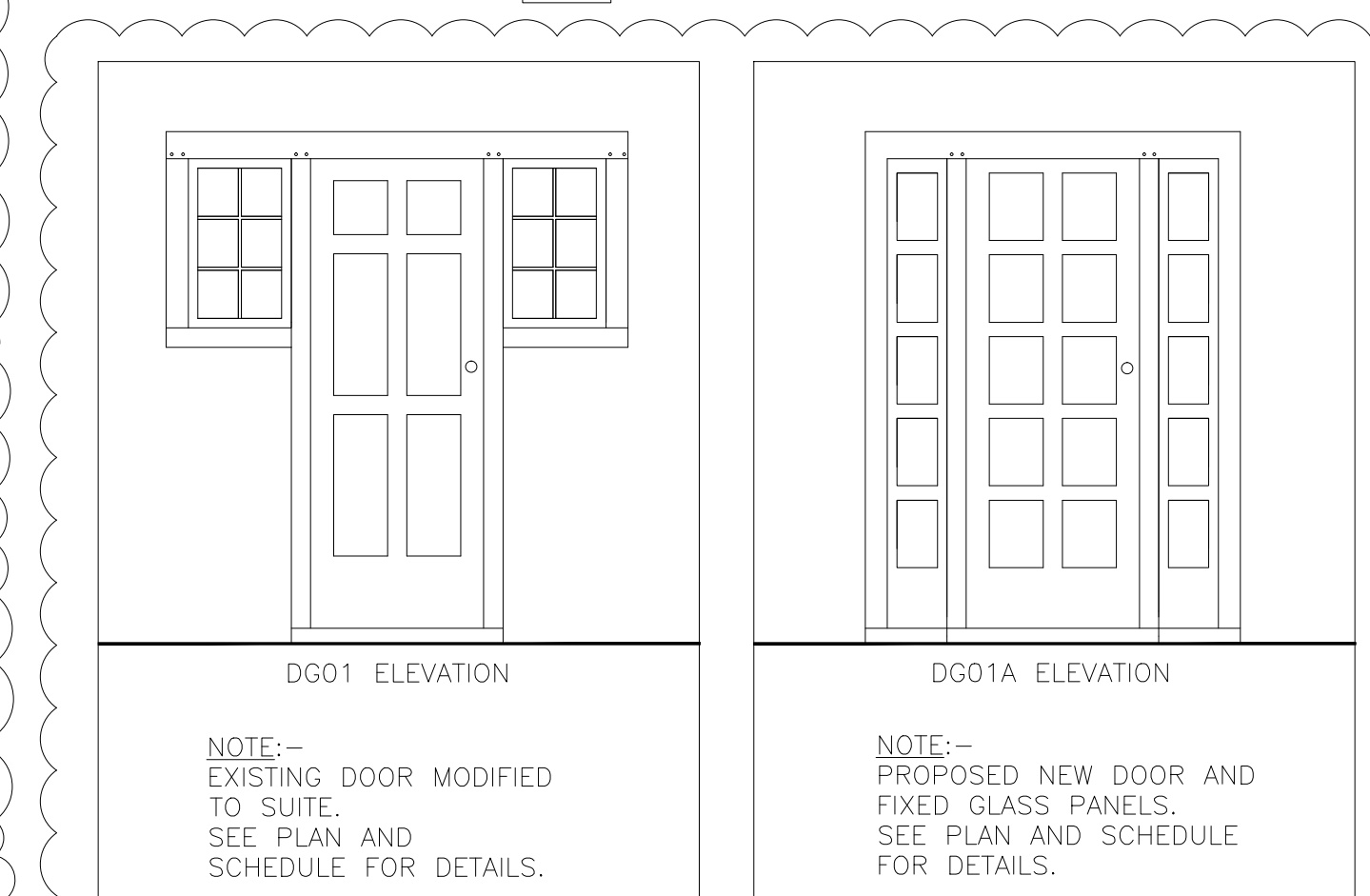
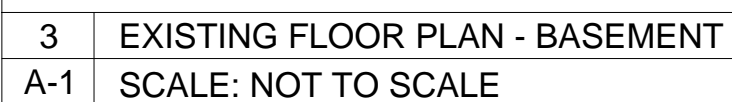
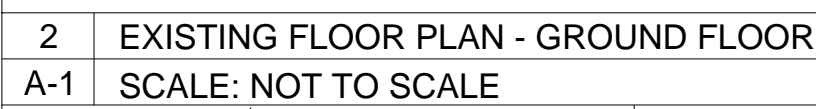
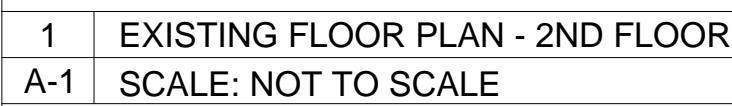
CHAPPELL HOUSE, CHANGE OF USE
4300 RIVERWOOD PARK LANE,
MISSISSAUGA, ONTARIO

DRAWING

FRONT PAGE: SITE PLAN, MATRIX, NOTES

SCALE AS NOTED	DRAWING NO.
DATE 17 DEC 2014	
DRAWN BY S.S.	
P&P 14-007	

A-0



A-1	SCALE: NOT TO SCALE
-----	---------------------



DRAWING	
EXISTING AND PROPOSED FLOOR PLANS	
SCALE AS NOTED	DRAWING NO.
DATE 17 DEC 2014	A-1
DRAWN BY S.S.	
P&P 14-007	

A-1



1	EXISTING EAST ELEVATION
A-2	SCALE: 1:25



3	EXISTING WEST ELEVATION
A-2	SCALE: 1:25

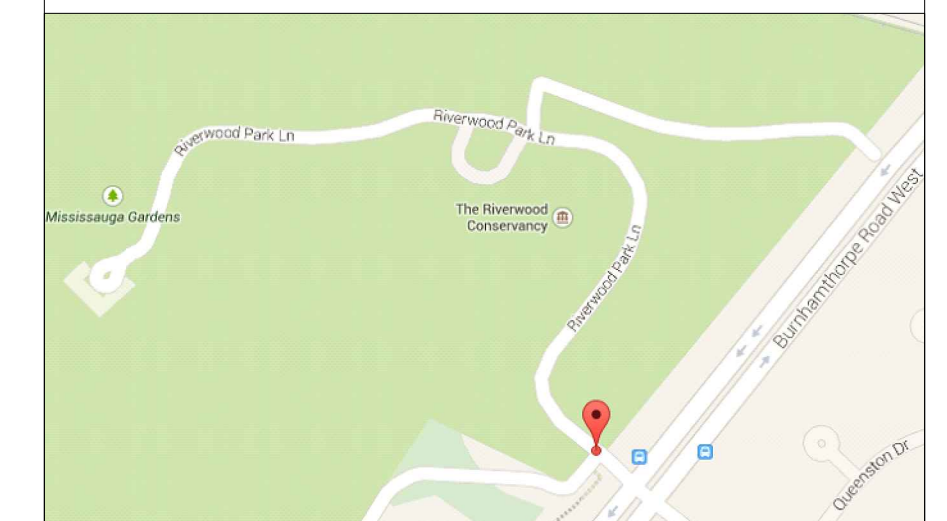


2	EXISTING NORTH ELEVATION
A-2	SCALE: 1:25



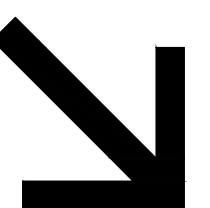
4	EXISTING SOUTH ELEVATION
A-2	SCALE: 1:25

LOCATION PLAN



KEY PLAN

2 FEBRUARY 15	3	ISSUED FOR COORDINATION
23 DECEMBER 14	2	ISSUED FOR PERMIT
17 DECEMBER 14	1	FOR COORDINATION ONLY


PAPADOPOULOS & PRADHAN ARCHITECTS INC.

28 RIPPLETON ROAD,
TORONTO, ONTARIO, M3B 1H5
TEL 416 490 0685 FAX 416 490 1408
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**IQBAL & IQBAL
ASSOCIATES ENGINEERING**
48 GENNELA SQUARE, TORONTO,
ONTARIO, TEL: 416 284 6662

PROJECT	
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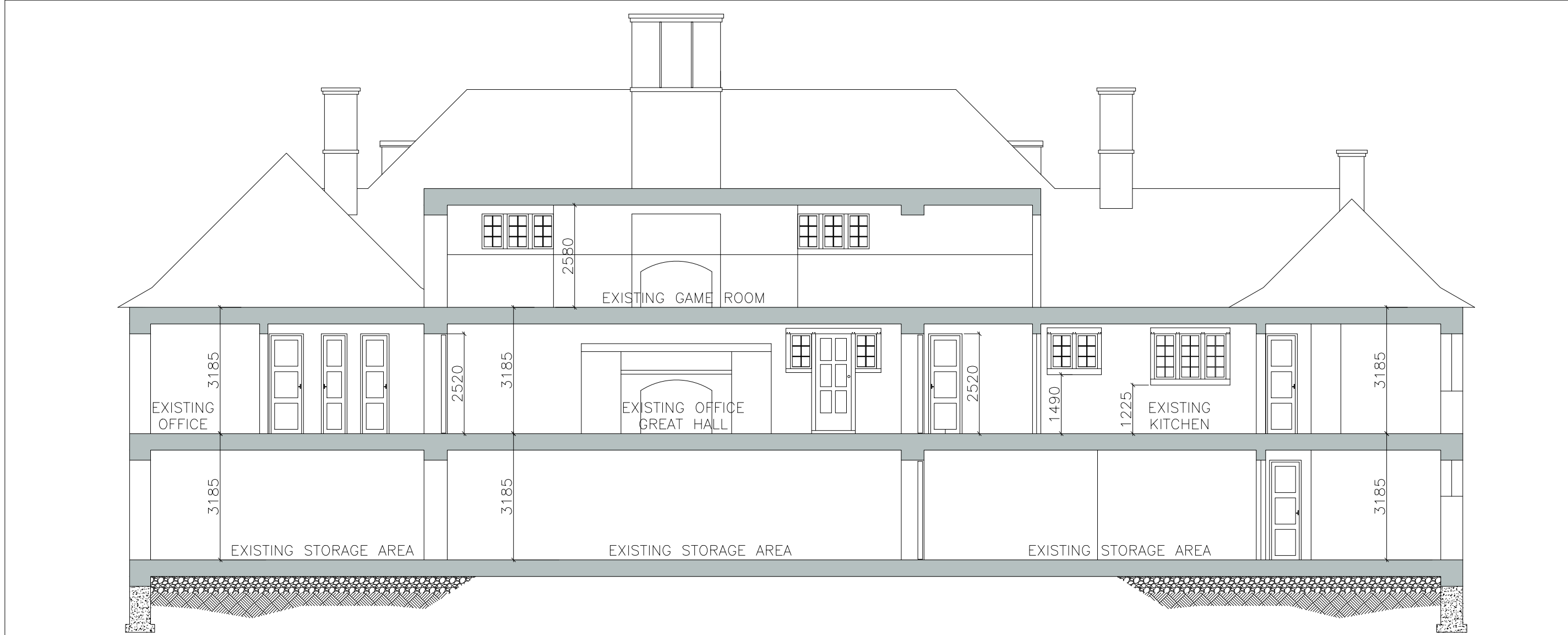
CHAPPELL HOUSE, CHANGE OF USE
4300 RIVERWOOD PARK LANE,
MISSISSAUGA, ONTARIO

DRAWING

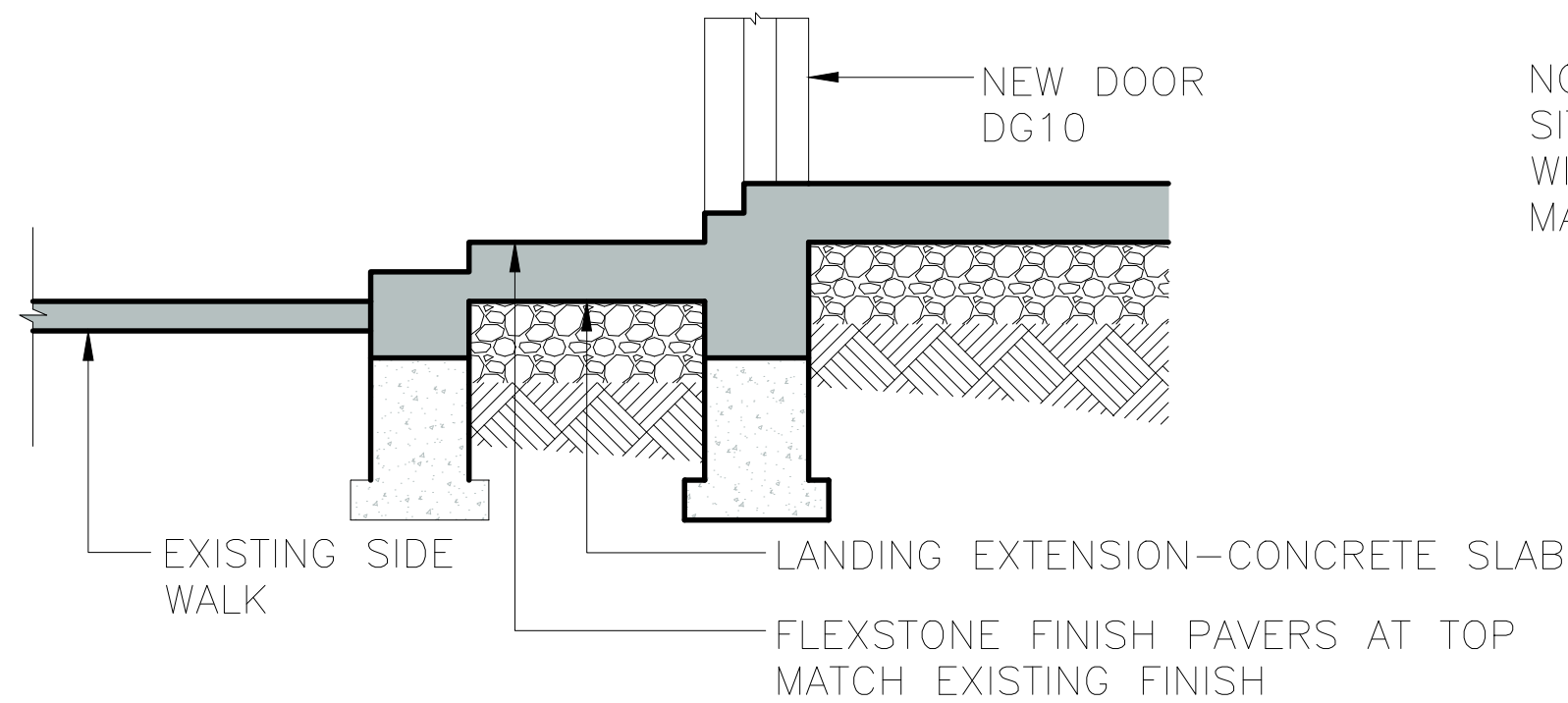
EXISTING ELEVATION

SCALE	AS NOTED	DRAWING NO.
DATE	17 DEC 2014	
DRAWN BY	S.S.	
P&P	14-007	

A-2

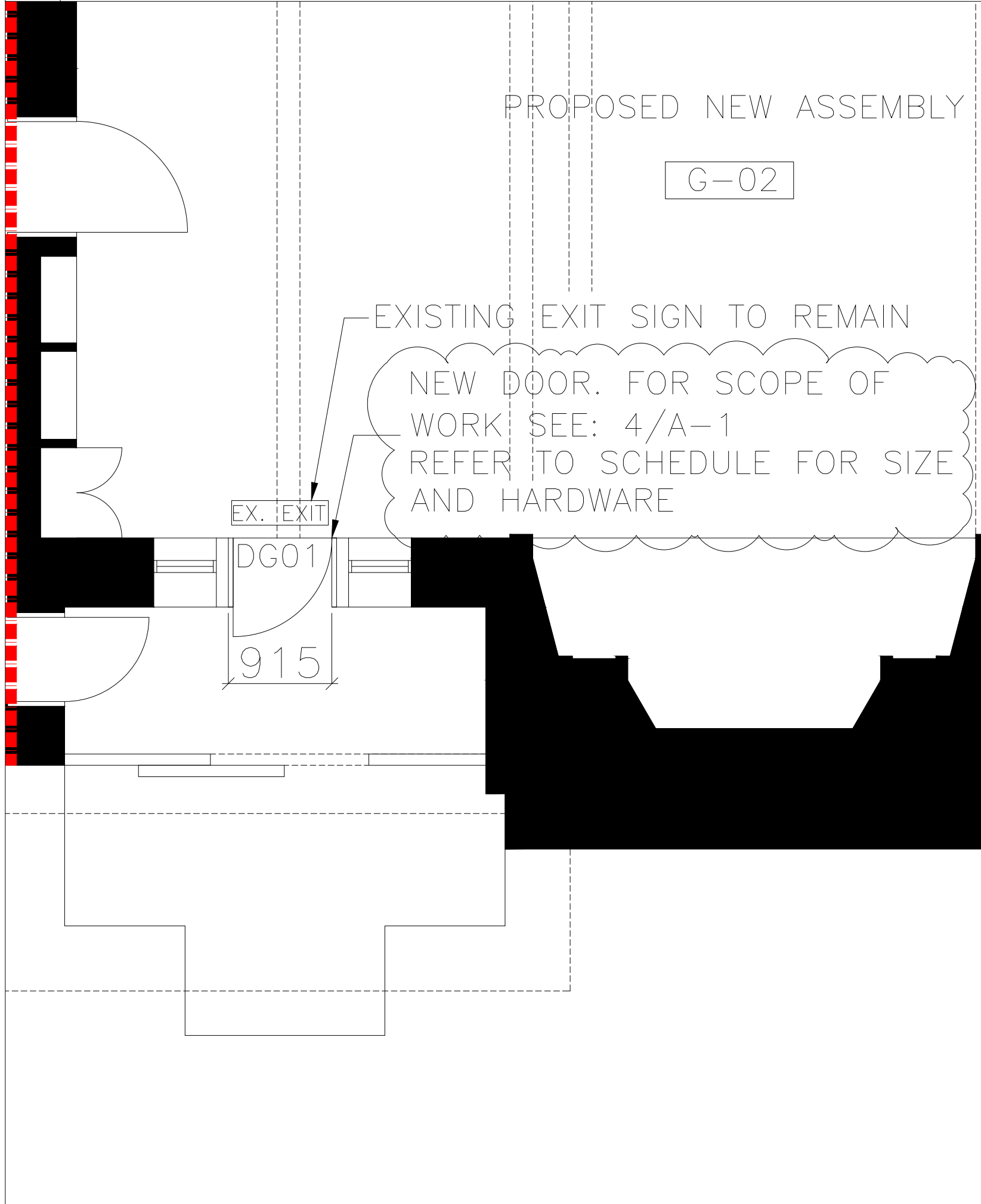


1 SECTION AA'
A-3 SCALE: 1:25

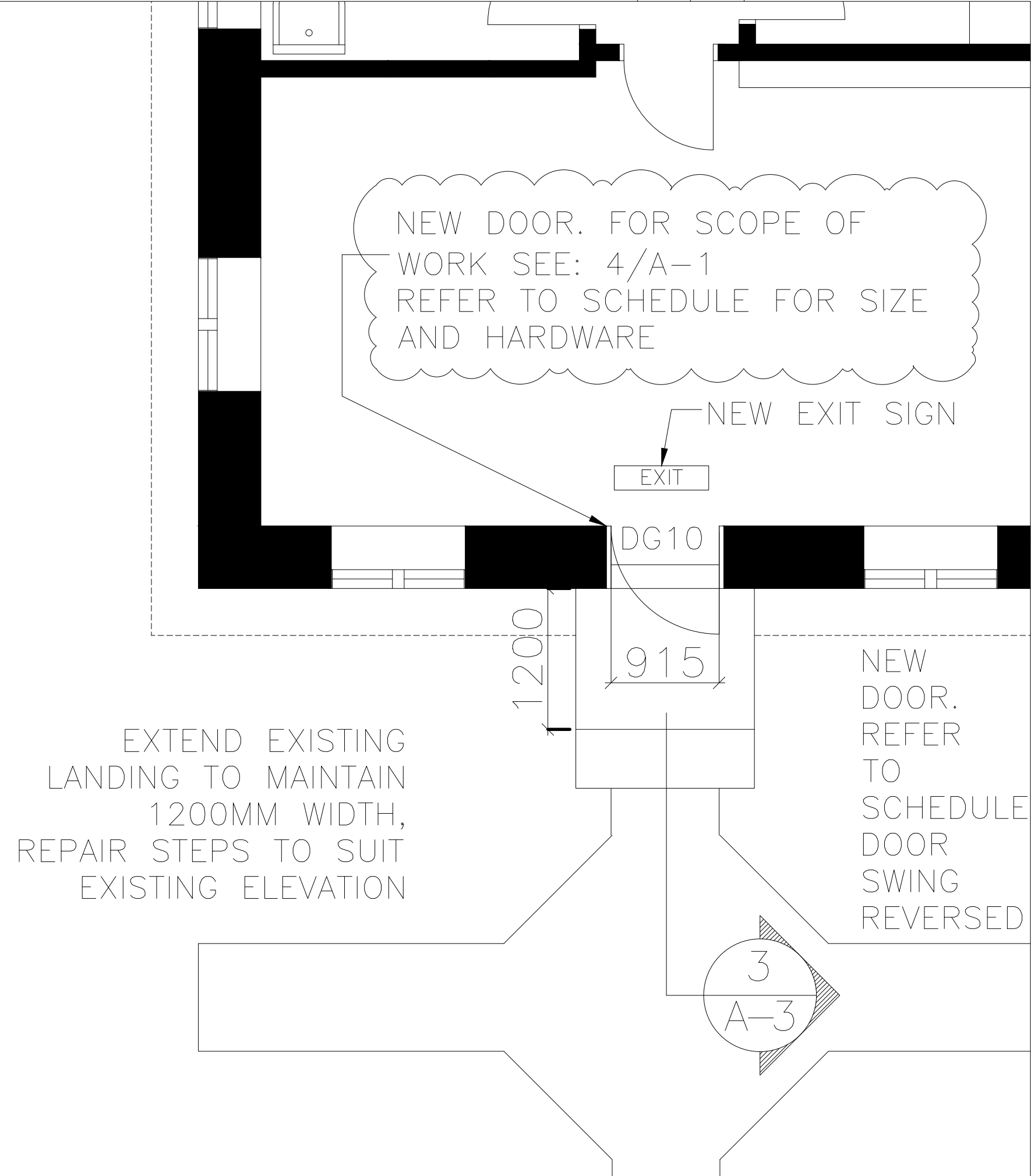


NOTE: THERE AREA EXISTING PAVERS STORED ON SITE THAT MATCH EXISTING. GC TO COORDINATE WITH THE CITY OF MISSISSAUGA PROJECT MANAGER.

3 DETAIL FOR LANDING EXTENSION
A-3 SCALE: 1:25



4 DOOR DETAIL
A-3 SCALE: 1:25

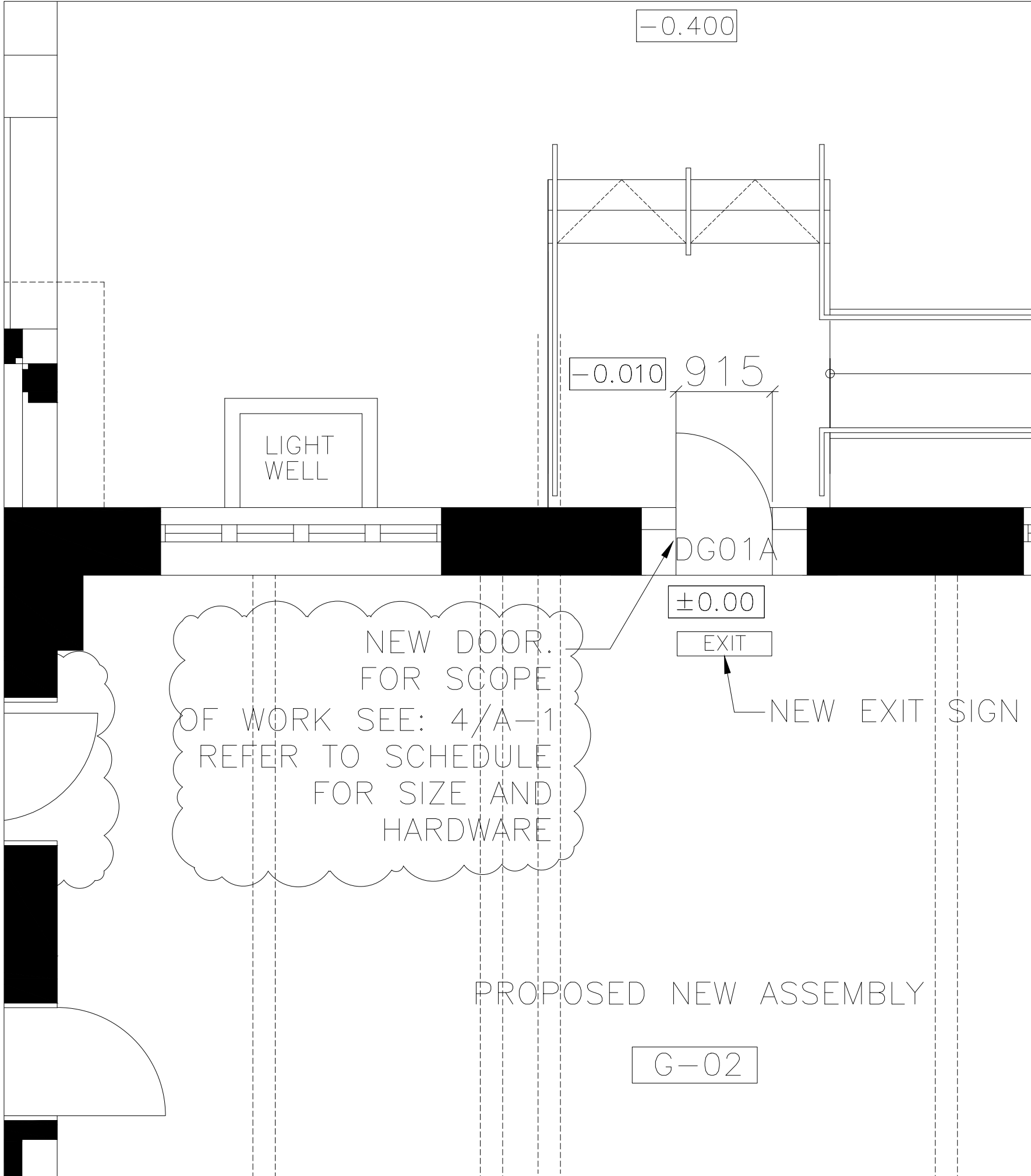


5 DOOR DETAIL
A-3 SCALE: 1:25

DOOR SCHEDULE

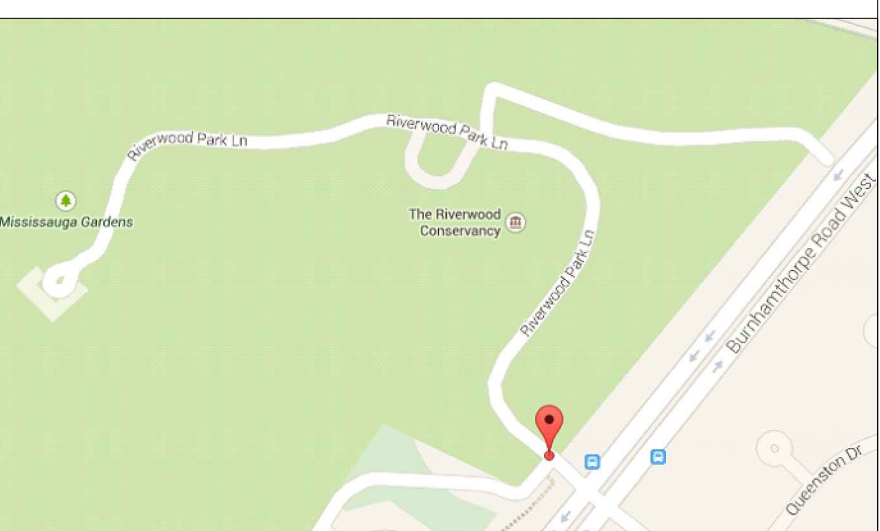
NUMBER	ROOM NAME	DOOR			FRAME		LABEL	HARDWARE TYPE
		DESCRIPTION/SIZE	FINISH	MATERIAL	FINISH	MATERIAL		
DG-01	PROPOSED NEW ASSEMBLY	EXISTING DOOR TO BE REMOVE AND REINSTALLED TO OPEN TOWARDS DIRECTION OF EXIT						<ul style="list-style-type: none">• BUTT HINGES• ELECTRIC STRIKE & WIRING FOR CARD READER• AUTO DOOR OPERATOR+PUSH PLATES ON BOTH SIDES:<ul style="list-style-type: none">• (ONLY FOR DG-01 & DG-01A)• MANUAL DOOR CLOSER:<ul style="list-style-type: none">• (ONLY FOR DG-10 & DG-17A)• LEVER HANDLE WITH KEY OVERRIDE:<ul style="list-style-type: none">• KICK PLATE• WEATHER STRIPING• DOOR SWEEP• PANIC HARDWARE ON INSIDE ONLY.<ul style="list-style-type: none">• EXIT SIGNAGE ON INSIDE
DG-01A	PROPOSED NEW ASSEMBLY	915MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN		
DG-10	PROPOSED NEW CLASSROOM	915MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN		
DG-17A	EXISTING OFFICE	915MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN		
DG-09	WASHROOM	760MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN	<ul style="list-style-type: none">• BUTT HINGES• AUTO DOOR OPERATOR+PUSH PLATES ON BOTH SIDES• LEVER HANDLE WITH KEY OVERRIDE:<ul style="list-style-type: none">• KICK PLATE• WEATHER STRIPING• DOOR SWEEP	
DG-11	EXISTING OFFICE	915MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN		20 MIN FRR
DG-17	EXISTING OFFICE	915MM WIDTH X 2520MM HT	PT	WOODEN (MATCH EXISTING)	PT	WOODEN	<ul style="list-style-type: none">• BUTT HINGES• LEVER HANDLE WITH KEY OVERRIDE:<ul style="list-style-type: none">• KICK PLATE• WEATHER STRIPING• DOOR SWEEP	
DG-13	CORRIDOR	EXISTING	PT	WOODEN EXISTING	PT	WOODEN EXISTING		20 MIN FRR EXISTING
DG-4A	CORRIDOR	EXISTING	PT	WOODEN EXISTING	PT	WOODEN EXISTING	20 MIN FRR EXISTING	
DG-4B	CORRIDOR	EXISTING	PT	WOODEN EXISTING	PT	WOODEN EXISTING	20 MIN FRR EXISTING	

3 DOOR SCHEDULE
A-3

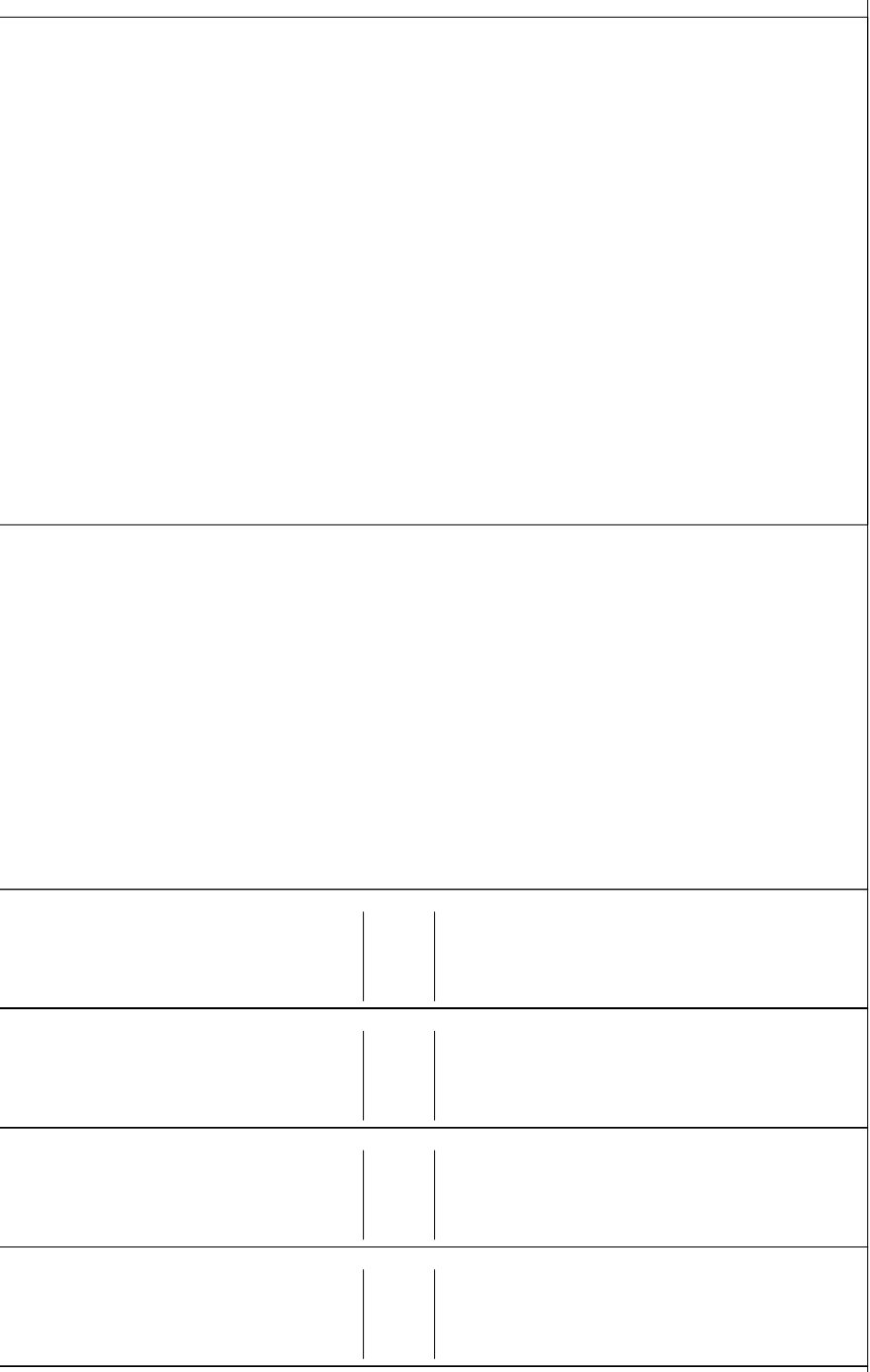


6 DOOR DETAIL
A-3 SCALE: 1:25

LOCATION PLAN



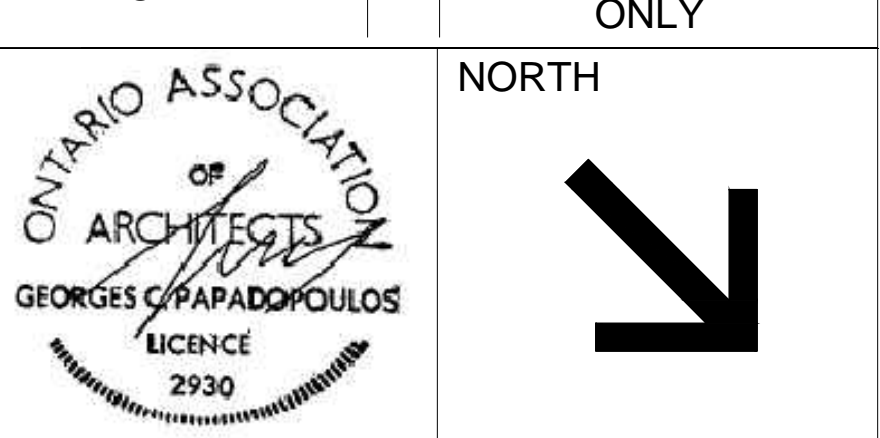
KEY PLAN



2 FEBRUARY 15 3 ISSUED FOR COORDINATION

23 DECEMBER 14 2 ISSUED FOR PERMIT

17 DECEMBER 14 1 FOR COORDINATION ONLY



PAPADOPOULOS & PRADHAN ARCHITECTS INC.
28 RIPPLETON ROAD,
TORONTO, ONTARIO, M3B 1H5
TEL 416 490 0685 FAX 416 490 1408
E-MAIL: papaprad1@yahoo.ca

IQBAL & IQBAL
ASSOCIATES ENGINEERING
48 GENNELA SQUARE, TORONTO,
ONTARIO, TEL: 416 284 6662

PROJECT
CHAPPELL HOUSE, CHANGE OF USE
4300 RIVERWOOD PARK LANE,
MISSISSAUGA, ONTARIO

DRAWING
SECTION, DETAILS AND SCHEDULE
SCALE AS NOTED
DATE 17 DEC 2014
DRAWN BY S.S.
P&P 14-007
DRAWING NO.
A-3

Appendix 2



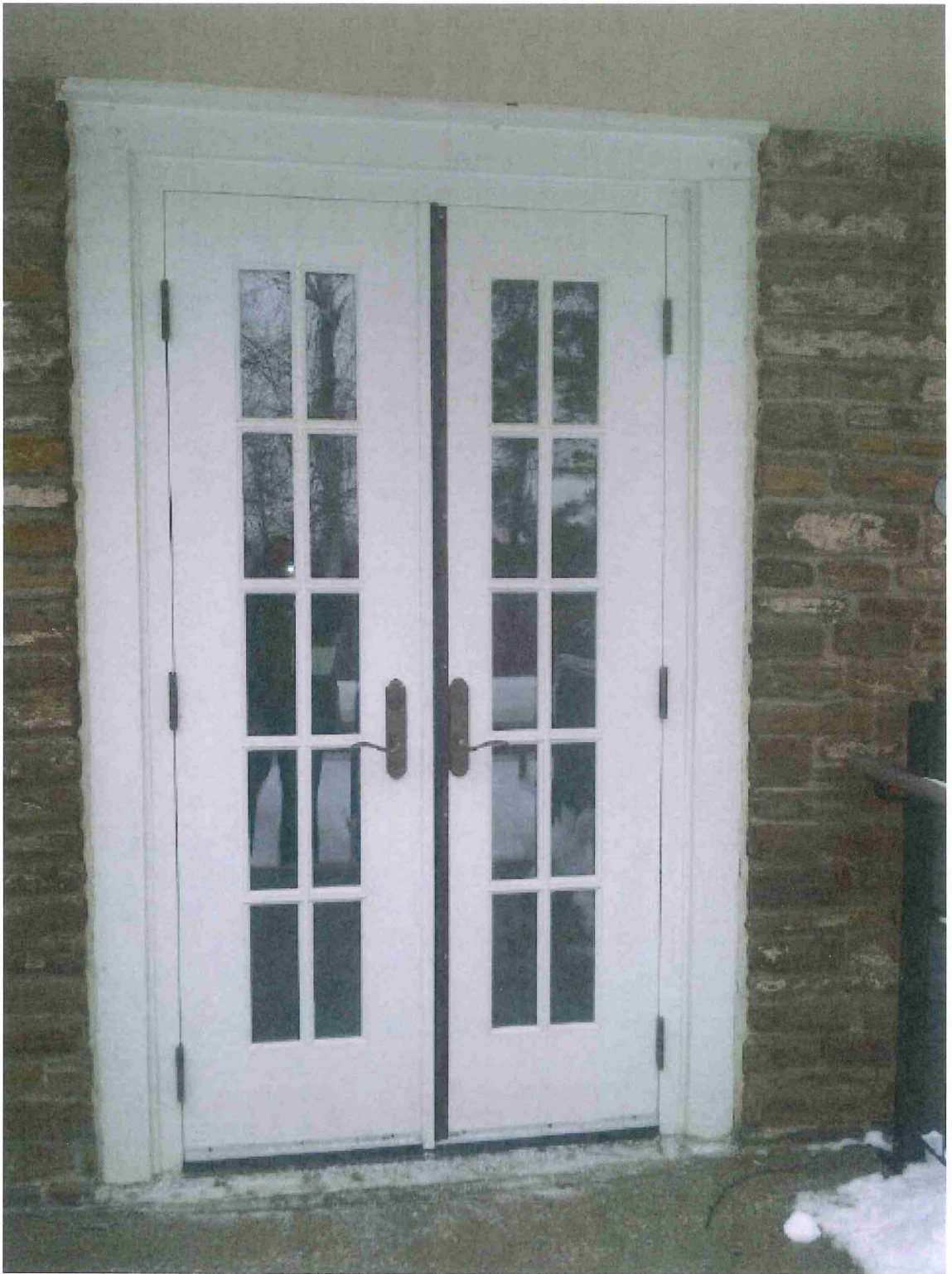
Main Entrance

Appendix 2



Garden Door

Appendix 2



Patio Doors



Corporate Report

Clerk's Files

Originator's
Files

DATE: February 17, 2015

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 10, 2015

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Request to Demolish a Heritage Listed Property**
973 Tennyson Avenue
(Ward 2)

RECOMMENDATION: That the property at 973 Tennyson Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process.

BACKGROUND: Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

The owner of the subject property has submitted a Site Plan application under file SPI 14/123 to replace the existing single detached dwelling with a new one. The subject property is listed on the City's Heritage Register as it forms part of the Lorne Park Estates Cultural Landscape. This area was developed in the late nineteenth century as a summer resort. The private shoreline community retains a cottage country ambiance; its mature tree canopy is of particular note.

COMMENTS:

The property owner requests permission to demolish the existing structure. The Heritage Impact Assessment, by LRA Heritage, is attached as Appendix 1. (The report includes a Tree Inventory and Preservation Plan Report.) It is the consultant's conclusion that the house at 973 Tennyson Avenue is not worthy of heritage designation. Staff concurs with this opinion.

The landscaping and urban design related issues will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding community.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The owner of 973 Tennyson Avenue has requested permission to demolish a structure on a property listed on the City's Heritage Register. The applicant has submitted a documentation report which provides information which does not support the building's merit for designation under the *Ontario Heritage Act*.

ATTACHMENTS:

Appendix 1: Heritage Impact Assessment



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Paula Wubbenhorst, Senior Heritage Coordinator

Memorandum

Community Services Department
Culture Division



TO: Chair and Members of the Heritage Advisory Committee

FROM: Paula Wubbenhorst, Senior Heritage Coordinator

DATE: February 17, 2015

FILE: 866 Tennyson Avenue

SUBJECT: **Heritage Impact Statement** (NOTE: HIS available upon request)
866 Tennyson Avenue

The subject property is listed on the City's Heritage Register as it forms part of the Lorne Park Estates Cultural Landscape. The proponent proposes to renovate the existing house. Exterior changes are minimal. The Heritage Impact Statement, by David Small Designs, has been provided for your information.

Paula Wubbenhorst
Senior Heritage Coordinator
Culture Division
905-615-3200, ext. 5385
paula.wubbenhorst@mississauga.ca

Memorandum



TO: Chair and Members of the Heritage Advisory Committee

FROM: Mumtaz Alikhan, Legislative Coordinator, Heritage Advisory Committee

DATE: March 3, 2015

SUBJECT: 2015 Heritage Advisory Committee Meeting Dates

This Memorandum is to advise that the following Heritage Advisory Committee (HAC) meeting dates have been scheduled for the rest of 2015:

- Tuesday, March 10, 2015
- Tuesday, April 14, 2015
- Tuesday, May 19, 2015
- Tuesday, June 23, 2015
- Tuesday, July 21, 2015
- Tuesday, August 18, 2015 (if needed)
- Tuesday, September 15, 2015
- Tuesday, October 13, 2015
- Tuesday, November 17, 2015

All meetings will be held at 9:30 a.m. in the Council Chamber located on the 2nd floor of the City of Mississauga's Civic Centre, 300 City Centre Drive, Mississauga, Ontario, L5B 3C1. Please note that one or more of the above meetings may be cancelled due to insufficient agenda items.

It is important to contact me in advance of meetings if you will be absent and/or late so that quorum issues can be anticipated and dealt with accordingly.

Sincerely,

Mumtaz Alikhan
Legislative Coordinator, Heritage Advisory Committee
Corporate Services Department, Legislative Services Division
300 City Centre Drive, 2nd Floor, Mississauga, ON, L5B 3C1
Telephone: 905-615-3200, ext. 5425; Fax: 905-615-4181
Email Address: Mumtaz.Alikhan@mississauga.ca