

# AGENDA



## HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, JULY 22, 2014 – 9:30 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

### Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

**NOTE: Heritage Advisory Committee Members are encouraged to visit the properties listed on agendas prior to Committee meetings in order to gain information and context.**

CONTACT PERSON: Mumtaz Alikhan, Legislative Coordinator, Office of the City Clerk

Telephone Number: 905-615-3200, ext. 5425; Fax Number: 905-615-4181

Email Address: [mumtaz.alikhan@mississauga.ca](mailto:mumtaz.alikhan@mississauga.ca)

CALL TO ORDER

APPROVAL OF AGENDA

DECLARATIONS OF CONFLICT OF INTEREST

DEPUTATIONS

- A. Alterations to 271 Queen Street South – Megan Hobson, Heritage Conservation Consultant and Steve Hamelin, Architect

MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting held on June 17, 2014
2. Alterations to 271 Queen Street South - DIRECTION REQUIRED  
Memorandum dated July 2, 2014 from Laura Waldie, Heritage Coordinator, entitled *Alterations to 271 Queen Street South*.
3. Alteration to a Designated Part V Structure, 1092 Old Derry Road, Meadowvale Village Heritage Conservation District (Ward 11)

RECOMMENDATION FOR APPROVAL

That the property owner's request to alter the property located at 1092 Old Derry Road (Ward 11), which is Designated under Part V of the Ontario Heritage Act as part of the Meadowvale Village Heritage Conservation District, be recommended for approval, as described in the Corporate Report dated June 23, 2014, from the Commissioner of Community Services.

4. Alteration to a Designated Part V Structure, 7015 Pond Street, Meadowvale Village Heritage Conservation District (Ward 11)

RECOMMENDATION FOR APPROVAL

That the property owner's request to alter the property located at 7015 Pond Street (Ward 11), which is Designated under Part V of the Ontario Heritage Act as part of the Meadowvale Village Heritage Conservation District, be recommended for approval, as described in the Corporate Report dated June 23, 2014, from the Commissioner of Community Services.



5. Request to Demolish a Heritage Listed Property Within a Cultural Landscape, 75 Inglewood Drive (Ward 1)

RECOMMENDATION FOR APPROVAL

That the property at 75 Inglewood Drive (Ward 1), which is listed on the City's Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated June 25, 2014 from the Commissioner of Community Services.

6. Request to Demolish a Heritage Listed Property, 24, 26, 28 and 32 Dundas Street East (Ward 7)

RECOMMENDATION FOR APPROVAL

That the properties at 24, 26, 28 and 32 Dundas Street East (Ward 7), which are individually listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated June 26, 2014 from the Commissioner of Community Services.

7. Monthly Update Memorandum from Heritage Planning  
Memorandum dated July 2, 2014 from Laura Waldie, Heritage Coordinator, providing a monthly update from Heritage Coordinators for receipt.

8. SUBCOMMITTEE UPDATES FROM CHAIRS

Heritage Designation Subcommittee

Public Awareness Subcommittee

9. INFORMATION ITEMS

- (a) 1050 Old Derry Road Notice of Appeal to the Ontario Municipal Board (OMB)  
Letter dated June 27, 2014 from the OMB acknowledging receipt of an appeal by Neil O'Connor, owner of 1050 Old Derry Road to be received for information.

DATE OF NEXT MEETING – Tuesday, September 9, 2014 at 9:30 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT



## **DRAFT MINUTES**

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### **HERITAGE ADVISORY COMMITTEE**

THE CORPORATION OF THE CITY OF MISSISSAUGA

**TUESDAY, JUNE 17, 2014 – 9:30 A.M.**

**COUNCIL CHAMBER**

**SECOND FLOOR, CIVIC CENTRE**

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

[www.mississauga.ca](http://www.mississauga.ca)

**MEMBERS PRESENT:**

Councillor George Carlson, Ward 11 (CHAIR)  
Councillor Jim Tovey, Ward 1 (VICE-CHAIR)  
Robert Cutmore, Citizen Member  
Mohammad N. Haque, Citizen Member  
James Holmes, Citizen Member  
Rick Mateljan, Citizen Member  
Cameron McCuaig, Citizen Member

**MEMBER ABSENT:**

David Dodaro, Citizen Member  
Michael Spaziani, Citizen Member  
Michelle Walmsley, Citizen Member  
Matthew N. Wilkinson, Citizen Member

**STAFF PRESENT:**

Laura Waldie, Heritage Coordinator  
Greg Magirescu, Acting Manager, Culture & Heritage Planning  
Mark Warrack, Cultural Planner, Culture Division  
Meaghan Fitzgibbon, Researcher, Culture Division  
Mumtaz Alikhan, Legislative Coordinator

CALL TO ORDER – 9:37 a.m.

APPROVAL OF AGENDA

Approved (J. Holmes)

DECLARATIONS OF CONFLICT OF INTEREST

DEPUTATIONS - Nil

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

R. Mateljan noted that the conclusion under Item 2 - Demolition of a Designated Part V Structure – 1050 Old Derry Road, Meadowvale Village Heritage Conservation District (Ward 11), be amended as follows: “that although the property may not be worthy of an individual Part IV Heritage Designation, it does make up the character of the area. The Committee further noted that if the lot was vacant or the property destroyed, then the proposal may be acceptable.”

Approved (R. Mateljan)

2. Request to Demolish a Listed Property Within a Cultural Landscape – 49 Queen Street South (Ward 11)

Corporate Report dated May 20, 2014, from the Commissioner of Community Services.

Mr. Rafid Kustou, Rally Architects, noted that the owner also owns the Heritage Designated Property on 47 Queen Street South and therefore having the same owner will make zoning easier. Councillor Carlson commented that the project complement the historic building on 45 Queen Street South.

RECOMMENDATION

HAC-0034-2014

That the property located at 49 Queen Street South, which is listed on the City's Heritage Register as part of the Streetsville Core Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structures be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated May 20, 2014, from the Commissioner of Community Services.  
(Ward 11)

Approved (Councillor J. Tovey)

3. Request to Alter a Heritage Designated Property, Old Port Credit Village Heritage Conservation District – 41 Bay Street (Ward 1)

Corporate Report dated May 21, 2014 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0035-2014

That the request to alter the property at 41 Bay Street, as described in the Corporate Report dated May 21, 2014 from the Commissioner of Corporate Services, be approved. (Ward 1)

Approved (J. Tovey)

4. Request to Demolish a Heritage Listed Property Within a Cultural Landscape 3031 Churchill Avenue (Ward 5)

Corporate Report dated May 21, 2014 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0036-2014

That the property at 3031 Churchill Avenue, which is listed on the City's Heritage Register as part of the War Time Housing Cultural Landscape in Malton, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated May 21, 2014 from the Commissioner of Community Services. (Ward 5)

Approved (R. Cutmore)

5. Request to Demolish a Heritage Listed Property Within a Cultural Landscape 3032 Churchill Avenue (Ward 5)

Corporate Report dated May 12, 2014 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0037-2014

That the property at 3032 Churchill Avenue, which is listed on the City's Heritage Register as part of the War Time Housing Cultural Landscape in Malton, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated May 12, 2014 from the Commissioner of Community Services. (Ward 5)

Approved (J. Tovey)

6. Request to Demolish a Heritage Listed Property Within a Cultural Landscape  
1407 Stavebank Road (Ward 1)

Corporate Report dated May 12, 2014 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0038-2014

That the property at 1407 Stavebank Road, which is listed on the City's Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated May 12, 2014 from the Commissioner of Community Services. (Ward 1)

Approved (R. Mateljan)

7. Request to Demolish a Heritage Listed Property Within a Cultural Landscape  
52 Inglewood Drive (Ward 1)

Corporate Report dated May 12, 2014 from the Commissioner of Community Services.

RECOMMENDATION

HAC-0039-2014

That the property at 52 Inglewood Drive, which is listed on the City's Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect hereto, as described in the Corporate Report dated May 12, 2014 from the Commissioner of Community Services.  
(Ward 1)

Approved (R. Cutmore)

8. Monthly Update Memorandum from Heritage Planning - Nil

9. Status of Outstanding Issues Chart from the Heritage Advisory Committee

RECOMMENDATION

HAC-0040-2014

That the chart prepared by Mumtaz Alikhan, Legislative Coordinator, with respect to the Heritage Advisory Committee's status of outstanding issues as at June 17, 2014, be received for information.

Received (J. Tovey)

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10. SUBCOMMITTEE UPDATES FROM CHAIRS

Heritage Designation Subcommittee – Nil

Public Awareness Subcommittee - Nil

11. INFORMATION ITEMS

Mark Warrack, Cultural Planner, Culture Division, introduced Greg Magirescu, the new Acting Manager, Cultural Heritage Planning, as well as Meaghan Fitzgibbon, Part Time Researcher who will be working on various research projects.

- (a) Notice of Public Information Centre – Municipal Class Environmental Assessment Study for Second Line West Pedestrian/Cyclist Crossing of Highway 401

Letter dated May 16, 2014 from AECOM notifying that the Second Line West vehicular crossing of Highway 401 is being removed to accommodate the widening of Highway 401.

The Chair commented that the residents are pleased that the project is going ahead, but unhappy with the resulting loss of the bridge.

RECOMMENDATION

HAC-0041-2014

That the Letter dated May 16, 2014 from AECOM entitled Municipal Class Environmental Assessment Study for Second Line West Pedestrian/Cyclist Crossing of Highway 401 advising that the Second Line West vehicular crossing of Highway 401 is being removed to accommodate the widening of Highway 401, be received for information.

Received (J. Holmes)

OTHER BUSINESS

- (a) In response to Mr. McCuaig's query with respect to the anticipated building permit application for the heritage listed Clarkson Corners site going through the Committee and the Cultural Heritage Assessment, Ms. Waldie advised that once the application is received, it will go through the site plan approval process and Heritage staff will be included on the Comments. With respect to the Cultural Heritage Assessment, research is underway by staff and once completed, a Corporate Report will be brought to the Committee in the Fall. Mr. McCuaig expressed concern that the owner had made several changes to the oldest buildings in Mississauga without consultation. Ms. Waldie advised that the stop work order will ensure no further work is carried out.

- (b) Councillor Tovey advised Committee Members to note that September 7<sup>th</sup>, 2014 is the 100<sup>th</sup> Anniversary of the Princess Patricia Light Infantry and there will be a service at 10 a.m. held at the Trinity United Church along with plaque dedications and running of the scrolls for the fallen soldiers.
- (c) Mr. Cutmore advised that the Port Credit Business Improvement Area (BIA) is sponsoring a Heritage Walk on the last Saturday every month for the rest of 2014.

DATE OF NEXT MEETING – Tuesday, July 22, 2014 at 9:30 a.m., Council Chamber

ADJOURNMENT – 10:04 a.m. (Councillor J. Tovey)

**Memorandum**Community Services Department  
Culture Division


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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Laura Waldie, Heritage Coordinator

**DATE:** July 2, 2014

**SUBJECT:** **Alterations to 271 Queen Street South**

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On June 13, 2014 Heritage Planning received a Heritage Impact Statement from Heritage Conservation Consultant Megan Hobson for 271 Queen Street South. This property is Designated under Section 29 of the Ontario Heritage Act.

The architect, Steve Hamelin, on behalf of the property owner requested this application come to the July 22<sup>nd</sup> Heritage Advisory Committee meeting. However, there have been some questions raised by Heritage Planning staff about discrepancies found with the drawings, the content of the Heritage Impact Statement, and the scope of work provided by the property owner on the heritage permit application. The original application and HIS are attached for your review.

In order to keep the process moving forward for the property owner, Heritage Planning staff have requested the architect, heritage consultant and property owner to provide a deputation to the July 22<sup>nd</sup> HAC meeting to explain the questions staff have raised. These questions include, but are not limited to:

1. The ground floor is proposed to be lowered two feet, but the drawings don't indicate this. Stairs leading down on the drawings are not indicated. How will this actually be done?
2. The top of the second floor on drawing A10 seems to go through the middle of the window. How will this look from the outside?
3. How will the wood storefront façade be adhered to the building? Will this damage the existing masonry? Has this been tested to see if it will work?
4. Why does a larger front door need to be added? Heritage Planning does not support the larger door aperture.
5. What is the proposed signage and lighting?
6. How much larger will the ground floor windows be? The scope of work just says "larger".
7. The rear façade will have a lot of brick removed, especially to the upper floor area to accommodate the windows and balcony. Has it been determined how this will affect the stability and integrity of the structure. Will there be enough upper wall support to make this possible? Is this level of intervention appropriate.
8. Stabilisation or removal of all chimneys. This has to be determined to make a recommendation. Heritage conservation principles would support the retention and conservation of chimneys.



While Heritage Planning staff are very supportive of the new property owner's desire and commitment to adaptively re-use this building, they would also like to consider requesting a Letter of Credit to ensure the proposed work on the building is undertaken correctly and would like to discuss the option of placing a heritage easement on the property as well.

Heritage Planning staff are hoping that this working session with the Heritage Advisory Committee and the property owner will provide some clarity with the project to move forward with a recommendation.

Appendix 1: Heritage Property Permit and  
Scope of Work Letter

Appendix 2: Heritage Impact Statement by  
Megan Hobson



Laura Waldie  
Heritage Coordinator  
Culture Division  
905-615-3200, ext. 5366  
[laura.waldie@mississauga.ca](mailto:laura.waldie@mississauga.ca)

# Heritage Property Permit Application



The Corporation of the City of Mississauga  
Community Services  
Culture Division  
201 City Centre Drive, Suite 202  
Mississauga, ON L5B 2T4  
FAX: 905-615-3828  
www.mississauga.ca/heritageplanning

Personal information collected on this form and other required documents is collected under the authority of the Ontario Heritage Act, s.33(1)(2) and s.42 (1,2,1,2,2) and City of Mississauga Heritage By-law 215-07 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga ON L5B 2T4. Telephone 905-615-3200 ext. 5365.

## LOCATION DETAILS

(Please Print Clearly)

For Office Use Only:

Heritage Property Permit Number: \_\_\_\_\_

Will the Heritage Advisory Committee review be required? ☐ Yes ☐ No

Municipal Address: 271 QUEEN ST. S.

Legal Address: PT LT 21, PL STR-3 DES PT 1 PL 43R -10548

Property Owner: ONTARIO INCORPORATEE

Contact Address: 2417289 5144 FOREST HILL DR., MISSISSAUGA, ON L5M 5A3

Phone: 647 890 1426 Fax: \_\_\_\_\_ Email address: PATRICIA.PHAN@GMAIL.COM

## HERITAGE DESIGNATION BY-LAW NUMBER (if applicable): \_\_\_\_\_

What type of Permit is Required?

Alteration or addition

☒ Yes ☐ No

Demolition

☐ Yes ☐ No

New Construction

☐ Yes ☐ No

Repeal of Designation By-law

☐ Yes ☐ No

Is there a corresponding application, such as:

a) Building permit number \_\_\_\_\_

b) Site Plan application number \_\_\_\_\_

c) Rezoning application number \_\_\_\_\_

d) Other \_\_\_\_\_

Description of Work to be Completed:

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

Name: PATRICIA PHAN HONG

Please Print

Date: 2014/06/12

YYYY / MM / DD

Signature (of property owner):

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5366

## 271 Queen Street South, Mississauga

### Description of Work to be Completed:

- Creation of an additional second floor within the exiting building envelope to create three floors and a loft. Current Building has 2 floors.
- Proposed main floor will be lowered 2'-0" below existing main floor, to accommodate increased floor heights for proposed main and second floors.
- Reconfiguration of the interior to contain 2 commercial units including a retail bakery and Group E Business Mercantile on the ground floor, 4 residential units on the 2<sup>nd</sup> Floor and 1 residential unit with loft located at the rear of the building that will not be visible from Queen Street, on the 3<sup>rd</sup> floor.
- Repair of all exterior masonry
- Repairs to roof as required
- Stabilization or removal of all four chimneys as required
- Complete window and door replacement. Modern replacements to be compatible with the *Streetsville Design Guidelines* and appropriate to the historic character of the building.
- Scrape, prime and re-paint portions of the front façade that have pre-existing paint finishes. Colour to be compatible with *Streetsville Design Guidelines* and appropriate to the historic character of the building.
- Construction of a new ground floor commercial façade in wood on top of the existing brick facade. Design to be compatible with *Streetsville Design Guidelines* and appropriate to the historic character of the building.
- Enlargement of existing ground floor windows on the main façade to accommodate slightly larger display windows. Removal of a small amount of original brick and removal of some new brick and concrete used to fill a pre-existing display window. Window size, shape and configuration will be stylistically compatible with the original design of the façade.
- Installation of new commercial signage. Design to be compatible with *Streetsville Design Guidelines* and appropriate to the historic character of the building.
- Removal of all interior finishes and walls. Replacement with modern finishes.
- Removal of some brick units on the rear façade for installation of a large picture window
- Additional metal fire escapes on side elevations as per building code.

Name: PATRICIA PHAN HANG Date: 2014 / 06 / 12  
 Please Print YYY/YY/MM/DD

Signature (of property owner): 

# HERITAGE IMPACT STATEMENT



271 QUEEN STREET SOUTH, MISSISSAUGA  
Former Odd Fellows' Hall (1875)

DRAFT REPORT  
09 MAY 2014

Megan Hobson, M.A., Dipl. Heritage Conservation

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## **BACKGROUND & METHODOLOGY**

This report was prepared by heritage consultant Megan Hobson for the property owners of 271 Queen Street South as a requirement for obtaining a heritage permit for a proposed mixed-used commercial/residential development. The report is in accordance with the City of Mississauga's *Terms of Reference for Heritage Impact Statements*.

The proposed development will involve exterior and interior alterations to the former Odd Fellows' Hall constructed in 1875. (See Appendix C for Architectural Drawings) This building has served a number of uses since the Odd Fellows Lodge closed in 1956. The building has undergone several unsympathetic alterations and is currently vacant and in a poor state or repair. It is Designated under Part IV of the Ontario Heritage Act for its contextual significance in the historic village of Streetsville and has been identified as a Landmark building. (See Appendix B for By-law 122-83). A number of un-authorized alterations have been made by previous owners since its Designation in 1983. Many of the original exterior and interior features have been stripped from the building. It is currently vacant and has not been well maintained for some time.

A site visit was undertaken by Megan Hobson on June 5<sup>th</sup>, 2014 to assess and document the heritage attributes and current condition of the property. (See Appendix A for Site Photos) Historical research was carried out, including a review of relevant primary and secondary sources, and a title search to determine past ownership of the property.<sup>1</sup> (See Appendix A for Historic Images). Various stakeholders were consulted including the property owner, architect Steve Hamelin, heritage staff and archivists Matthew Wilkinson at Heritage Mississauga and Ann Byard at the Streetsville Archives. Background information including previous heritage reports and relevant planning documents were provided by Laura Waldie, Senior Heritage Planner at the City of Mississauga.

## **HERITAGE PLANNING CONTEXT**

The subject property is a Designated Heritage Property protected by the Part IV of the Ontario Heritage Act and City of Mississauga By-law Number. Mississauga's official planning policies support the Provincial Policy on cultural heritage resources which states that municipalities 'shall protect significant cultural heritage resources'. As a Designated Heritage property, a *Heritage Impact Statement* is required for any significant alteration to the building on that property. This report must be prepared by a qualified heritage consultant and meet all requirements in *Terms of Reference for Heritage Impact Statements* prepared by the City of Mississauga. This report is reviewed by Heritage Planning Staff and the Municipal Heritage Committee and a recommendation is made to Council regarding the development proposal.

The subject property is located on the east side of Queen Street South in the historic core of Streetsville, a former village that is now part of the City of Mississauga. (Appendix A; Figure 1)

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<sup>1</sup> A title search back to the original Crown grant was carried out by Chris Aplin, MCA Paralegal Services, Brampton.

This is a special policy area subject to the Historic Streetsville Design Guidelines developed to ensure that any alterations to existing buildings or new developments will enhance the historic character of the area. This area contains a significant concentration of Designated and Listed 19<sup>th</sup> century buildings. Designated heritage properties located near the subject property include: Streetsville United Church (1875) which is directly opposite at 274 Queen Street, Franklin House (c. 1850) which is located one lot over to the north at 263-65, and St. Andrew's Presbyterian Church (1868) located a short distance to the south at 295 Queen Street South. (See Appendix A; Figure 2)

## LOCATION AND SURROUNDINGS

The subject property is located on the east side of Queen Street South just south of the main commercial hub Streetsville centered around the intersection of Main and Queen. The village is located between the Credit River and the former Credit Valley Railway line now operated by Go Transit. (Appendix A; Figure 1)

Streetsville was named after Timothy Street (1777-1848) a prominent early citizen and landowner. The subject property is located on a village lot subdivided by Timothy Street (a relative) in 1856 and transferred to the Independent Order of Odd Fellows in 1875.

Queen Street is a busy commercial strip lined with small-scale buildings containing a range of businesses and services. This area is subject to the *Historic Streetsville Design Guidelines* intended to preserve the scale and character of the streetscape. The 19<sup>th</sup> century streetscape is still clearly legible. The subject property has been identified as a Landmark Building in this streetscape. (Appendix A; Figure 4 and Figure 6)

The subject property is located on a lot that is significantly larger than those associated with other commercial properties in the historic core. It is similar in scale to lots just south of core that contain buildings associated with religious or institutional uses. Like other commercial properties on Queen Street it is close to the street. (Appendix A; Figure 2)

## SITE DESCRIPTION

### **(SELECTED IMAGES INCLUDED BELOW. FOR FULL DOCUMENTATION SEE APPENDIX A; ILLUSTRATIONS)**

The subject property contains a large red brick building originally constructed in 1875 by Lodge No. 122 of the Independent Order of Odd Fellows (IOOF). The main façade is oriented to Queen Street South and consists of a three-bay symmetrical façade with an arched main entrance flanked by very tall round arched windows. There is a large double window on the 2<sup>nd</sup> floor above the main entrance with tall round arched windows on either side. The main entrance is recessed slightly in a decorative brick arch. The upper floor windows are recessed slightly in brick piers and have decorative brick paneling below the sills. (Appendix A; Figure 12)

The foundation is rubble stone (Figure 6 below) and the exterior walls consist of 4 layers of brick laid in common bond. (Figure 1 below) The brick is coal or wood fired and probably produced locally c. 1875 when the building was originally constructed. Some older 4 over 4 wood sash windows survive (Figure 12 below) but many have been replaced with recent wood windows (Figure 13 below) or metal doors (Figure 15 below). Basement windows on the rear façade have been bricked in. The brick is generally sound but there are localized areas that are in poor condition and areas that have been rebuilt with inappropriate replacement brick, as well as areas that have been re-pointed with inappropriate mortar (Figures 3, 5, and 13 below). Corbelled brick details (x4) on the roofline appear unstable (Figure 9 below) and brick chimneys (x4) have been parged and/or partially rebuilt with a cementitious material (Figure 10 below). The original cornice has been removed and there is a simple capped brick parapet wall on the front with a shallow sloped gable roof behind. (For missing elements see Appendix A; Figure 8)

There are no other structures on the property and the building fills most of the lot. The street frontage is very narrow. There is a one and a half brick commercial building to the north, an empty lot to the south. The lot backs onto the rear of lots fronting on Church Street. There is a loading dock at the rear of the south side elevation. (Appendix A; Figures 3 and 15)

The building is currently vacant and no heating or cooling system was apparent. Several doors and windows on the ground floor are boarded but the building is unsecured due to a large hole in the masonry at the rear of the north side elevation. (Appendix A; Figure 13)

The interior contains two double-height floors and a small loft at the back. The interior appears to have been gutted by a previous owner. Some of the original plaster has survived on the exterior walls on the ground floor but large areas are missing. The plaster is approximately  $\frac{3}{4}$  inch thick and is applied directly to the brick with no lathe. There is no plaster on the lower portion of the wall suggesting there may have been wood paneling here that has been removed. (See Appendix A; Figures 31-46)

The ground floor is one large space with no partition walls. (Appendix A; Figures 31-33) The floors are narrow pine boards 2 ins wide and  $\frac{3}{4}$  in thick. An area at the back that may have contained a stage now has no floor. The basement in this area is exposed and it is currently filled with several feet of water. (Appendix A; Figure 36)

The ground floor ceiling is primarily supported by 3 modern steel I-beams that go through the exterior masonry walls from side to side. In addition, there are 2 original cast iron columns supporting 2 original wood beams that run from the front to the back of the building and are supported on the exterior masonry walls. (Appendix A; Figure 31)

The second floor appears is divided into 3 rooms; one large room across the front and a larger room with an original coved plaster ceiling in the back with a small room off to one side. With the exception of the large room in the back that still has original plaster walls on three sides and the original plaster ceiling, all other internal walls and ceilings have been removed and the studs and roof timbers are now exposed. The floors are wood with boards of varying widths 5-8 inches. (Appendix A; Figure 37-45)



There is some original millwork around windows in the large room in the back including window casings and sills. (Appendix A; Figures 44 and 45) This room contains a modern brick fireplace and stove in the south wall and there is a modern wood stair to the loft on the north wall. (Appendix A; 39)

The loft is a small dry-walled room with a sliding glass door to the roof. The original timber roof framing has been left exposed. (Appendix A; Figure 46)

## **HISTORICAL CONTEXT**

Streetsville, located in the south-east corner of Peel County, was at one time considered the 'Queen of the County'. Streetsville reached its height of prosperity in the 1850s. This prosperity waned slightly when the town was by-passed by the Great Western Railway and Grand Trunk Railway lines in the late 1850s when Brampton rose to prominence in the County. The opening of the Credit Valley Railway (CVR) line through Streetsville in 1879 brought renewed prosperity to the town. The Odd Fellows Hall was constructed in this period of renewed prosperity. (See Appendix A; Figure 7. The 1877 County map shows the CVR Railway line passing through Streetsville)

The Independent Order of Odd Fellows (IOOF) was a fraternal society that originated in Britain. The first lodge in Canada was founded in Montreal in 1843. The first Lodge in Canada West was in Belleville, founded in 1845. Following that, lodges were established in many towns in Ontario and in 1855 the Grand Lodge of Canada West was formed. Initially the Grand Lodge had 12 local Lodges in its jurisdiction but by 1923 there were over four hundred.

The Streetsville Lodge was founded in 1847 and was therefore one of the earliest Odd Fellow lodges in Ontario and one of the earliest fraternal societies founded in Streetsville and perhaps Peel Township.

Land records indicate that a large lot in the Village that belonged to Timothy Street was transferred to the Odd Fellows Society in 1875 for a small sum of \$1.00. The Odd Fellows constructed a large brick building that contained a large public assembly hall on the main floor and a lavish meeting room for the Odd Fellows' on the upper floor. Another large room on the upper floor was used by the Farmers' and Mechanics' Institute as a library and reading room. This collection formed the basis of the Streetsville Library and was housed here until 1902 when the Streetsville Public Library moved to its own premises. (Appendix A; Figure 8)

The Odd Fellows Society was comprised of members of the professional, commercial and social elite and supported various charitable organizations that benefited poor and working class people in the community. One of the principal goals of the organization was to further public education. The public hall on the main floor served as a social, educational and cultural center for the community for many years. Various types of community events were held here including lectures, concerts, plays, dances and banquets. (Appendix A; Figure 9)

The Odd Fellows sold the hall in 1972. Subsequent owners converted it for commercial uses and removed many original features.

The chart below provides a brief chronology of the subject property:

DATE	EVENT
1822	Crown Grant of 200 acres (Lot 3, Concession 4, Township of Toronto) to William Lindsay.
1822	William Lindsay sells 100 acres to Timothy Street
1843	Independent Order of Odd Fellows (IOOF) is introduced into British North America
1847	Streetsville establishes Lodge no. 122 of the IOOF
1855	IOOF establishes the Grand Lodge of Canada West
1856	Timothy Street Registers a Plan for Building Lots in Streetsville (STR-3) Annotation on the plan reads; "N.B. This property is composed of part of Lot No. 3 (West half of same) in the 4 <sup>th</sup> Concession West of Hurontario Street Toronto Tp." 271 Queen Street West is identified on this plan as Lot no. 21. There is a blacksmith shop on the adjacent lot to the south. The plan covers an area between Queen and Church Street from Pine Street east to the division line between Lots 2 and 3. There are 49 building lots of various sizes on the plan. Lot no. 21 (271 Queen Street South) is one of the larger lots.
1876	Lot 21 (271 Queen Street South) is sold by Bennet Franklin et ux to Charles Douglas et al. (There is no record of a transfer from Timothy Street to Bennet Franklin at the Registry Office).
1877	Lot 21 (271 Queen Street South) is sold by Charles Douglas et al. to the Odd Fellows Society for \$1.00. The Odd Fellows finance construction of a large two-storey brick hall that contains a public assembly hall on the first floor and a lavish meeting room on the 2 <sup>nd</sup> floor. The Streetsville lodge is identified as Lodge No. 122 of the Independent Order of Odd Fellows.
1877	The Farmers' and Mechanics' Institute (est. 1858) moves into the Odd Fellows' Hall and occupies a large room on the 2 <sup>nd</sup> floor that served as a library and reading room until 1902. This was Streetsville's first public library.
1877	The River Park Masonic Lodge holds its meetings in the Odd Fellow's meeting room.
1902	Streetsville Library (formerly the Farmers' and Mechanic's Institute) moves out of the Odd Fellows' Hall into its own premises on land purchased from the Cunningham family.
1972	The Odd Fellows' Hall is sold by the IOOF to Susan C. Campbell.
1972	River Park Masonic Lodge that had met in the Odd Fellows' Hall since 1877 moves to new premises.
?	The Odd Fellows' Hall is converted for commercial uses. Subsequent owners make various changes to the building including; removal of architectural features from the facade such as the cornice and roofline ornaments and other stone elements, removal of the gabled architrave over the double windows on the 2 <sup>nd</sup> floor, application of commercial cladding and glazing on the ground floor, painting of the masonry on the front façade, removal of original wood sash and wood panel doors including the front door, inappropriate masonry repairs
1983	Designation under Part Iv of the Ontario Heritage Act by Corporation of the City of Mississauga By-Law 122-83 for its architectural and historical value.

**\* Title Search undertaken by Chris Aplin, MCA Paralegal Services, Brampton.**

## HERITAGE VALUE

Heritage values associated with 271 Queen Street South identified by the City of Mississauga in By-law 122-83 are contextual. (See Appendix B) Schedule A of the B-law contains a 'Short Statement of the Reasons for Designation';

Contextually, the building built in 1875, is a landmark building in the historic streetscape of Streetsville's main commercial thoroughfare. The height and prominent façade further enhance the structure's placement in the historic core.

This property does warrant Designation under Part IV of the Heritage Act. This analysis is based on provincially mandated criteria outlined in Regulation 9/06. The rationale is outlined below:

### **Compliance with Ontario Heritage Act, Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest**

According to Subsection 1 (2) of Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest, a property may be designated under section 29 of the Act if it meets one or more of the following criteria:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.

*271 Queen Street South is a representative example of the type of building built by fraternal societies in Ontario in the last quarter of the 19<sup>th</sup> century when these societies were at the height of their influence. Due to the fact that many of its original exterior and interior features have been removed, it can not be considered a good example. It displays a moderately high degree of craftsmanship in terms of its exterior brick work and interior plaster work. It demonstrates a moderately high degree of technical achievement in terms of the large open-span interior spaces achieved through thick masonry walls and timber framing in order to accommodate large public assemblies.*

2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

*271 Queen Street South is associated with the Independent Order of Odd Fellows (IOOF), specifically Streetsville Lodge No. 122 founded in 1847 and is one of the earliest lodges in Ontario. The Streetsville Lodge is significant to the history of Mississauga because it is an example of a private fraternal societies established by local elites to provide charitable services and free public education to working class people before public institutions were well established. The physical fabric of this structure yields information that contributes to an understanding of the community and its culture because it is a large and well constructed assembly hall built and financed by private citizens for public use to benefit the community. In its original state it had an exotic and eclectic architectural style that is associated with the IOOF. Its architectural character is now somewhat diminished due to the removal of many original features including the cornice and other embellishments on the main facade. It was likely designed by a local builder or a*

*member of the lodge but this person has not been identified as of yet. It may be associated with a particular architect, artist, builder, designer or theorist who is significant to the community. It is similar to halls built in the 1870s by fraternal orders in small towns across Ontario.*

3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark.

*271 Queen Street South has significant contextual value as a component of the historic core of Streetsville. Individually it has considerable importance in defining the character of the area because of its scale, its eclectic High Victorian style and its use of locally produced red brick. This has been somewhat diminished by the removal of original exterior features, specifically the elaborate cornice and finials on the roofline and stone decorative details on the main façade. It is a landmark building that occupies a prominent position on Queen Street South in the historic core of Streetsville. It is part of a significant concentration of built heritage resources dating from the mid to late 19<sup>th</sup> century when Streetsville was a prosperous village in Peel County.*

In conclusion, the subject property does meet provincial criteria for individual Designation under Part IV of the Heritage Act.

## **DEVELOPMENT PROPOSAL**

The proposed development will retain the existing building envelope, restore the exterior, and rehabilitate the interior. There will be no change to the footprint or height of the existing building. The interior will be reconfigured to accommodate a retail bakery on the ground floor and residential units on the upper floors. The existing two-storey double height floors and loft will be reconfigured to accommodate three storeys and a loft. This will allow for commercial uses on the ground floor and two floors and a loft above containing residential units.

Changes to the exterior include the addition of a new storefront at ground level and the introduction of windows and doors on the rear façade. The new storefront will cover up portions of the façade that have been previously impacted by inappropriate alterations and repairs. These alterations were done several decades ago and included removal of original brick and the original arched window to install a large rectangular window to the right of the main entrance. This alteration was recently reversed but the opening has been filled with brick that does not match the original and is poorly patched on the interior with concrete block. The new wooden storefront will cover this and create a unified façade that includes arched windows similar to the original masonry openings. The upper floor of the façade which is presently painted will be re-painted in an appropriate colour to further unify the façade.

All existing windows and doors will be removed and replaced with modern units that will be similar in style and configuration to the original 4 over 4 wood sash. Currently less than 50% of the windows and doors are original. The new development proposal will improve the performance of windows and doors and provide a more unified appearance overall.

The introduction of new windows on the rear façade is necessary for the new residential units that will be located there. There are presently no windows in this façade. Since this is a rear

façade close to the back property line and backing on to the rear of properties on Church street, these changes will have no impact on any existing streetscapes.

## **HERITAGE IMPACTS**

Heritage impacts to character defining elements are evaluated in the chart below. Character defining elements are defined as exterior features that contribute to the value of this property as a landmark heritage building within the context of Queen Street South and the historic village of Streetsville.

HERITAGE FEATURE	FIGURE No.	IMPACTS
Exterior red brick masonry, 4 layers thick and original lime mortar joints	1	<u>Minor impacts.</u> The brick will be repaired using appropriate conservation measures. Some brick units will be removed to allow for slightly larger openings for the two ground floor windows on the front elevation and for a large window on the rear elevation. The upper floor will be scraped, primed and re-painted with a breathable paint that will not cause harm to the brick and is reversible using accepted cleaning methods for heritage brick.
Decorative brickwork including herring bone panels between 1 <sup>st</sup> and 2 <sup>nd</sup> storey windows on side elevations, recessed arches around main entrance, brick piers on front and side elevations	2-5	<u>No significant impacts.</u> Decorative brickwork on the ground floor will be covered but not harmed by the installation of new wooden storefront.
Rubble stone foundation	6	<u>No impacts.</u> The foundation will be repaired using appropriate conservation measures.
Stone trim including surviving cut and hammered window sills and corner blocks at grade	7-8	<u>No impacts.</u>
Roofline including corbelled brick at corners	9	<u>No impacts.</u> The corbelled brick at the corners will be repaired using appropriate conservation methods. The roofline will not be altered.
Odd Fellows plaque	11	<u>No significant impacts.</u> The plaque will be retained and painted in a contrasting colour to make it more visible from the ground.
Double-hung 4 over 4 wood sash windows	12	<u>Major impacts.</u> 6 original wood sash windows will be removed and replaced with modern windows or doors.



Figure 1: Original exterior masonry consists of 4 layers of locally produced red brick laid in common bond. Original interior plaster is applied directly to the masonry.

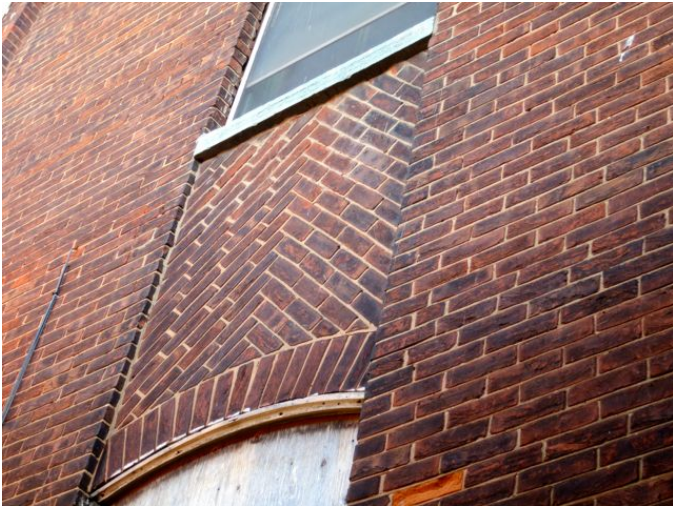


Figure 2: Original decorative brickwork includes herring bone panels between the 1st and 2nd floor windows.

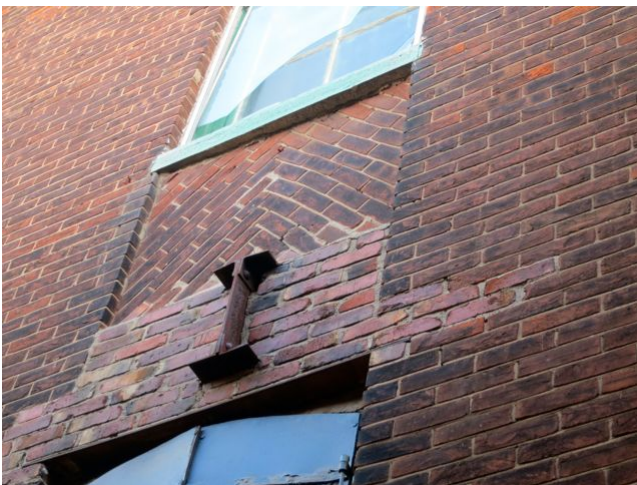


Figure 3: Modern steel I-beam set in the exterior masonry wall. These will not be removed.





Figure 4: Original brickwork includes a recessed arch around the main entrance. This will be preserved under the new wood storefront.



Figure 5: Brick piers on the side elevations that probably housed stove pipes for heating the interior. Damaged brick will be repaired.



Figure 6: Original rubble stone foundation and a brick apron approx. 6 courses high with a beveled cap. The rubble stone foundation will be repaired.



Figure 7: Original cut stone sills with a hammered finish. These will be retained.



Figure 8: Original cut stone corner block at grade. These will be retained.





Figure 9: Original brick corbels at corners of the roofline. These will be repaired.



Figure 10: Original brick chimneys have been parged with a cementitious material. This will be inspected and repaired or removed.



Figure 11: Original Odd Fellows' plaque on the main façade. The plaque will be painted in a contrasting colour to make it more visible from the ground. The brick will be scraped, primed and re-painted with a breathable paint in an appropriate colour.



Figure 12: Large two over two wood sash window on the side elevation. These windows appear in the earliest photo of this building c. 1920. These windows will be removed and replaced with new units that will be similar in style and configuration.



Figure 13: Replacement window on the main facade is in poor condition. Note also the inappropriate modern brick infill and the modern stone sill. The new storefront will cover this area.



Figure 14: Original front doors have been replaced with an inappropriate metal and plate glass unit. Note also that the ground floor is unpainted but the upper storey is painted. The door is framed by a recessed brick arch. The new storefront will replicate this arch.



Figure 15: Several original windows on the ground floor have been replaced by modern metal doors for loading docks at the rear. These will be removed and replaced with new windows or doors that are similar in style and configuration to the original 4 over 4 wood sash windows.

## ALTERNATIVE DEVELOPMENT OPTIONS

HERITAGE FEATURES SUBJECT TO IMPACTS	OPTION A	OPTION B	RECOMMENDED OPTION & RATIONALE
Exterior masonry (1); Painting exterior masonry on the upper floor of the main facade	Removal of paint by a heritage masonry cleaning expert using an appropriate method such as steam cleaning.	Scraping, priming and re-painting of masonry that is currently painted.	Option B. This option is acceptable because the façade is already painted on the upper floor. If the appropriate paint is applied correctly it will not damage the masonry and it is reversible.
Exterior masonry (2); Covering exterior masonry on the ground floor of the main façade with a new wooden storefront	Restoration of the original ground floor based on archival evidence.	Construction of a new wooden storefront with new glazing units.	Option B. This option is acceptable because the ground floor has been changed several times and original components have been removed.
Wood sash; removal of remaining wood sash windows that date from c. 1920 or earlier	Restoration of older wood windows and production of replicas for approximately 60% of the windows that currently have modern windows or doors installed.	Removal and replacement with new windows.	Option B. This is an acceptable option because several of the original windows have already been removed or replaced.

## MITIGATION MEASURES

RECOMMENDED DEVELOPMENT OPTION	MITIGATION MEASURES
Option B. Scraping, priming and re-painting of masonry that is currently painted.	A breathable paint finish should be used so that it will not trap moisture and harm the masonry.
Option B. Construction of a new wooden storefront with new glazing units.	The wooden storefront should be applied in a way that will not harm the masonry. The design of the storefront should be compatible with the style and character of the building and with the Historic Streetsville Design Guidelines.
Option B. Removal and replacement with new windows.	The replacement windows should be similar in style and configuration to the original 4 over 4 wood sash and be compatible with the Historic Streetsville Design Guidelines.



The mitigation measures proposed above have been incorporated into the development proposal submitted by the applicant and are reflected in the drawings included in Appendix C of this report.

Although interior features are not protected under the Designation, all original interior features have been identified and documented in this report as a mitigation measure prior to their removal.

No further mitigation measures are recommended.

## **CONCLUSIONS & RECOMMENDATIONS**

This property has sat vacant for some time. There are holes in the exterior envelope and the interior has been gutted. There is currently several feet of standing water in the basement at the back of the building. In order to ensure the conservation of this building it is imperative that a new use be found before further and non-reversible deterioration occurs. The proposed development that allows for commercial uses on the ground floor and residential units on the upper floors, is appropriate given the location in Historic Streetsville and its proximity to amenities and transportation.

The proposed development involves major impacts to the interior but this area is not protected by the Designation. The interior has already been gutted by a previous owner. Any surviving original features are generally in poor condition and would require substantial expenditure to restore. The proposed development will repair and enhance the exterior in a manner that will not significantly impact any character defining features. The new storefront will respect the original design, unify the façade and hide earlier unsympathetic alterations. The revitalized façade will contribute to the historic character of the streetscape.

Therefore it is recommended that the city approve the proposed new development for 271 Queen Street South since it will ensure conservation of this landmark heritage building, contribute to the vitality of the Historic Streetsville area, and enhance the streetscape.

## **QUALIFICATIONS**

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 5 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*

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Peel County Archives, PAMA (Peel Art Gallery Museum + Archives), 9 Wellington Street East, Brampton, Ontario.

Streetsville Archives, Streetsville Historical Society, Located in the Leslie Log House, 4415 Mississauga Road, Mississauga, Ontario.

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## Appendix C: Development Proposal (Drawings by Steve Hamelin Architecture)



### Figure 1: Proposed Main Facade on Queen Street



Figure 2: Side elevation (south)

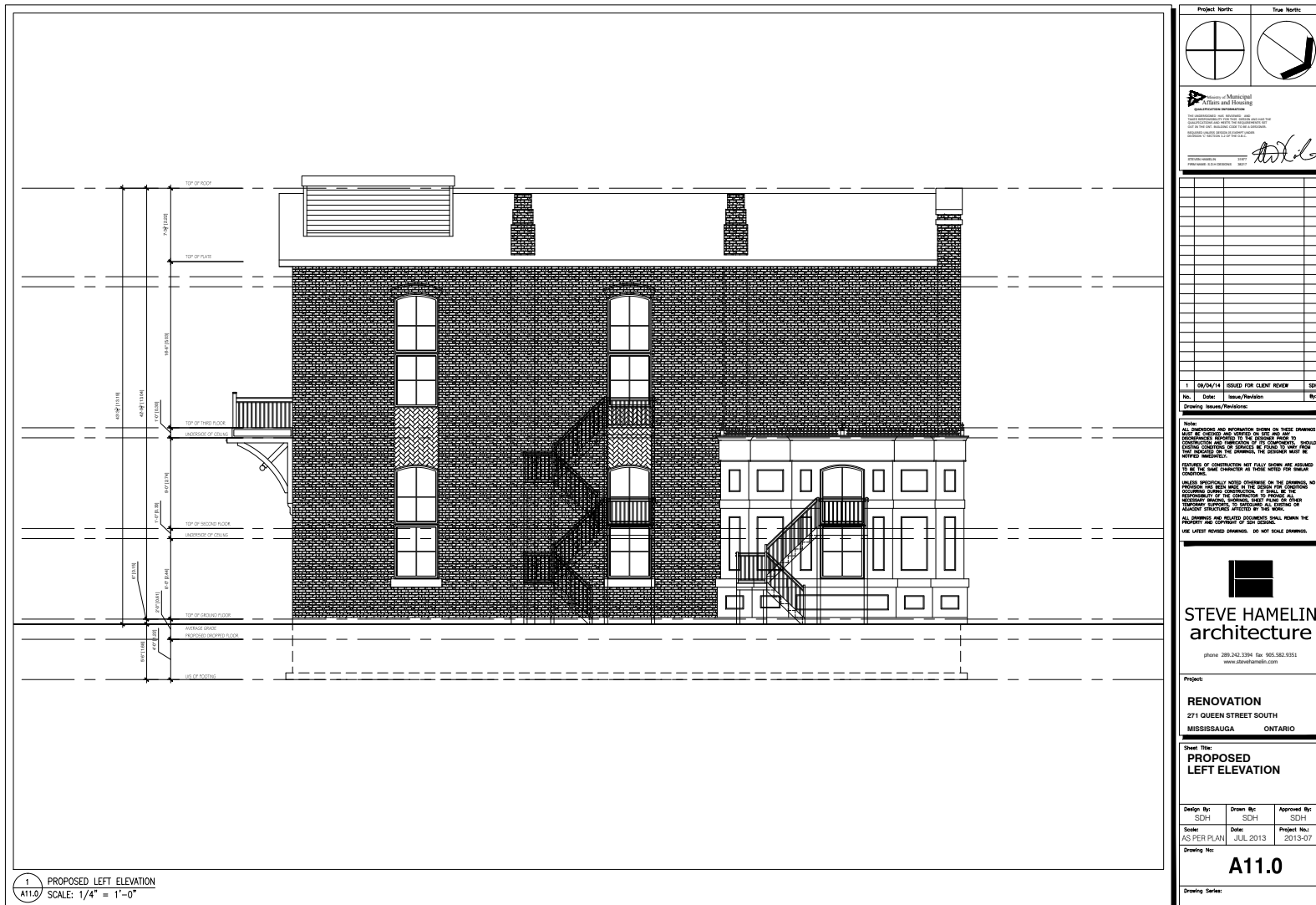
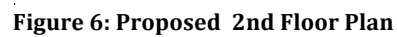


Figure 3: Side Elevation (North)



### Figure 4: Proposed Rear Elevation





**Figure 6: Proposed 2nd Floor Plan**

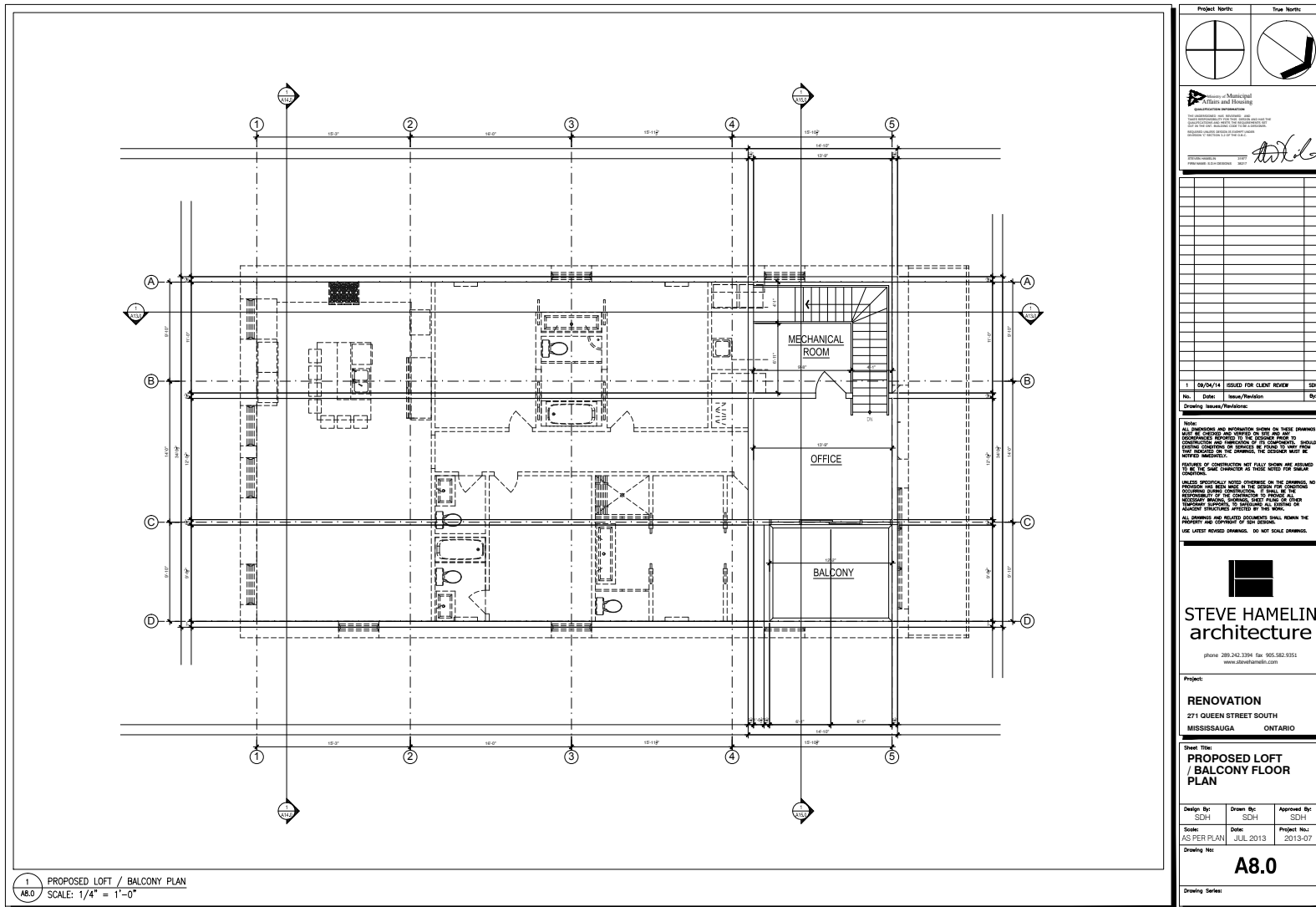


Figure 7: Proposed Loft Floor plan



**Figure 8: Proposed Section 1**





**Figure 9: Proposed Section 2**



### Figure 10: Proposed Section 3



# Corporate Report

Clerk's Files

Originator's  
Files

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**DATE:** June 23, 2014

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: July 22, 2014

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Alteration to a Designated Part V Structure**  
**1092 Old Derry Road**  
**Meadowvale Village Heritage Conservation District (Ward 11)**

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**RECOMMENDATION:** That the property owner's request to alter the property located at 1092 Old Derry Road (Ward 11), which is Designated under Part V of the Ontario Heritage Act as part of the Meadowvale Village Heritage Conservation District be recommended for approval, as described in the Corporate Report dated June 23, 2014, from the Commissioner of Community Services.

**BACKGROUND:** The subject property is a vacant building lot located within the Meadowvale Village Heritage Conservation District under By-law 0078-2014. This building lot was created in the 1990s as a severance from the adjacent property located at 1090 Old Derry Road. The owners of 1090 Old Derry Road retained ownership of the building lot until it was sold to the current owners in 2011. 1092 Old Derry Road has cultural heritage significance because of its association with the adjacent property as the site of the first hotel in Meadowvale Village constructed in the 1830s.

In 2012, the property owners filed Site Plan Application 12/031 to construct a new two storey dwelling. As part of this application, a Heritage Impact Statement prepared by Strickland Mateljan Design and Architecture was submitted for review by Heritage Planning staff

and is attached as Appendix 1.

**COMMENTS:**

Section 42. (2.1) of the Ontario Heritage Act (OHA) provides a municipality with the authority to consider an alteration to any part of a property within an HCD. Specifically, the OHA states, in part, that no owner of a property located within a heritage conservation district shall erect a structure on the property without a heritage permit.

The Site Plan Application was filed before Council adopted the 2014 Meadowvale Village HCD Plan. Therefore, the application must be reviewed and assessed against the 2003 Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District. The Conservation Principles and Design Guidelines are intended to help guide change in the HCD with respect to alterations and new construction. The Conservation Guidelines require that the design of new buildings respects appearance of the adjacent buildings and the overall village appearance. Additionally, it states new builds “should not mimic so that they are indistinguishable from historic originals”.

In section 5.1 of the 2003 Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District design guidelines for new buildings are described. They include, but are not limited to:

- Respect prevailing setbacks
- Maintain typical size and shape of historic front facades
- Use traditional roof materials
- Use exterior materials that are similar in finish and texture to those used historically
- Use ratios of windows to walls that are similar to historic structures.

Therefore, based on the design guidelines for new buildings in the 2003 document, Heritage Planning staff have assessed the application and the architectural designs contained in the Heritage Impact Statement. The following provides an assessment of the impact of the proposed new building in the context of this review.

The building lot retains a number of public to private realm views from Old Derry Road on the north side of the lot and Old Ridge Park behind to the south. The proposed new build respects the setbacks found along Old Derry Road and retains some of the

viewscales from Old Derry Road into the park to the south. The building design contributes to the village as a good example of a modern design which compliments, rather than mimics a historical design. The stucco and board and batten materials cladding and asphalt shingles respect traditional building materials found in the Village. The scale and massing also compliments the shape and form of the adjacent structures and meets all set back and zoning requirements through the Site Plan process. Furthermore, the new building is designed in a way that the original topography of the landscape is being respected.

Based on this assessment, it is Heritage Planning staff's opinion that the proposed two storey addition does not detract from the cultural heritage value of the subject property, the adjacent properties or from the village character. This is also the finding of the Heritage Impact Statement. It is the opinion of Heritage Planning that the proposal complies with and supports the 2003 Design Guidelines and the alteration to the subject property be recommended for approval.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The property owner of 1092 Old Derry Road has requested permission to alter a property located within the Meadowvale Village HCD. Heritage Planning staff recommend the owner's request for alteration be recommended for approval.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement by Strickland Mateljan Design and Architecture



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Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

*Prepared By: Laura Waldie, Heritage Coordinator*

***FEBRUARY, 2014***

Revised: May 16, 2014

***HERITAGE IMPACT STUDY  
IMPACT OF PROPOSED NEW RESIDENCE  
1092 OLD DERRY RD. W., MISSISSAUGA***

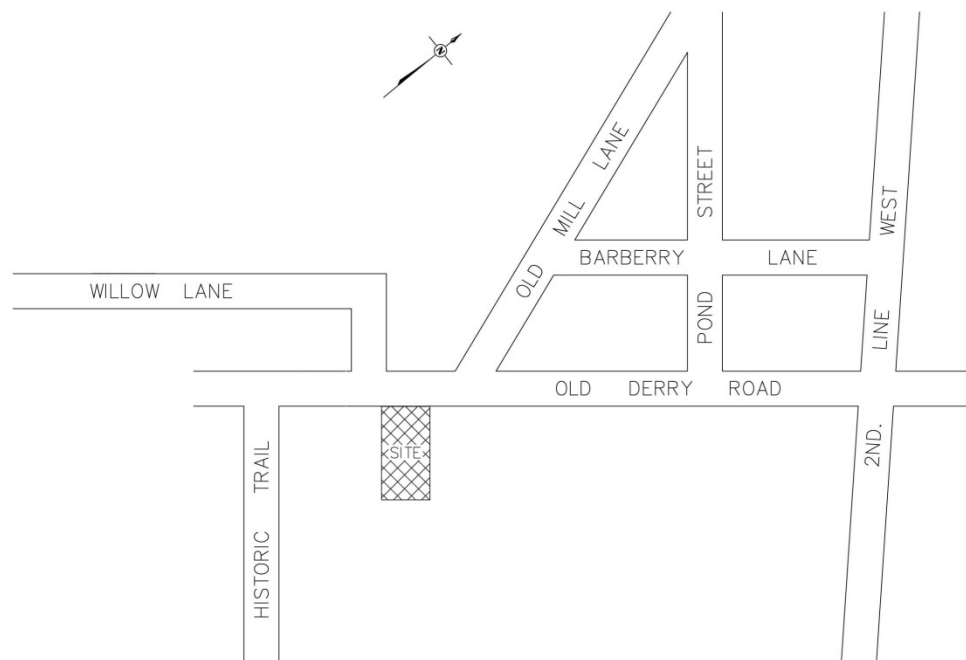


## Overview:

This report is prepared to address the proposed re-development of the property at 1092 Old Derry Rd. W., Mississauga, ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to design a sympathetic new home for this presently vacant property and to complete a Heritage Impact Study to assess the impact of this intervention.

## Key map:



## Meadowvale Village - Overview:

Meadowvale Village was first settled in 1819 when 26 United Empire Loyalist families emigrated from New York State and took advantage of government land grants in this area. The land was at that time covered by pine forest but the settlers quickly understood the agricultural promise of the land and the community prospered. By the 1850's there were several mills, two hotels, a wagon shop, foundry and a school.<sup>1</sup>

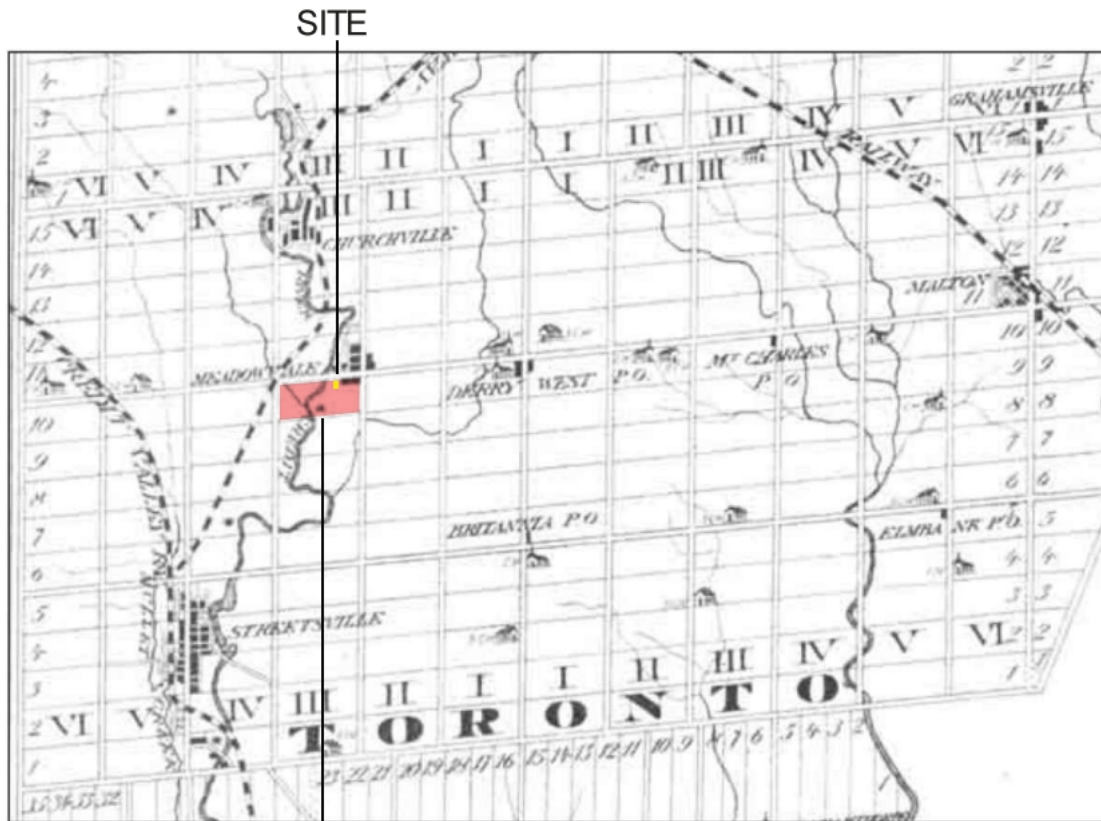
The village retained its character and many of its original buildings through the 20<sup>th</sup> century. In 1980, in the face of a proposal to widen Derry Rd. West, demolish some original buildings and irreparably change the character of the community, local residents succeeded in having this designated Ontario's first Heritage Conservation District.

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<sup>1</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)

### Site History:

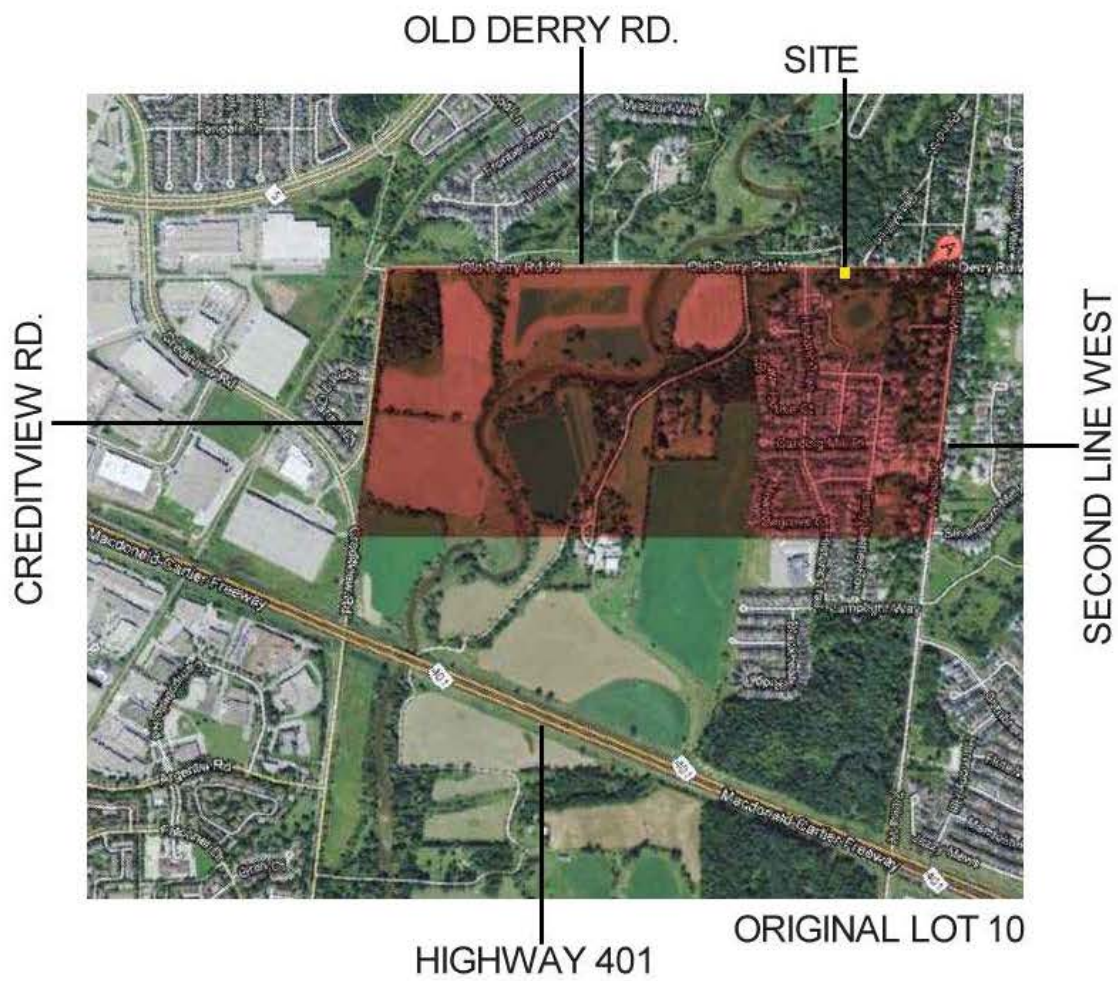
1092 Old Derry Rd. is part of the original Lot 10, Concession 3, west of Hurontario Street that was created by the Second Purchase of Land from the Mississauga First Nation in 1818 and surveyed by Timothy Street about 1820. Lot 10 is a 200 acre parcel that is bounded by modern day Second Line West and Creditview Rd. to the east and west, and Old Derry Rd. to the north. The southern boundary is not readily identifiable but lies north of the present Highway 401.

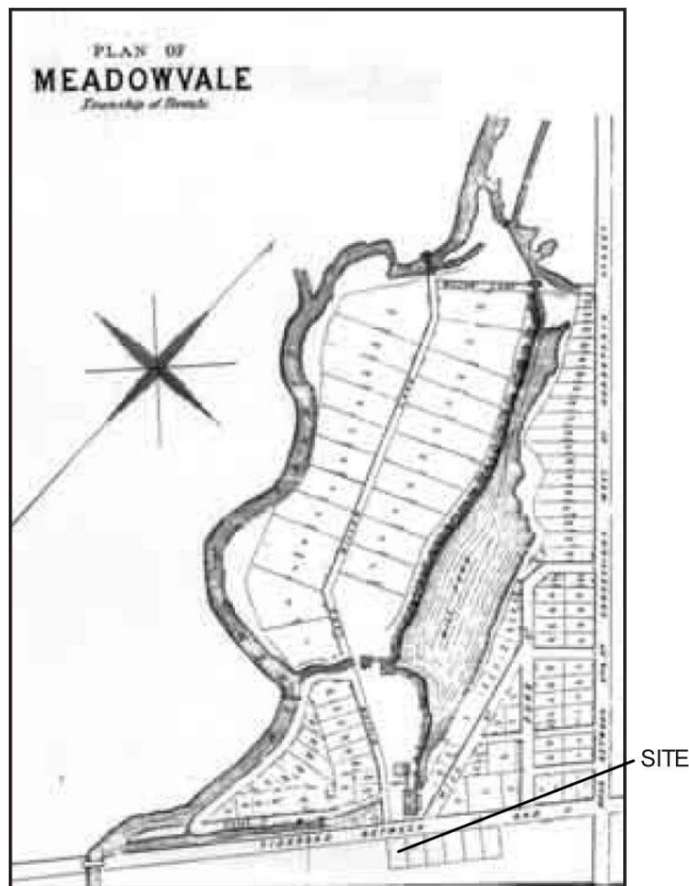


ORIGINAL LOT 10

SECOND PURCHASE MAP







SILVERTHORN'S PLAN OF MEADOWVALE - 1856

Lot 10 was deeded from the Crown first to Evan Richards in 1824. It changed hands in its entirety a number of times shortly thereafter – to Janet Heron in 1826, Matthew Dawson in 1830 and then to John Simpson in 1840. Simpson was an entrepreneur and began to sell off individual lots at the north-east corner of the property in one and two rood units (rood is an archaic measurement of area equivalent to  $\frac{1}{4}$  acre) at prices varying between £35 and £60 per rood. (Simpson had paid £659 for the entire Lot 10).<sup>2</sup>

The time of the Simpson and Laidlow ownerships of the property were formative ones for Meadowvale village. Francis Silverthorn's 1856 plan of subdivision for his lands in Lot 11 (directly north of the subject lands), although not entirely realized, was the basis for Meadowvale village as we know it.<sup>3</sup>

In lot 10, we also see significant development during this period with the construction of the Methodist Church (1010 Old Derry Rd.) in 1863, Graham-Pearson house (1020 Old Derry Rd) in 1870 and

<sup>2</sup> Land Registry Office records, Lot 10, Concession 3 WHS

<sup>3</sup> Hicks, Kathleen, Meadowvale Village: Mills to Millennium, p.20

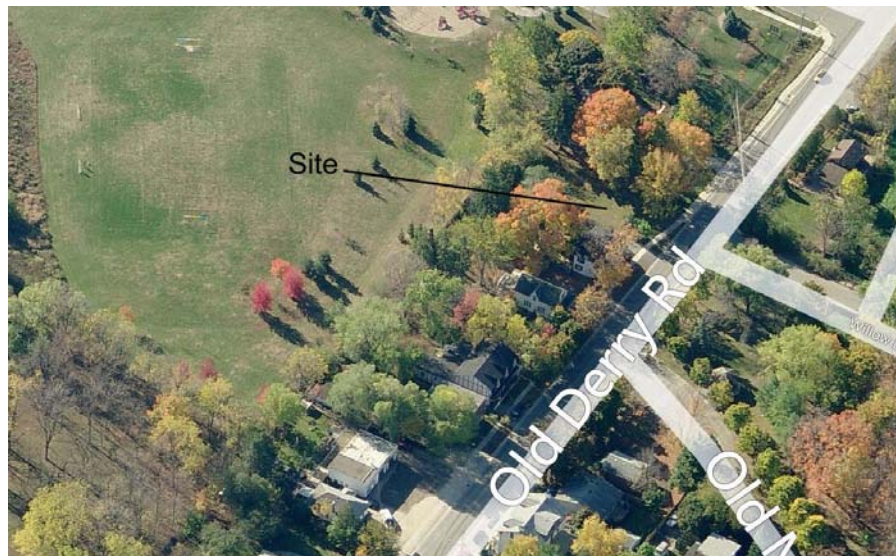
Meadowvale Community Hall (former School House)(6970 Second Line West) in 1871. The Methodist Church and Graham-Pearson house were substantial, brick buildings and together with the Gooderham Estate (929 Old Derry Rd.)<sup>4</sup> built in 1870 form the most significant grouping of buildings in the village.



SITE

1954 AERIAL PHOTOGRAPHY

**Existing conditions on-site:**



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<sup>4</sup> A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)





**Context:**

To the east of the subject site is the former Bell Hotel, now a single family dwelling. This building is one of the oldest in Mississauga with a construction date of 1844<sup>5</sup>.



**Bell Hotel**  
(Mississauga Historic Images Database)



**Bell Hotel w/ 1100 Old Derry Rd. W. in background**  
(from Meadowvale: Mills to Millennium)

This building was thought to have been built by George Bell, a blacksmith, to cater to local travellers. It was also known as the Temperance Hotel. The history would suggest that it passed out of commercial use by the 1950's and has been a single family residence since that time. It is a Georgian revival

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<sup>5</sup> <http://wikigrain.org/?req=List+of+oldest+buildings+and+structures+in+Mississauga>

structure, fully two stories with hip roof and 5-bay symmetrical elevation featuring 4-over-4 double hung windows and shutters. The proportions are classical and very elegant. It is presently clad in rough-cast stucco but was likely originally wood siding (cladding a wood siding building in stucco was often done when the siding deteriorated). The building is very different from the typical Meadowvale vernacular.

The Bell Hotel is a very significant building in Meadowvale and has significant impact on the streetscape. Its prominence is accentuated by its location very close to the street.

To the west of the subject site is a single family residence at 1100 Old Derry Rd. W.



1100 Old Derry Rd. W. circa 1925  
(note agricultural building on subject site at left)

1100 Old Derry Rd. W. is the former Jackson farmhouse. It exists in two distinct parts, a rear two-storey portion thought to have been constructed in the mid-19<sup>th</sup> century and a newer front portion thought to have been constructed about 1910.<sup>6</sup> It is a large 2-storey home, 3-bay home with a central gable and a wide front porch with asymmetrical gable. The size, proportions and detailing of the house are atypical both of the village vernacular and of typical local and regional architecture. The central gable recalls a typical Ontario gothic farmhouse but the gable is smaller in proportion and shallower in pitch than would typically be expected. Gothic farmhouses were also generally 1 ½ storey structures. There is an oddly mounted rectangular window in the gable. The asymmetrical gable on the front porch is also unexpected on this type of building.

This building is set much further back from the street than the Bell Hotel. It is a much less significant building both historically and in terms of impact on the heritage streetscape.

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<sup>6</sup> <http://www7.mississauga.ca/Documents/Culture/MVHCD/MV-HCD-Property-Inventory.pdf>

To the rear is the present Oak Ridge Park. This is an 8 acre municipal park comprising a remnant of the former 200 acre Simpson farm that operated here until the 1960's. The park was created and acquired by the City during a subdivision of these lands in the 1990's.<sup>7</sup>

Across Old Derry Rd. W. is open space now owned by the Credit Valley Conservation Authority. This is a former mill site now used as a community mail facility and gathering place.

The site and the surrounding properties are moderately treed. There are views through the property to the parkland beyond although these are quite limited. There is an existing fence along Old Derry Rd. W. that visually isolates the property. Vehicles move quickly past the site and there is limited pedestrian traffic and consequently little opportunity to realize these views.

### Analysis:



The City of Mississauga Heritage Register statement of Architectural Significance for 1125 Willow Lane records as follows:

*This property was original designated under Part IV of the Ontario Heritage Act in August 1977, but is also located within a heritage conservation district, and is subject to a Part V designation as well.*

<sup>7</sup> <http://www7.mississauga.ca/Documents/Culture/MVHCD/MV-HCD-Property-Inventory.pdf>

The Meadowvale Village HCD Property Inventory notes:

*The lot at 1092 Old Derry Road was severed from #1090 in 1996. The lot therefore has historic association with 1090 Old Derry Road and its history prior to severance.*

It seems, then, that there is no identified cultural heritage value to this site except in its relationship to the community and in particular the Bell Hotel. The cultural importance of this association is difficult to interpret, however. It is likely that the site was the location of the Bell blacksmithing business in the 19<sup>th</sup> century and, as evidenced by the 1925 photo evidence, continued in some kind of ancillary use following that time but the precise nature of this is unclear. The Meadowvale Inventory is even more vague, suggesting that “there may have been an earlier structure on this lot, but it has remained vacant for many years”.<sup>8</sup> Clearly the orientation of the site, the fact that it is fenced on all sides, the lack of any obvious relationship to or use by 1092 Old Derry Rd. W. contributes to its generally being considered a vacant lot, not something associated with the other building in any tangible way other than a shared ownership. Development of this site will not affect critical views of the Bell Hotel nor in any way affect how the building is presently used. The impact on this heritage resource will be minimal.

### **Proposal:**

The proposal is for a new 2-storey dwelling to be constructed on the site with detached garage in the rear yard. The front elevation is a symmetrical 3-bay composition with larger center gable and two smaller flanking gables. A shed roof porch extends across the entire of the front elevation. The main roof ridge is parallel to the street with another ridge further back also parallel to the street. A secondary ridge at right angles to the street joins these and a low-slope roof connects the main roofs in saddle fashion. This low slope roof is not visible from the street.

The building is proposed to be a mix of rough-cast stucco siding and board and batten siding. The purpose of this is to create the suggestion of a building that has evolved incrementally over time. Materials are never mixed on individual wall planes. Windows are wood frame with simulated divided lites in 2-over-2 configuration. Trims and porch details are painted wood.

The architecture and detailing of the building is generally simple and derives from the vernacular of the Village while not intending to mimic or replicate.

The proposal meets the applicable zoning by-law with the exception of small variances required for building height, coverage and the presence of a low-slope roof (deemed a flat roof under the zoning by-law). These variances have been successfully obtained through the Committee of Adjustment.

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<sup>8</sup> <http://www7.mississauga.ca/Documents/Culture/MVHCD/MV-HCD-Property-Inventory.pdf>



The proposal meets the intent of the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District (2003), as regards massing, materials, detailing and general design principles. In certain specific areas where it does not appear to meet particular elements of the guidelines it can be demonstrated that strict adherence to the guidelines would not be possible or reasonable and the choices made are appropriate.

The proposal has received extensive review and consultation through the local Conservation Review Committee and has their support.

### **Summary Statement and Conservation Recommendations:**

The proposed new dwelling at 1092 Old Derry Rd. is appropriately designed for its site and meets the intent of all applicable laws, policies and requirements associated with its design. During the construction process as much of the existing topography and tree canopy should be retained as possible.

### **Mandatory Recommendation:**

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.

*Analysis: Not applicable as the property is presently vacant.*

2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

*Analysis: The property has limited associations with the Bell Hotel to the east although the implications of this are unclear. There is no evidence of a pattern of use of this site associated with the Bell Hotel. Development of this site will in no way affect appreciation or interpretation of the Bell Hotel building.*

3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark.

*Analysis: The property in its present condition does not maintain the quality of the streetscape or contribute to the appreciation of the Heritage Conservation District. It is not a landmark.*

**Conclusion:**

The vacant property at 1092 Old Derry Rd. W. does not have significant architectural, contextual or historical value.

**Provincial Policy Statement:**

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

*Analysis:*

*Under this definition, the vacant property at 1092 Old Derry Rd. W. does not warrant conservation.*

**Appendices:**

- Photographs of site
- Streetscape

**Bibliography:**

Hicks, Kathleen A., Meadowvale: Mills to Millineum,  
A Heritage Tour – Meadowvale Village (Heritage Mississauga)(pamphlet)(undated)  
Heritage Mississauga Images database  
City of Mississauga – Historic Images Database  
City of Mississauga – Building Department records  
Directory of the County of Peel 1873-1874

Websites:

-as noted



View looking south-east. Bell Hotel to left, site to right



View looking south. Site to left, 1100 Old Derry Rd. W. to right



1090 Old Derry Rd.



1092 Old Derry Rd.



1100 Old Derry Rd.















# Corporate Report

Clerk's Files

Originator's  
Files

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**DATE:** June 23, 2014

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: July 22, 2014

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Alteration to a Designated Part V Structure**  
**7015 Pond Street**  
**Meadowvale Village Heritage Conservation District (Ward 11)**

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**RECOMMENDATION:** That the property owner's request to alter the property located at 7015 Pond Street (Ward 11), which is Designated under Part V of the Ontario Heritage Act as part of the Meadowvale Village Heritage Conservation District be recommended for approval, as described in the Corporate Report dated June 23, 2014, from the Commissioner of Community Services.

**BACKGROUND:** The subject property is located within the Meadowvale Village Heritage Conservation District under By-law 0078-2014. The original portion of the subject property's dwelling predates the 1856 Bristow Survey. This original portion has changed very little since being constructed in about 1845 and is one of the best examples of rough cast stucco in the Village. The structure was likely built to house a millworker's family.

Over the years, additions have been added to the original building in a board and batten cladding to distinguish them from the original stucco clad structure.

In 2013, the current property owner filed Site Plan 13/216 to construct a two storey addition on the north side of the property. The property owner has submitted a Heritage Property Permit Application and a

Heritage Impact Statement prepared by ATA Architects, attached as Appendix 1.

**COMMENTS:**

Section 42.(2.1) of the Ontario Heritage Act (OHA) provides a municipality with the authority to consider an alteration to any part of the property. Specifically, the OHA states in part that no owner of a property located within a heritage conservation district shall erect a structure on the property without a heritage permit. The Site Plan Application was filed before Council's approval of the Meadowvale Village HCD Plan, 2014. Therefore, the application must be reviewed and assessed against the policies contained within the Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District, 2003. This document states the purpose of the Heritage Conservation District is to preserve the existing buildings and village appearance. Additionally, it states that "additions should fit the existing historic structure. Their forms, materials, and finishes should relate to the original, but new construction should not on close inspection be mistaken for the original".

Section 5.2 of the 2003 Design Guidelines for alterations and additions to existing buildings are described, but not limited to, the following:

- Additions should take into account and respect the form, use and setting of the original structure
- Locate additions so that no alteration is made to the front façade
- Maintain primary entrance in its original location
- Maintain original window pattern and proportions

The proposed addition contributes to the village as a good example of a modern addition which compliments the original structure and the older addition. The form, materials and finishes relate to the original in that they are distinct and do not misrepresent a particular period of history. The scale and massing also compliments the original structure and meets all set back and zoning requirements through the Site Plan process. Furthermore, the addition is designed in a way that the original topography of the landscape is being retained.

Based on this assessment, it is Heritage Planning staff's opinion that the proposed two storey addition does not detract from the cultural heritage value of the subject property, the adjacent properties or from the village character. This is also the finding of the Heritage Impact

Statement. It is the opinion of Heritage Planning that the proposal complies with and supports the 2003 Design Guidelines and the alteration to the subject property be recommended for approval.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The property owner of 7015 Pond Street has requested permission to alter a structure located within the Meadowvale Village HCD. Heritage Planning staff recommend the owner's request for alteration be recommended for approval.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement by ATA



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Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

*Prepared By: Laura Waldie, Heritage Coordinator*

# 7015 POND STREET

## HERITAGE ASSESSMENT



REVISED APRIL 2014

**ATA**  
ARCHITECTS INC.  
211 LAKESHORE ROAD EAST  
OAKVILLE ONTARIO L6J 1H7



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Photo taken Feb. 13, 2013 by ATA Architects Inc.

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## 7015 POND STREET - HERITAGE REPORT

### INTRODUCTION

ATA Architects Inc. was retained by the owners, David and Barbara Moir, to undertake a Heritage Impact Assessment of the property listed as 7015 Pond Street, Mississauga, ON.

7015 Pond Street has been designated by the City of Mississauga.

ATA Architects Inc. undertook the following process in completing this assessment:

- Inspect current site and prepared photographic documentation of existing conditions.
- Conducted a land registry search at the Peel Land Registry Office
- Gathered additional information from the City of Mississauga web site pertaining to Property Records & Building Permits, and from the Mississauga Heritage Archivist.
- Undertook research at the Peel Archives and Canadiana Room at the Mississauga Central Library librarian.

ATA Architects Inc. has utilized the criterion for determining cultural heritage value as outlined in the Ontario Heritage Act.



Photograph of 7015 Pond Street from 1986  
Source: David and Barbara Moir

## ONTARIO HERITAGE ACT

### ONTARIO HERITAGE ACT

### ONTARIO REGULATION 9/06

### CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

#### CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 9/06, s.1(1).
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
  1. The property has design value or physical value because it,
    - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
    - ii. displays a high degree of craftsmanship or artistic merit, or
    - iii. demonstrates a high degree of technical or scientific achievement.
  2. The property has historical value or associative value because it,
    - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
    - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
    - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
  3. The property has contextual value because it,
    - i. is important in defining, maintaining or supporting the character of an area,
    - ii. is physically, functionally, visually or historically linked to its surroundings, or
    - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

#### TRANSITION

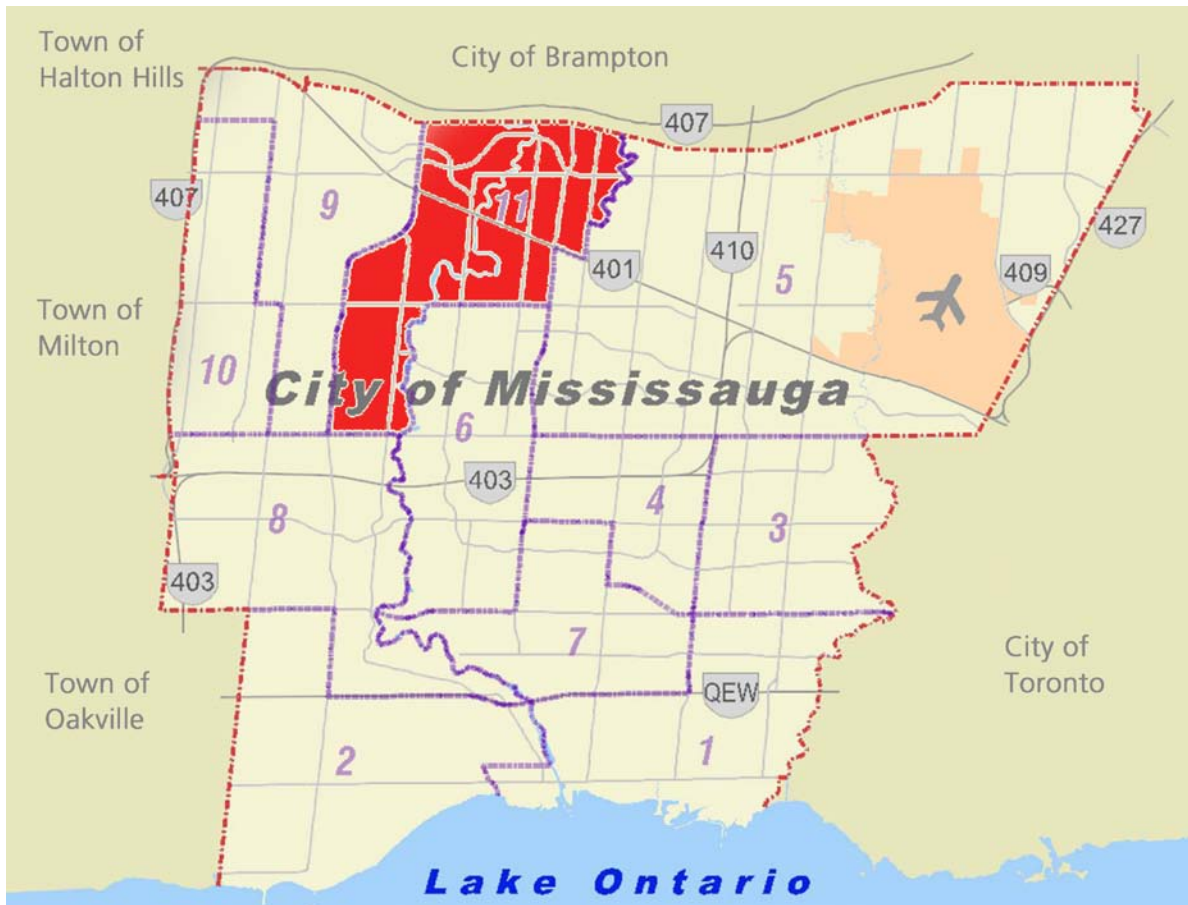
2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006. O. Reg. 9/06, s. 2.

**NOTE:** The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.



## 7015 POND STREET - HERITAGE REPORT

### LOCATION



Location of Meadowvale within Ward 11, City of Mississauga  
Source: City of Mississauga - <http://www6.mississauga.ca/eMaps>

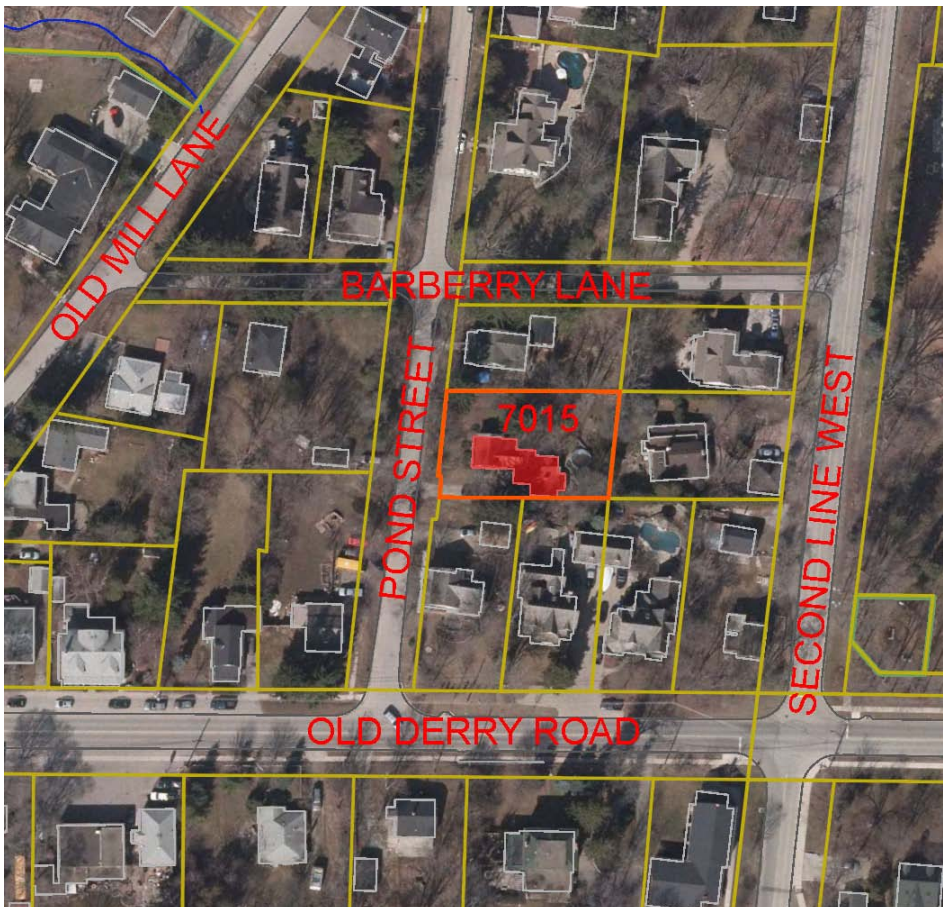
### HISTORY OF MEADOWVALE

In 1805 1 mile of land each side of the Credit River, then known as the Missinke or "Trusting River" by the Mississauga Tribe, was sold from the First Nations to the Crown. This was followed later in 1818 with a further purchase of 648,000 acres for \$2,500 from the Mississauga Tribe. This land along the Credit River would first be settled by John Beatty.

He left New York with his family on May 1st, 1819 in a wagon train in order to leave behind the anti-British sentiment prevalent in the U.S. after the war of 1812. In 1821, after completing settlement duties such as construction of a dwelling and clearing and fencing a percentage of the land, he would receive a Crown Grant of 200 acres of land.

In the early 1830's Meadowvale began to prosper due to its abundance of white pine, a material extensively used in ship and canal construction. Beatty would stay in Meadowvale until he was named Steward of the Upper Canada Academy by the Canada Conference of the Wesleyan Methodist Church in 1831. He would sell his land to James Crawford who would establish the first sawmill in the village. John Simpson moved into the village and established another sawmill and a carding mill in competition with Crawford. Francis Silverthorn bought Crawford's land in 1847 and he would continue to operate the sawmill. He also built a grist mill. Despite the grist mill burning down in 1853 and the cost he incurred in rebuilding it, Silverthorn was a successful business man in the community for awhile due to the increased demand for flour during the Crimean War.

### LOCATION



Aerial view of 7015 Pond Street, Meadowvale.

Source: City of Mississauga - <http://www.mississauga.ca/eMaps>

Following the war the bottom dropped out of the flour market was the beginning of the end. To recover his losses he had part of his property (Lot 11) surveyed, registered a subdivision and sold off the land and took out another mortgage on his mill. The business didn't succeed because another fire at the mill in 1859 would cost him everything. Gooderham & Worts took over the sawmill, grist mill and store that Silverthorn had built. They were the major shareholders in the Bank of Canada from whom he had taken the mortgage.

The Gooderham family would remain active important figures in the Meadowvale community. They would build a cooper factory to supply their business with barrels and would upgrade Silverthorn's store so that it could supply groceries, general goods and custom clothing items to the community.

## 7015 POND STREET - HERITAGE REPORT

### ZONING



Zoning map of 7015 Pond Street, Meadowvale.  
Source: City of Mississauga - <http://www6.mississauga.ca/online/maps/planbldg/maps/100m39e.pdf>

The adjacent zoning map from the City of Mississauga's website indicates the property at 7015 Pond Street is zoned as R1-32 Residential Zone. This zoning permits detached dwellings with a maximum lot coverage of 25% and a maximum height of 7 meters to the highest ridge of a sloped roof. Flat roofs are not permitted under this zoning.



## HISTORICAL SIGNIFICANCE

One of the properties subdivided by Francis Silverthorn from Lot 11 was the land upon which Hill House now stands. Silverthorn sold the land to William Wilson on February 11th, 1859 for £20. William would sell the property to Thomas Idle on December 21st 1859. In the Tweedsmuir History for Meadowvale, Vol. 2, Thomas is indicated as a local business man at the time of Confederation, a cobbler by trade. He would subsequently sell the property to Matthew Laidlaw on April 21st, 1871. Matthew is known for having built the local hotel in 1852, which he would later sell before starting a store in the village.

At some point the property passes from Matthew to Sarah Elvidge who in December of 1883 sells to Ann Barnhill. Ann sells the property to Richard Hill in December of 1896 and the Hill family maintain ownership of the property until it is sold by the Estate of Arthur Hill to the current owners in 1987. Richard Hill is a farm labourer. The property eventually passed from Richard and Grace to one of their sons, Arthur S. Hill, in March of 1959. Arthur was born in 1899 at the residence on Pond Street and at the start of World War 1 he was living in Toronto. Arthur joined that Canadian Military with his brother Fred and they were both placed in the 15th Machine Gun Unit. On April 9, 1917 Arthur was involved in the assault to capture Vimy Ridge. Shortly after the battle his battalion was disbanded and he was transferred to the 87th Battalion. During a raid on German lines in June of 1917 he was injured when he took a bullet to the hip and fell into barbed wire and became entangled. He was rescued and brought back behind Canadian lines and then sent to a local field hospital for surgery. From there he was sent to recover in the Ontario Convalescent Hospital in Orpington, Kent, England before being sent home. Arthur retired in 1957 and returned to Meadowvale and lived there till he passed away at the age of 87 on Feb 2nd, 1986. Arthur Hill wrote a record of his service during the war from the time of his training till he was discharged. The details can be found in Volume 2 of the Meadowvale Women's Institute Tweedsmuir Histories available at PAMA.

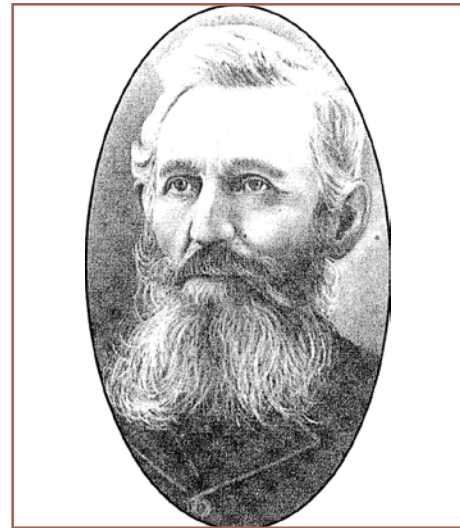


Image of Francis Silverthorne

Source: Meadowvale: Mills to Millenium, Kathleen A. Hicks, The Friends of Mississauga Library System; 301 Burnhamthorpe Road West, Mississauga, ON L5B 3Y3, Copyright 2004



The photo above shows Arthur Hill on the left and his brother Fred on the right

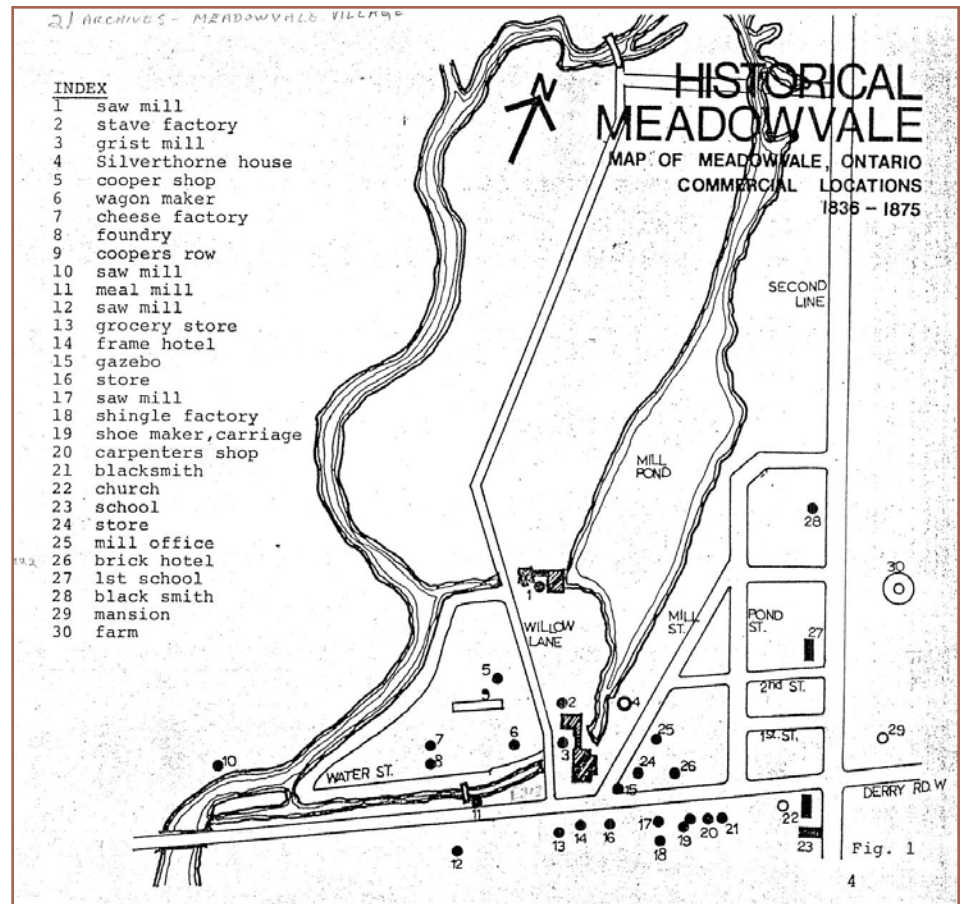
Source: Meadowvale: Mills to Millenium, Kathleen A. Hicks, The Friends of Mississauga Library System; 301 Burnhamthorpe Road West, Mississauga, ON L5B 3Y3, Copyright 2004

### HISTORICAL SIGNIFICANCE

The age of the house, it would appear, predates the subdivision of the land by Francis Silverthorn. This style of the house was popular between 1835 and 1845. During a previous renovation of the property in 1987 scraps of newspaper were found in the walls of the house, these articles are included in the appendix. One of the still legible articles describes a recent storm on Lake Ontario which resulted in the sinking of a ship called the *Christina* from Sarnia near Wellington below Presque Isle with all lives lost and the sinking of the schooner *Kentuckian* from America also near Presque Isle with all lives lost. The current owner, Mr. Moir, undertook further research and found that the storm that sunk these occurred in October of 1851.

### CONCLUSIONS

In conclusion the house is historically significant to the community. The house is an early home in the community dating from approximately 1851, around the time Francis Silverthorne subdivided his property and sold the lots to payoff his debts. The property appears to have acted as housing for farmers, mill workers and small business men in the village for much of its existence. The building is most commonly tied to the Hill family who owned it for the longest amount of time. Richard Hill was a farmer and the property would pass to his son Arthur who served in the Canadian Armed Forces during World War 1.



Historical Map of Meadowvale, 1836-1875  
Source: Canadiana Room, Meadowvale File, Mississauga Central Library

### ARCHITECTURAL SIGNIFICANCE

The house today consists of the original one-and-one-half storey rectangular house located towards the front of the property and the later addition located toward the rear. Much of the space below the ground floor is crawlspace but there is a partial low height basement below the original house with rubble stone foundation walls and a partial low height basement below the addition with concrete block foundation walls. The basement below the original house was at some point slightly expanded and concrete blocks were used in places to reinforce the structure. Both spaces are accessed separately from outside of the house. From previous reports written about the building it is understood that the walls of the original portion of the house are of a stacked plank construction.

The original portion of the house has a symmetrical façade, with a centrally located door with two twelve-over-twelve windows located on either side of the door. Six-over-six windows can be found in the gable ends of the original house and a brick chimney is located on the southern elevation. The original section is clad in rough cast white stucco and the gable roof is finished in wood shingles/shakes. The door on the Pond Street façade is encompassed by engaged pilasters on either side with a wooden entablature above.

The addition located to the back uses wood windows in keeping with the style of the windows in the original portion. It is clad in board and batten with asphalt shingle for the roof. A second brick chimney is located in the addition on the south end of the building. It appears to penetrate through the roof somewhere between the house and the attached garage.

A draft document prepared for the City of Mississauga, Culture Division in October of 2012 titled "Meadowvale Village Heritage Conservation District – List of Properties" lists the following as heritage attributes of the building:

- Historic structure of original stacked plank construction and, rough cast stucco finish, in a modest style, shape, form, massing, materials and size
- The original wood window pattern and design on the original portion of the house
- Three sides of the home are highly visible and open to the streetscape maintaining the Village character of modest structures on a open lot

The author of this report would add the following to the list:

- The symmetrical 3 bay façade
- Simple storey and a half massing
- Steep pitched roof
- Central paced windows on the end gables

### CONCLUSIONS

The building is not necessarily unique in the community but it has perhaps seen the least amount of change to what can be considered the original portion of the house. It is of relatively plain design, forgoing any decoration on the exterior of the building. The type of construction, rubble stone foundations supporting plank construction walls, of the original house though is unique and not readily found today.

## 7015 POND STREET - HERITAGE REPORT

### CONTEXTUAL SIGNIFICANCE

The length of Pond Street from Old Derry Rd. to Barberry Ln. is home to several houses of a similar size and scale to that of 7015 Pond St. and are representative of the farming/mill worker roots of the community. The adjacent picture from the PAMA archives is one of the earliest photos of Pond Street. From this photo it is possible to see that the original portion of Hill House is largely unchanged from the style of early housing that was prominent along Pond St. It acts as a visual historic link to the street's past. The house is in keeping with other properties in the area either by use of similar materials, scale or style. Though there are a number of larger houses in the neighbourhood they draw from elements predominantly in use in the community

The original portion of the house remains unobscured from the street. No trees or built form clutter the front of the property. Because of the wide field of view this affords into the property from the street not only is the Pond Street façade of the original building visible to passers-by but the north and south façades of the original house are also exposed to view.

### CONCLUSIONS

While the design is not necessarily unique in design, the visible age of the original portion of the house in comparison to the refinished homes around it and the unfettered view from Pond Street allow the home to stand out somewhat from its surroundings. As can be seen in the adjacent photo the house can be historically linked to the street as it acts as a visual reminder of what was there.



Postcard from PAMA files showing the Residential section of Pond Street in Meadowvale  
Source: "Residential section, Meadowvale" postcard, image PN2009\_02661, PAMA, Brampton, ON L6W 1Y1



## CONTEXTUAL SIGNIFICANCE

**9. WILLOW LANE**

An extended walk down Willow Lane will take you along the mill race, past the former Johnson's carriage factory and foundry, some residential houses that are among the earliest in the village, each with their own histories, and the bridge foundations of the Radial Railway Line. You can also glimpse the Credit River, its lazy course being the key component behind the establishment of the Village.

**10. ORR-MEAD HOUSE**  
(est. c. 1870) 1101 Willow Lane

This property exhibits an interesting history, and past owners include several prominent families in the history of Meadowvale Village, including the Gooderham, Orr, Southern and Mead families. The large main house is the newest addition to the property, having been built in 1999 by the Mead family, incorporating parts of an 1890s inn that was originally in South Carolina. Also on the property are the buildings that served as Johnson's wagon shop and blacksmith shop, built circa 1870. An earlier residence, built circa 1860, also remains.

**11. BEATTY-SKALIN HOUSE**  
(c. 1825) 1125 Willow Lane

This structure is possibly the oldest remaining house in Meadowvale Village, although somewhat altered from its original appearance. John Beatty may have built it, and it later belonged to James Crawford before Crawford sold his mill and holdings to Francis Silverthorn in the 1840s. Willow Lane was once known as Water Street, which was appropriately named since Water Street homes were severely flooded by the Credit River on many occasions during spring thaws. The flats behind the homes along Willow Lane were once the site of many of the village's biggest industries. By the 1850s, the Johnson brothers were operating their Mammoth Iron Works and Foundry here, and an extensive cooperage was needed to support the operations of the grist mill. There was also row housing for the coopers which was known as "Quality Row". There was a carriage maker, a blacksmith and a Mr. Stillman who operated a successful cheese factory on the Willow Lane flats around the turn of the century.

**12. SILVERTHORN HOUSE**  
(c. 1844) 7050 Old Mill Lane

Tradition suggests that James Crawford built this early frame house in the early 1840s. It was sold to Francis Silverthorn in 1845. While in Meadowvale, Francis married his second wife, Mary Hamilton Cheyne, and several of their children were born in this house. The Silverthorns left Meadowvale after the Bank of Upper Canada foreclosed on the mortgage of the mill. The vernacular Silverthorn House came into the possession of mill owner Henry Brown in 1894, and Brown was responsible for many renovations to the property, including the move of the house from its original east-facing orientation to its current south-facing position.

**13. OLD BOAT HOUSE**  
(c. 1840) 7070 Old Mill Lane

Mill owner Francis Silverthorn probably built this structure in the early 1840s to serve as housing for his employees in his mills and stove factory. The property eventually came into the hands of Henry Brown, who thought that the village might flourish as a summer resort for tourists from Toronto. In the summer of 1908, the mill pond was drained and dredged and new head gates were built. When the waters of the Credit River were allowed to flow through the new gates, an eight acre expanse of water was formed which subsequently became known as "Willow Lake". The millworkers' housing, which sat on the bank of this small lake, became the boathouse for nine rowboats and three canoes that Brown purchased between 1909 and 1910. Tragically, Brown drowned in March of 1911 when the ice broke beneath his feet as he worked on his mill dam. Willow Lake was a favourite fishing spot for the young people of the village and, in the winter, a section of the ice was always kept clear to serve as a skating rink and site of winter carnivals. The lake disappeared after the Credit Valley Conservation Authority reconstructed the original path of the Credit River in the late 1950s. Today, it is privately owned.

**14. MILLWORKERS' DOUBLE HOUSES**  
(c. 1840) 7067 & 7079 Pond St.

These one-and-a-half storey structures contained two units each, and served as workers' housing for employees of the mills that operated in the village. Probably built by Francis Silverthorn during the 1840s, the millworkers' cottages are a rare surviving example of the mid 19th century utilitarian style of construction which dominated many manufacturing communities throughout Upper Canada. These double houses are recognized today as important reminders of Mississauga's industrial heritage.

**15. APPLE TREE INN**  
(c. 1858) 7053 Pond St.

Luther Cheyne, who served as the village's first postmaster in 1854, built this residence in 1858. Throughout most of its existence, the structure has served as a private home. In 1920, however, Miss Yates and Miss Beardmore acquired the house and opened a tea room, which remained in business until 1944. The proprietors had the distinction of offering the only place in the village where a visitor could find a room and refreshment after the prohibition movement had forced the closure of the other public houses in Meadowvale. During the summers of 1920 and 1921, the tea room catered to the students of the Ontario College of Art who traveled to the area to sketch and paint the local scenery. The Apple Tree Inn is now a private family dwelling.

**16. HILL HOUSE**  
(c. 1840) 7015 Pond St.

Built on land that was once owned by mill owner Francis Silverthorn, the Hill House is one of the village's earliest homes. It was home to early Primitive Methodist faith meetings. The house eventually came into the hands of Richard Hill, a farm labourer, and his wife Grace in 1896. Members of the Hill family continued to be associated with the house throughout most of the 20<sup>th</sup> century. The Hill House has remained a private residence throughout its history.

**17. GOODERHAM ESTATE**  
(c. 1870) 929 Old Derry Rd. W.

Charles Horace "Holly" Gooderham was only 18 years old when he was sent from Toronto to learn the milling business of his family at the Alpha Knitting Mills, north of Streetsville. He was then sent to Meadowvale to run the newly acquired mill here. In addition to the mill complex, the firm of Gooderham and Worts operated an extensive general store in the village that was said to rival that of Timothy Eaton in Toronto. Gooderham had this brick home built for his family in 1870. After the departure of Gooderham and Worts in the 1880s, the building served several capacities. Under the ownership of the Graham and Watt families, the house garnered a reputation as a fine summer resort operating under the name of "Rose Villa". Converted into apartments prior to 1980, the house had fallen victim to vandals and into disuse until 1996, when the Monarch Development Corporation restored the property, which is today home to a school.



## A Heritage Tour Meadowvale Village

Ontario's First Heritage  
Conservation District

**AN ENDURING HERITAGE**

A walk through Meadowvale Village today offers glimpses of the truly unique vestiges of our pioneer past, and streetscapes almost frozen in time. It also presents a sense of "rootedness" for the modern city which has grown up around it. In 1980, the distinctiveness of historic Meadowvale Village was recognized as it was designated as Ontario's first Heritage Conservation District.

[www.heritagemississauga.com](http://www.heritagemississauga.com)  
[www.mississauga.ca/heritagefour](http://www.mississauga.ca/heritagefour)

A Heritage Tour of Meadowvale Village, Ontario's First Heritage Conservation District,

Source: Heritage Mississauga, <http://www.heritagemississauga.com/assets/Meadowvale%20Village%20Heritage%20Tour%20Brochure%20-%20Final%202011.pdf>



## 7015 POND STREET - HERITAGE REPORT

### RATING SYSTEM

E - Excellent  
VG- Very Good  
G - Good  
F - Fair  
L - Low

Municipal Address: 7015 Pond Street, Mississauga, ON

Date: Apr. 02, 2013

Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.

HISTORICAL VALUE OR ASSOCIATIVE VALUE		Grade				Rationale
1. Has direct associations with a person, organization, or institution that is significant to a community.	E	VG	G	F	L	Francis Silverthorne initially owned the land and subdivided the properties to payoff his debts. The house is commonly known as the Hill House after the Hill family who inhabited it for the longest period of time. Richard Hill was a farmer, the property would later pass to Arthur Hill (Richard's son) who served in World War 1. The Hills were longtime residents of the community.
2. Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L	Typical early housing for people who lived and worked in the village.
3. Has direct associations with a theme or belief that is significant to a community.	E	VG	G	F	L	The site in someway's can be associated with the collapse of Francis Silverthorne's business and the entry of Gooderham and Worts into the community as the lot was subdivided from Francis' property to payoff his debts. In a way this building represents a significant change that would benefit the village.
4. Yields, or has the potential to yield, information that contributes to an understanding of a community.	E	VG	G	F	L	Many of those who lived in the house worked in the surrounding community either in farms, the mills or operating small businesses in the village. Representative of the modest homes of the early village settlers.
5. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.	E	VG	G	F	L	Modest home built by carpenters and craftsmen.
DESIGN OR PHYSICAL VALUE		Grade				Rationale
6. Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.	E	VG	G	F	L	The original portion of the house remains largely unchanged over the years while the homes around it have been refinished or modified. The original portion of the house is a good representation of how the street would have originally looked.
7. Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L	The exterior of the house is devoid of any detailing but its proportions and scale were well executed.
8. Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F	L	The combination of the rubble stone foundations and plank construction walls of the original house are rarely seen now, but were common during the homes period of construction.
CONTEXTUAL VALUE		Grade				Rationale
9. Is important in defining, maintaining, or supporting the character of an area.	E	VG	G	F	L	Important home in retaining the texture and scale of Old Meadowvale Village.
10. Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L	The original portion of the house is largely unchanged. It is representative of the local vernacular and the homes that were located along the length of Pond Street and in the village.
11. Is a landmark.	E	VG	G	F	L	The house is an important contextual element within the streetscape. Its simple design and symmetrical three bay facade embodies it with a stateliness that transcends its size.

### SUMMARY

In the opinion of Alexander Temporale the house at 7015 Pond Street is of significant heritage value and worthy of the designation it has been given. The building is representative of the early history of Meadowvale Village from it's ties to Francis Silverthorne and its long association with one local family, the Hills. While not unique, the building is well designed structure within the fabric of Pond Street. It has had a minimal amount of change to the original front portion of the house. The additions in dark board and batten and shiplap siding are small in scale and ramble in an irregular manner behind the house. They reflect rural expansions to homes in Ontario and do not detract from the heritage value of the original home. Because of the wide field of view from Pond Street it is one of the most visible houses along the street.

## 7015 POND STREET - HERITAGE REPORT

Note: Photos in this section were taken during site visit, February 13 2013

### EXTERIOR PHOTOS

View of the original portion of the house from the southwest corner of the lot. It is clad in stucco with a wood shingle/shake roof.



Brick chimney on the south side of the original building.



Six-over-six wood window located in gable end.



EXTERIOR PHOTOS

Entrance to the crawlspace and low ceiling height basement below the original house.



The south side of the later addition, clad in board and batten siding with asphalt shingles on the roof.





EXTERIOR PHOTOS

A second brick chimney, interior to the later addition to the house, penetrates the roof between the house and the attached garage/shed.



Garage/shed on addition with access to rear yard.



## EXTERIOR PHOTOS

View of the original house from the northwest corner of the property. The west facade has a symmetrical 3 bay arrangement.



Two twelve-over-twelve windows are found either side of the door on the west facade.



Door on the west facade is bound by two pillasters and entablature.





EXTERIOR PHOTOS

The two photos on this page show the north facade of the addition.



Multi-paned wood windows similar in style to those in the original portion of the house were used throughout the addition.



## EXTERIOR PHOTOS

The two photos on this page show the eastern most section of the later addition. This section is clad in shiplap wood siding.





EXTERIOR PHOTOS

Small rear yard on the east side of the house with a small pool.



Small gazebo and shed located in the rear yard.



EXTERIOR PHOTOS

One and a half storey stucco house at 7005 Pond Street.



One and a half storey stucco house at 7053 Pond Street. Has more elaborate detailing than 7015 Pond Street, such as the vergeboarding on the central gable end.





## 7015 POND STREET - HERITAGE REPORT

### EXTERIOR PHOTOS

7025 Pond Street, one and a half storeys with wood siding.



View of the northwest corner of Pond Street and Barberry Lane. A one and a half storey stucco building in the foreground. In the background a much larger two storey house clad in wood siding can be seen on Old Mill Lane.



EXTERIOR PHOTOS

Larger, newer 2 storey house on the northwest corner of Barberry Lane and Second Line Street.



Rotherglen School





## 7015 POND STREET - HERITAGE REPORT

### EXTERIOR PHOTOS

7030 Second Line Street. The home is similar to 7015 Pond Street. It is a small one and a half storey front section with a 3 bay symmetrical facade.



Exodus Apostolic Church at the southwest corner of Old Derry Road and Second Line Street.



EXTERIOR PHOTOS

1043 Old Derry Road, one and a half storey, clad in wood siding.



## 7015 POND STREET - HERITAGE REPORT

Note: Photos in this section were taken during site visit, February 13 2013

### INTERIOR PHOTOS

#### GROUND FLOOR, ORIGINAL HOUSE

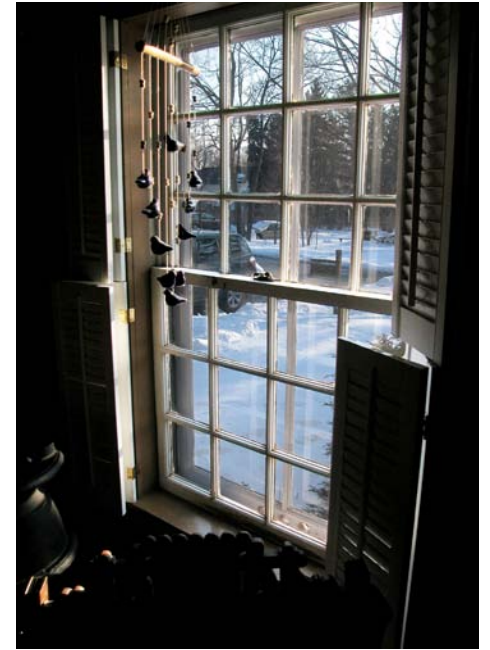
Living space in the original portion of the house with large wood plank flooring and exposed timbers in the ceiling. Originally the space was divided into two rooms. The partition location can be seen on the planks.



Original front door replaced with a replica wood door with period hardware.



Twelve-over-twelve single hung windows with interior mounted shutters are not original to the house.





## INTERIOR PHOTOS

### GROUND FLOOR, ORIGINAL HOUSE

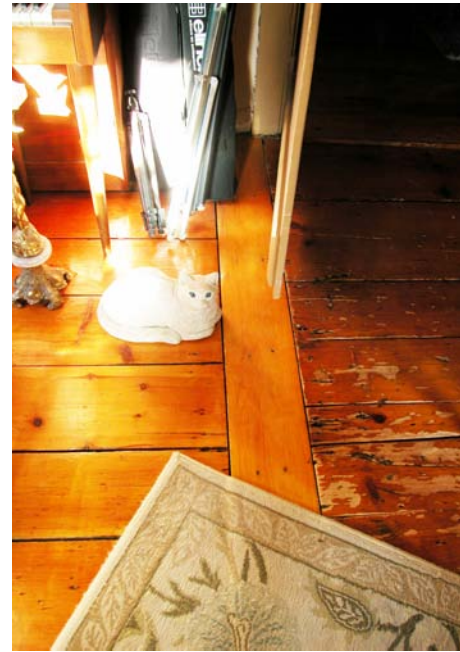
Original exposed timbers and floor board ceiling can be seen in the photo below. It can be seen in the photo below space is at a premium within the house..



Small closet under the stairs.



Transition point original house and addition between two spaces is achieved with a wood plank acting as a transition strip. The floor boards on either side of this strip are of different colours and sizes.



Existing stairs in original portion of the house were replaced. Same location was retained but modified for safety.





## 7015 POND STREET - HERITAGE REPORT

### INTERIOR PHOTOS

#### GROUND FLOOR, ORIGINAL HOUSE

Photo below shows a vent opening for central heating installed during previous work completed on the house.



Baseboards and trim throughout the house are of small and modest profiles.



View through the living space in the original house shows the windows and door facing onto Pond Street.



## INTERIOR PHOTOS

### GROUND FLOOR, FIRST ADDITION

Dining room space of the first addition.



Plaster ceiling in the dining room. Trim in this space is of a slightly more elaborate design.



Wood paneling along the base of the walls with wall paper above. The storage was at one time the kitchen.



Entrance to washroom off of dining room. Access to kitchen from the original house is through the dining room.



### INTERIOR PHOTOS

GROUND FLOOR, FIRST ADDITION

Small washroom with toilet, sink and cabinet off the dining room.



Wood flooring in dining room consists of large floor boards.



GROUND FLOOR, SECOND ADDITION

Living space in the addition on the east end of the house with brick fireplace and exposed timbers and floorboard ceiling similar to the original portion of the house.





## INTERIOR PHOTOS

### GROUND FLOOR, SECOND ADDITION

Second washroom.



Washroom has a pitched ceiling clad in wood boards with exposed timbers crossing through the space.



Staircase in the later addition.



The addition uses many of the same materials found in the original portion of the house.



## 7015 POND STREET - HERITAGE REPORT

### INTERIOR PHOTOS

#### GROUND FLOOR, SECOND ADDITION

Multi-pane, single glazed, wood windows in rear addition.



Kitchen space with cathedral ceiling.



Smaller wood boards clad the ceiling in the kitchen, similar to the ceiling in the second washroom. Timbers cross through this space and serve double duty as storage for items.



## INTERIOR PHOTOS

### GROUND FLOOR, SECOND ADDITION

The kitchen, like the rest of the house, is cramped for space.





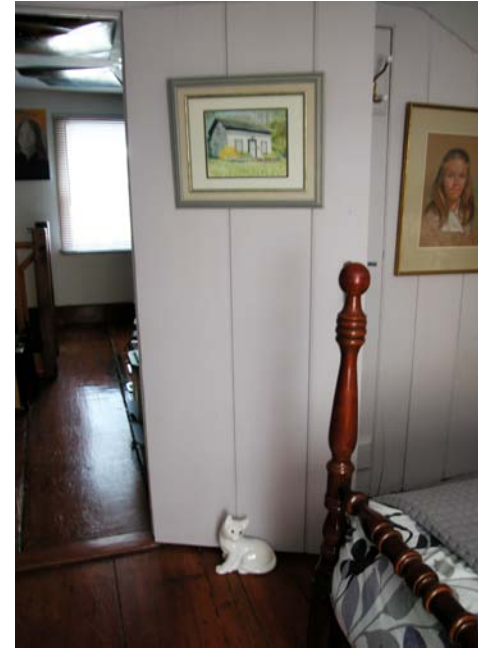
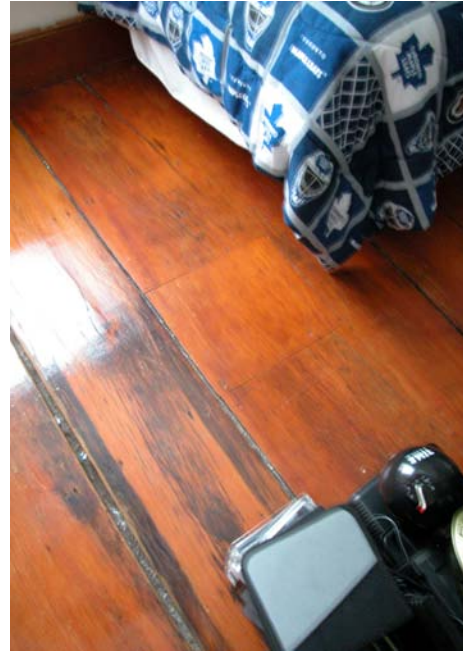
### INTERIOR PHOTOS

#### SECOND FLOOR, ORIGINAL HOME

Bedrooms are located in the second floor/attic space. They have low ceiling heights due to the roof slope.



As on the ground floor the flooring in this space is made up of large wood floor boards.



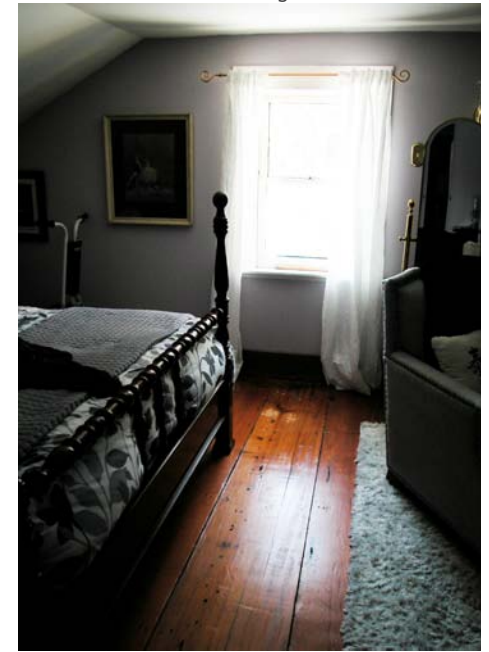
## INTERIOR PHOTOS

### SECOND FLOOR, ORIGINAL HOME

The photo below and adjacent shows original ledged doors similar to what would be seen inside a simple farm house.



Interior view of one of the gable end windows.



### INTERIOR PHOTOS

#### SECOND FLOOR

Second bedroom in the second floor space. Shares many of the same characteristics such as the large wood floor boards, low height due to the slope of the roof and a gable end window.



New staircase leading down from the second floor of the original house.

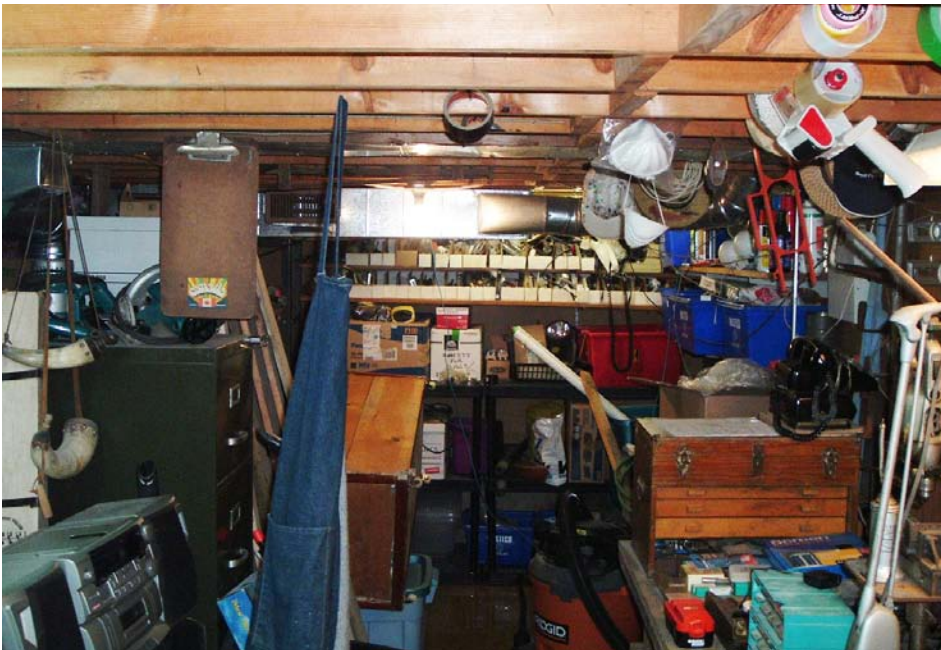




## INTERIOR PHOTOS

### CRAWLSPACE, SECOND ADDITION

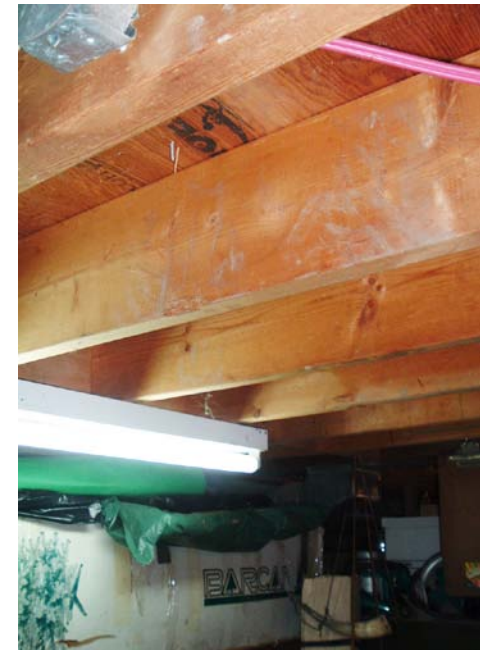
Basement/crawlspace under the later addition. This is the basement space primarily used of the two and mostly for storage.



Ducting run through concrete block masonry wall into the crawlspace below the house.



Wood joists support the floor above.



### INTERIOR PHOTOS

#### CRAWLSPACE, ORIGINAL HOUSE

Basement below the original portion of the house. Foundation walls are rubble stone.



Some concrete block masonry was added at a later date to reinforce the walls and structure.





## INTERIOR PHOTOS

### CRAWLSPACE, ORIGINAL HOUSE

The basement space under the original portion of the house was increased in the past to make room for new central heating system (adjacent photo). Concrete block masonry was put in to hold back the soil.



Central heating system a recent addition.



As seen below the floor structure of the original portion of the house is timber framed. Insulation was added between the joists at a later date.





### HERITAGE IMPACT

The white rough cast stucco of the original historic section of the Moir Residence sits proud of the past rambling additions in black board and batten that currently exist to the rear (east) of the house. The last addition was a thoughtful connection of an earlier shed structure and the original house.

The key character contributing elements of the heritage structure are:

- The symmetrical 3 bay façade
- Simple storey and a half massing
- White rough cast stucco exterior finish
- Multi-pane windows (12 over 12 on the façade)
- Steep pitched roof
- Central paced windows on the end gables
- Open largely uninhibited view of house from Pond Street.

The proposed addition recognizes these character contributing features by being set well back from the façade of the original small farmer's home.

The addition to the north is modest in scale and continues the black board and batten exterior finish of exterior additions. The black colour and board and batten texture attractively contrasts the white stucco. The colour allows the original house to stand out and the additions to recede. The façade of the addition repeats the simple form of the original house, but with a more functional second floor. The height of the addition is visually cut by the proposed horizontal porch across the façade.

In contrast to the original heritage façade, the addition has an asymmetrical, three bay façade with the entrance door set in the one storey link section. The design accomplishes several important objectives: variation to the original façade, creation of

a 3-D buffer layer between interior/exterior and a visual reduction of the mass of the addition by turning the gable end to the public street.

The architect's design is set back far enough to retain the windows in the side gable. The porch columns are articulated and stylistically controlled to the extent of providing detail and creative expression but not overpowering the modest character of the heritage property in total.

The design and proportion of the windows in the new addition match the original house and additions. This is not normally an appropriate approach in differentiating the phases of development; however, due to the extensive use of similar multi-pane windows in the past, any other solution would not be as acceptable and would create an imbalance.

The north elevation is largely blank and barn-like. It contains one window only in a dormer. The only modification recommended for final contract drawings would be to delete the pediment style of the dormer and apply a simple flat gable above the window and keep the exposed sides of the dormer that are above the roof line as simple as possible.

The rear elevation is not seen by the public. The architect has taken the approach to retain single windows to be consistent with the historic context of the rest of the house. Based on accepted national and provincial heritage standards for new construction greater freedom in regards to design of the openings could have been taken.

One minor recommendation would be to move the upper two windows closer together as the ground floor pair, so that they are visually centered in the gable as well as aligned with the French doors below.

### HERITAGE IMPACT

#### SUMMARY:

The proposed expansion of the Moir Residence, formerly the Hill House at 7015 Pond Street respects both the distinguishing character attributes of the original house as well as past renovations. Its siting, in particular, and use of vernacular building forms and materials is sympathetic to creating an addition that remains a backdrop to the historical front portion of the home. In the author's opinion there will not be any significant adverse impacts on the heritage value of 7015 Pond Street as a result of the proposed addition.

#### MITIGATING MEASURES:

The daily use of the Pond Street home has been oriented to a side entrance back to the kitchen area behind what is now the front living room. The new addition has created a more practical, modern day front entrance to the house for visitors and guests. As a result, three key entry points are established by the proposed addition.

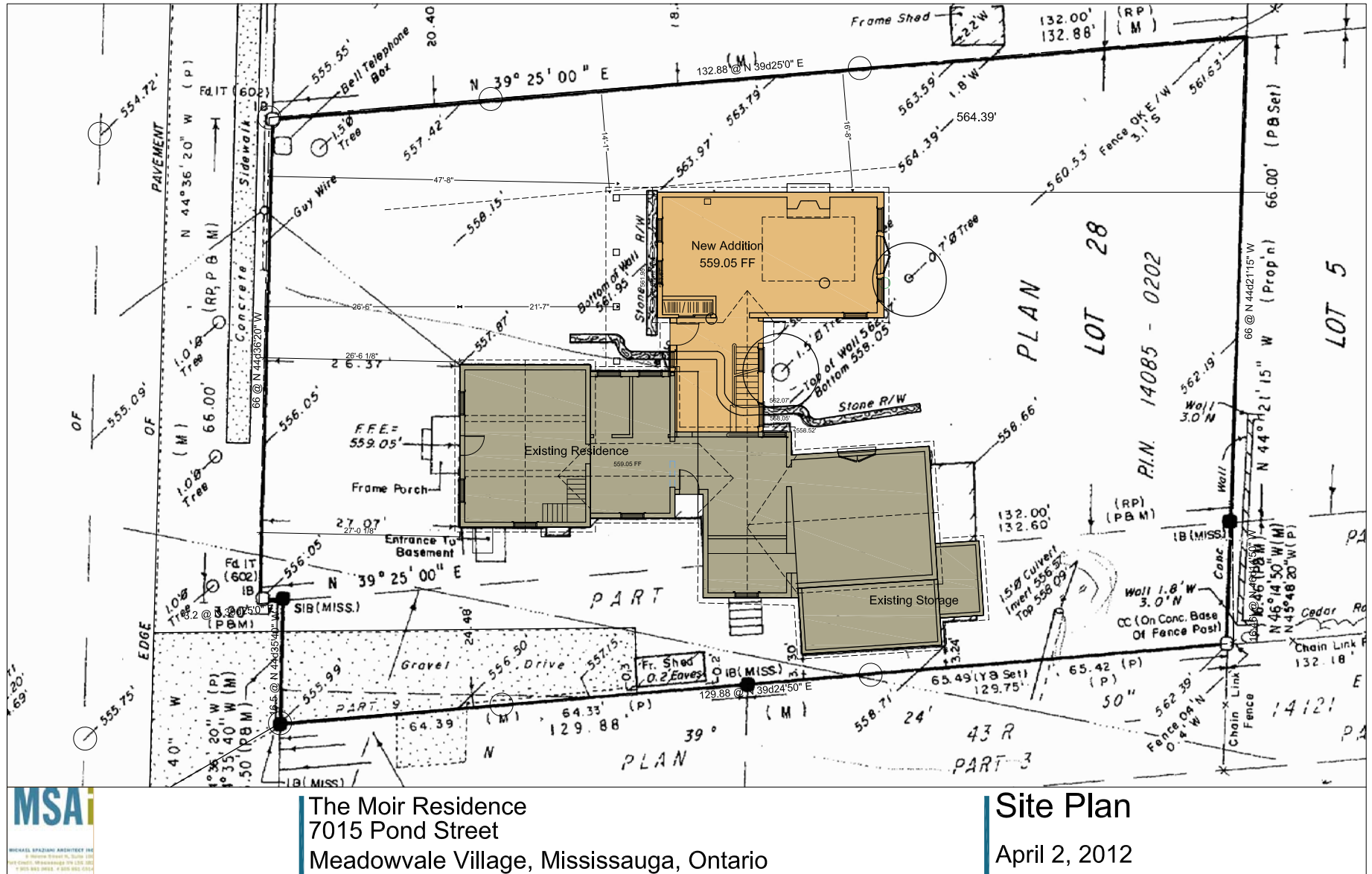
To retain the importance of the original house façade, a direct connection to the street from the new porch entrance should be avoided. It will create a duality in which the front façade will visually appear secondary. A common entry point and/or a subtle walkway from the driveway to all three entrances would be preferable. Planting, although not encouraged could be helpful in providing clues to the appropriate doorway. Appropriate Ontario species would be recommended. In the evening, lighting can also help define the appropriate entrance.

#### IMPACT ON STREETScape:

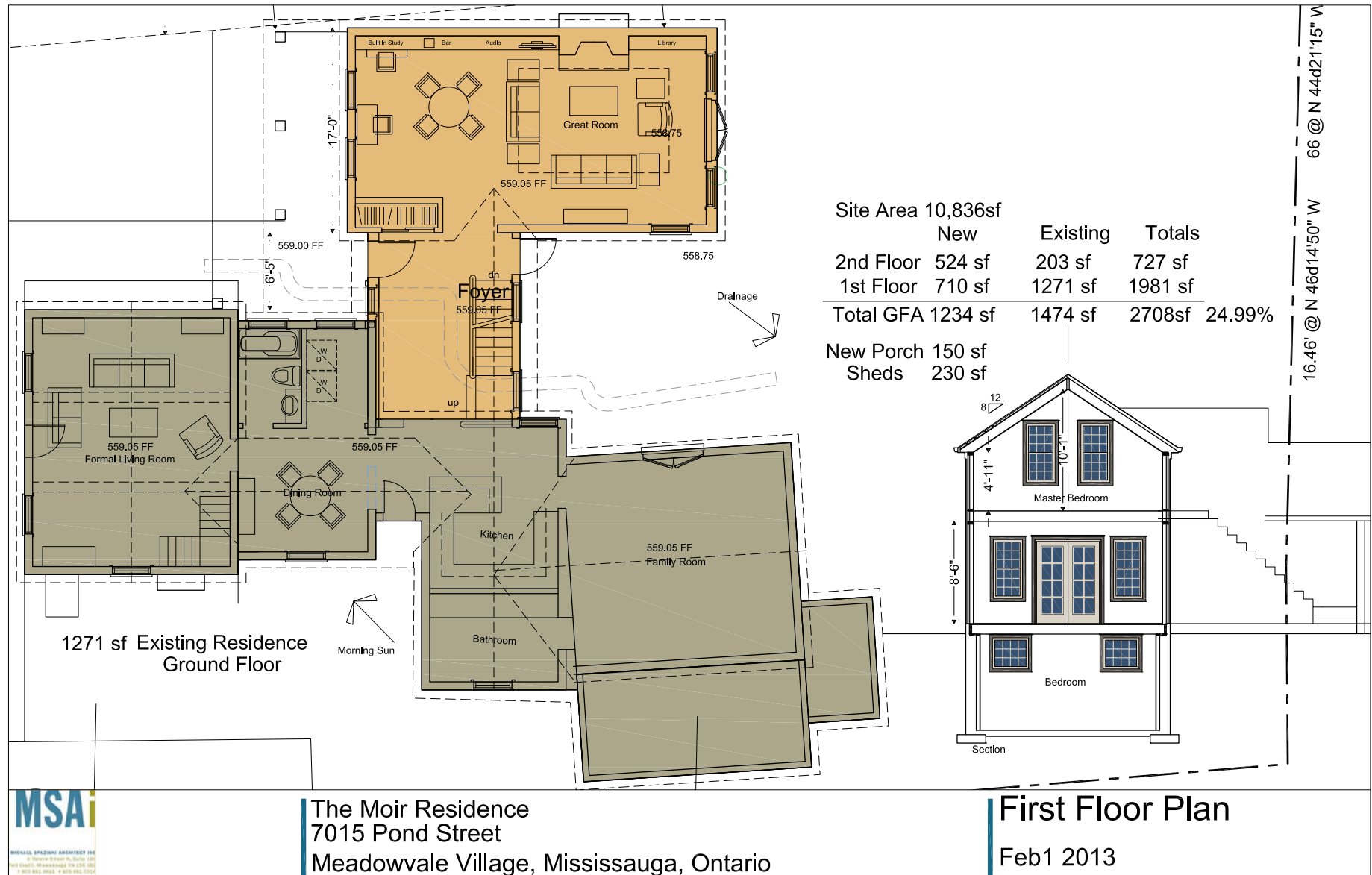
Due to the fact the addition is stepped back from the street and the rambling nature of its design, in the author's opinion it will have no significant impact on the streetscape or the neighbouring properties. This impact can be further reduced if the design is modified to employ a hip roof and dormer on the addition in lieu of a flat gable end. A sloped roof on the addition facing the street will bring its character closer in line to the neighbouring properties and the street front section of 7015 Pond Street which all present sloped roofs toward the street.

## 7015 POND STREET - HERITAGE REPORT

Note: Drawings prepared and provided by Michael Spaziani Architect Inc.

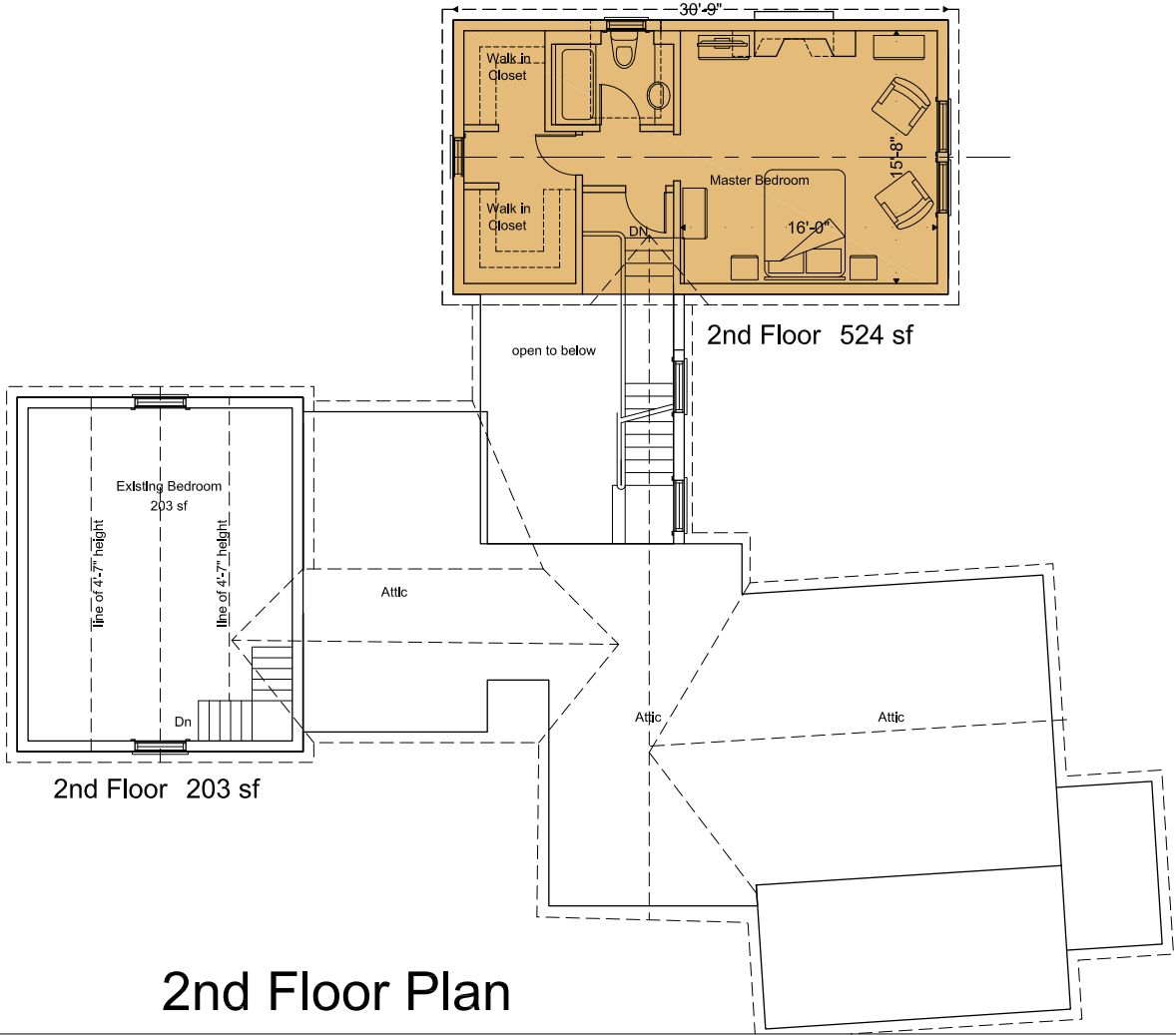


Note: Drawings prepared and provided by Michael Spaziani Architect Inc.



7015 POND STREET - HERITAGE REPORT

Note: Drawings prepared and provided by Michael Spaziani Architect Inc.



2nd Floor Plan

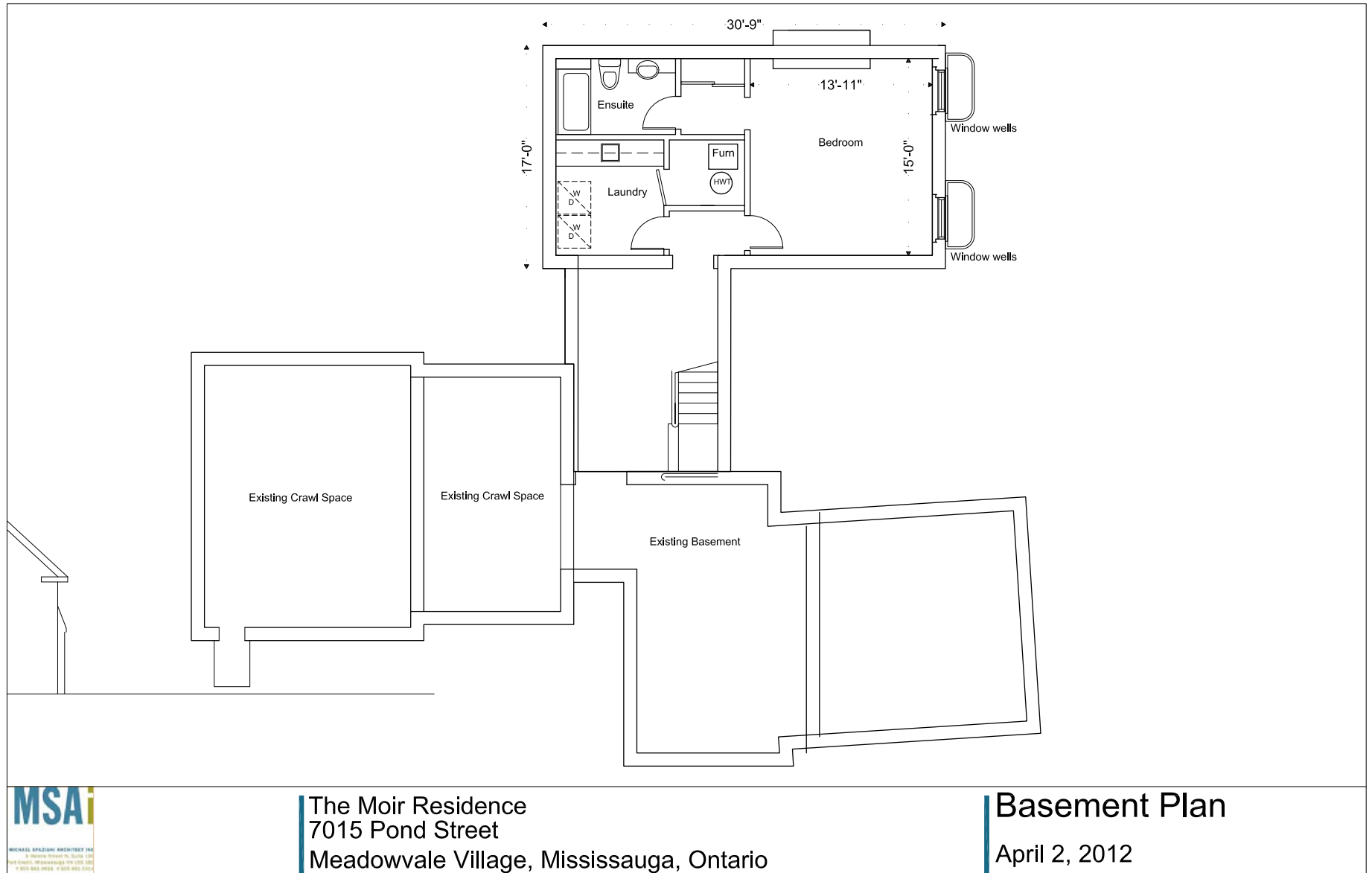


The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

2nd Floor Plan  
April 2, 2012

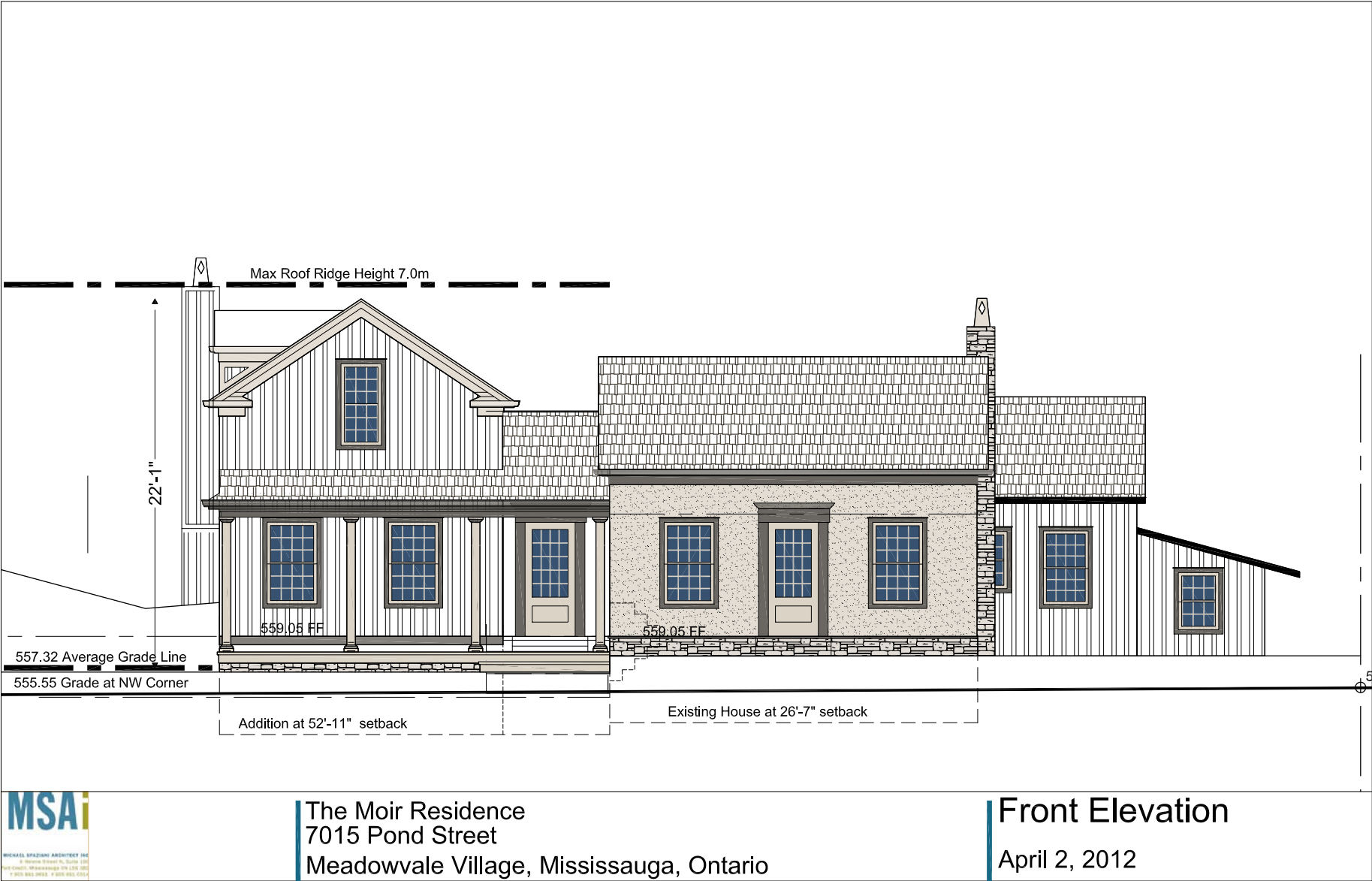


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7015 POND STREET - HERITAGE REPORT

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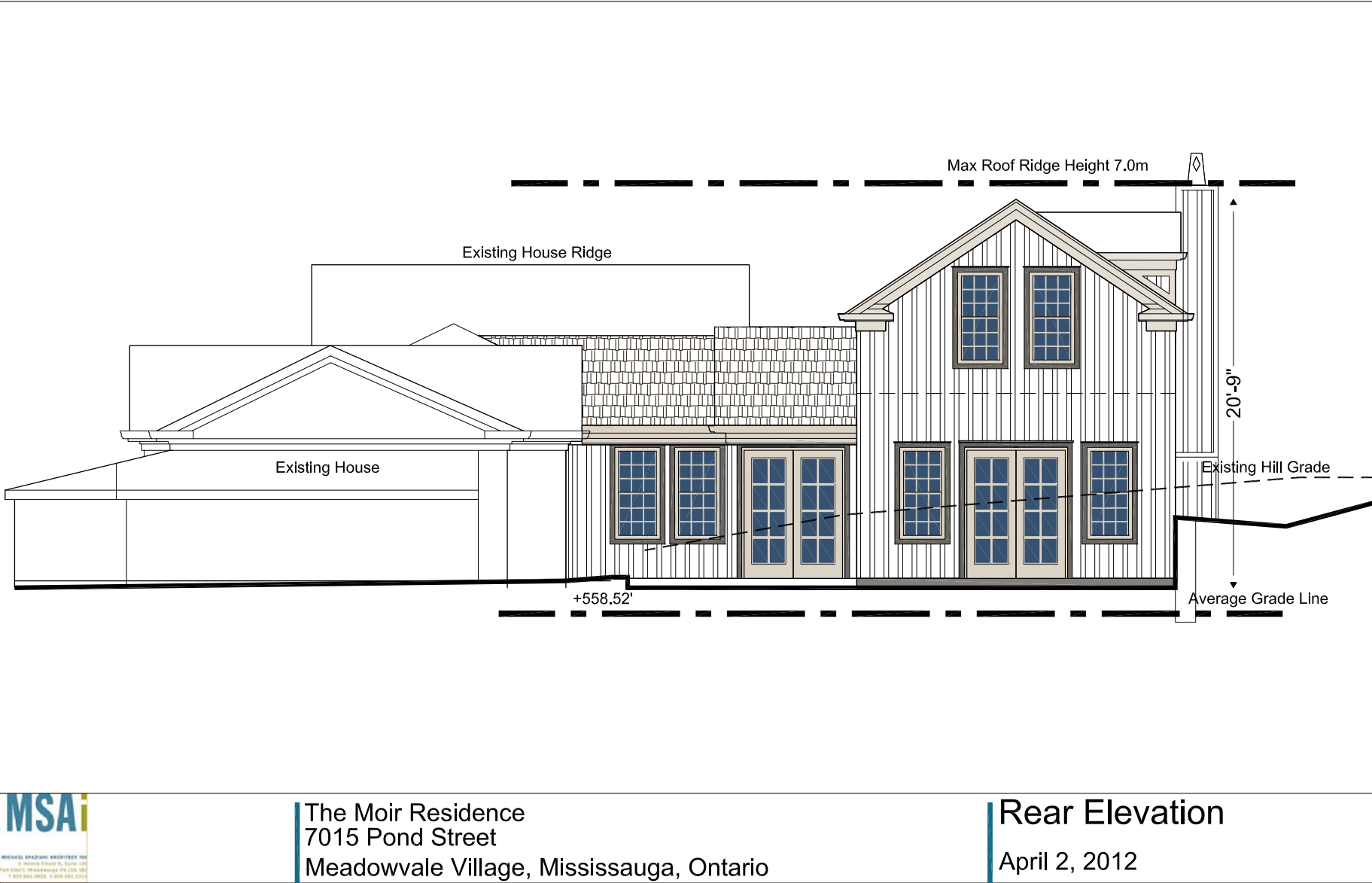
The Moir Residence  
7015 Pond Street  
Meadowvale Village, Mississauga, Ontario

North Elevation

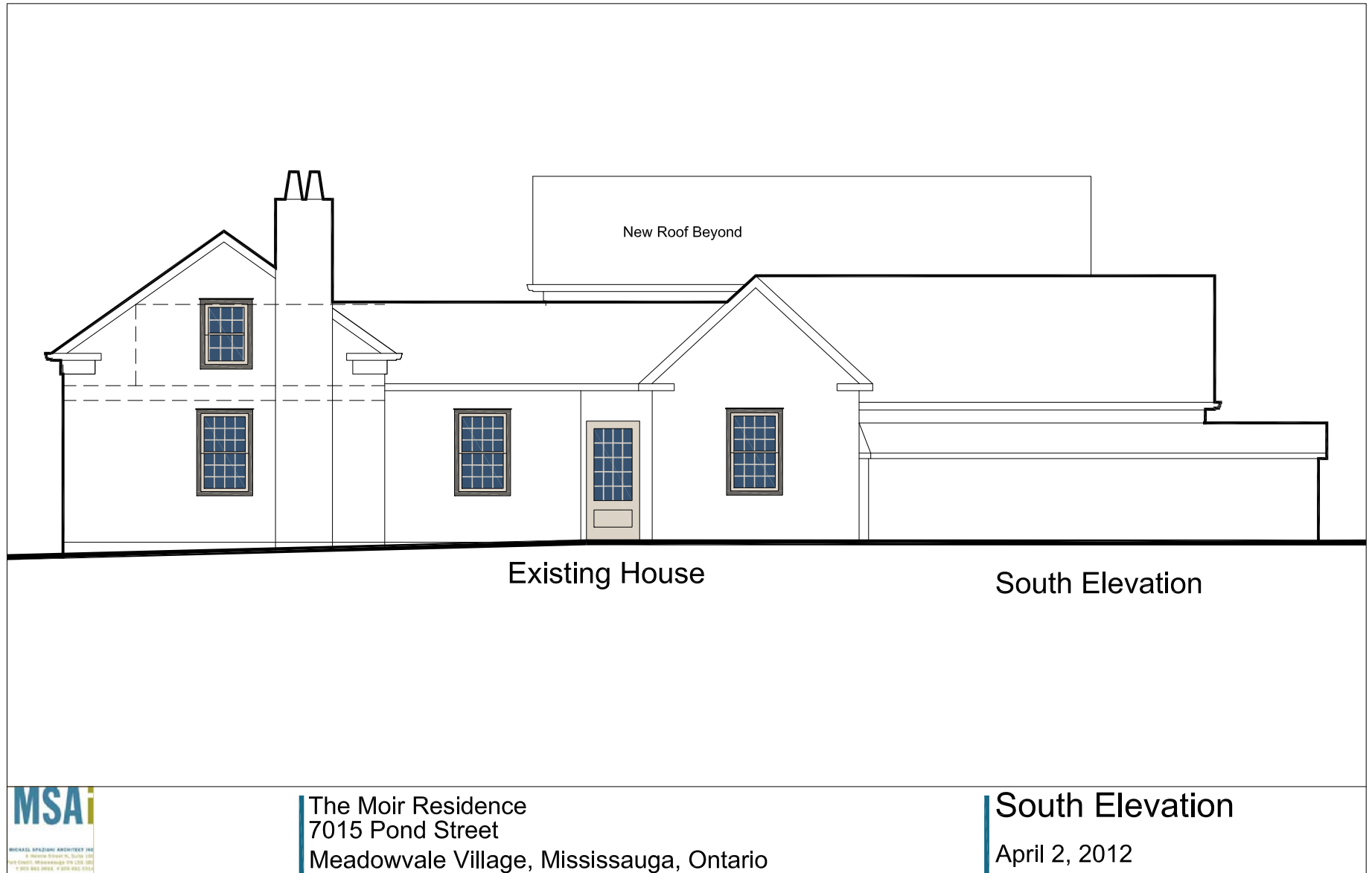
April 2, 2012

7015 POND STREET - HERITAGE REPORT

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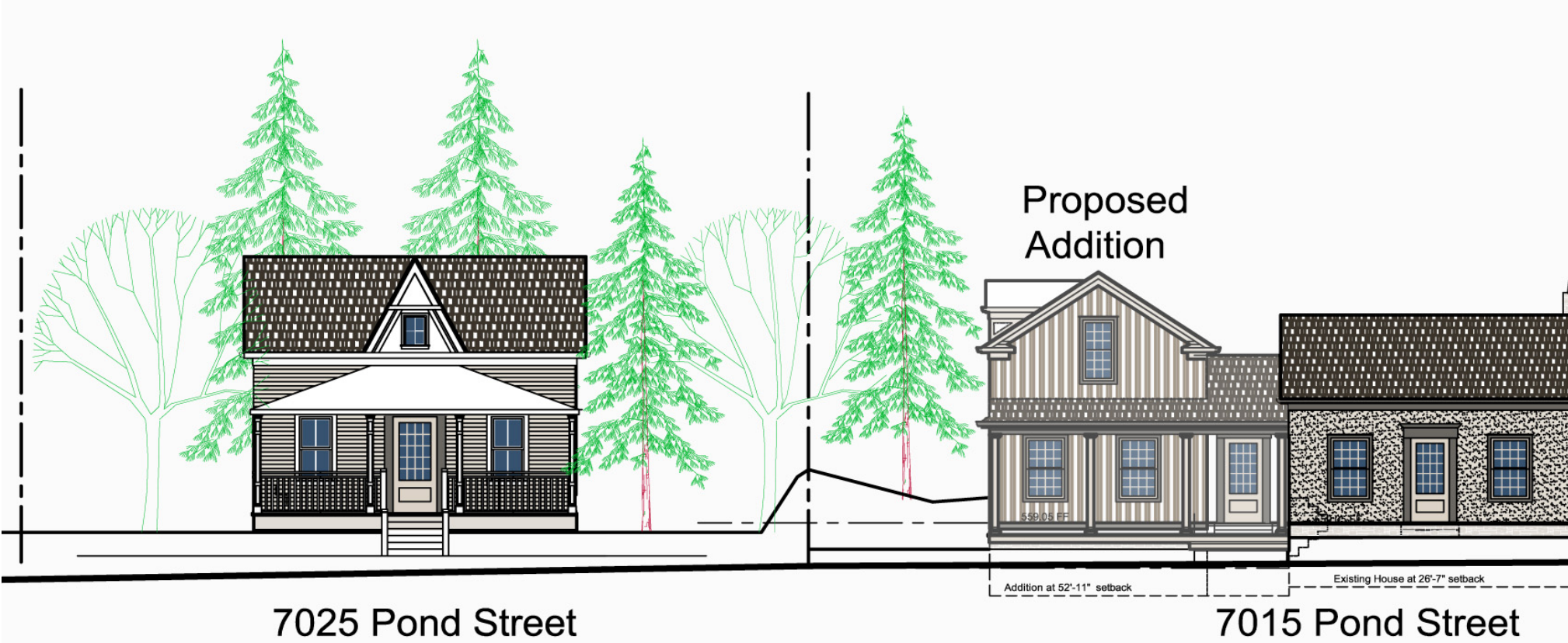
Note: Drawings prepared and provided by Michael Spaziani Architect Inc.





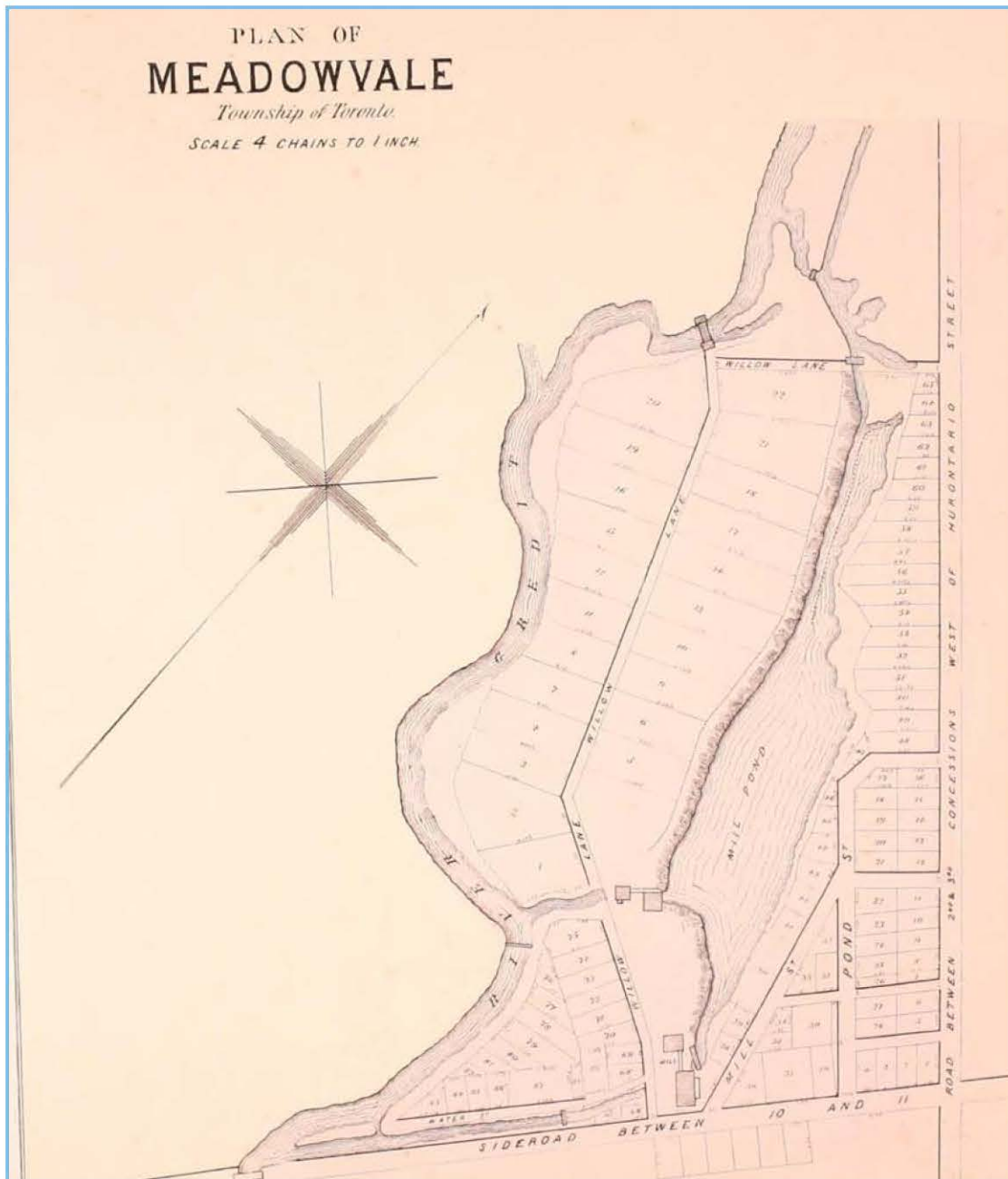
7015 POND STREET - HERITAGE REPORT

Note: Drawings prepared and provided by Michael Spaziani Architect Inc.





APPENDIX



Map of Meadowvale Village from 1877

Source: Illustrated Historical Atlas of the County of Peel, by J.H. Pope, Esq., Walker & Miles, Toronto, 1877,  
<http://www.archive.org/details/illustratedhisto00popeuoft>



**MR. CHANCE, J. BABY,**  
ATTORNEY & COUNSELLOR AT LAW  
Solicitor in Chancery, &c. &c.  
OFFICE, BEDFORD STREET,  
SANDWICH.  
October 12, 1850. 1042-q

**ROBERT STANTON,**  
GENERAL AGENCY AND COMMISSION OFFICE.  
**Stocks Bought and Sold**  
OFFICE:—Corner of Wellington and Jordan  
Streets, opposite the Commercial Bank. 969-m

**MESSES CUMBERLAND & RIDOUT,**  
Civil Engineers and Architects, Court  
House, Toronto. 955-m

**W. R. MINGAYE,** Sutton, Georgina, Com-  
missioner in the Queen's Bench, Convey-  
ancer, Land and General Agent. 941-m

**JOHN SALT,**  
MANUFACTURER of Superfine Hats, Mi-  
lary, Dress, and Travelling Caps, King  
Street, Toronto, one door West of Wakefield's  
Auction Rooms.  
February 28, 1843. 763-m

**CHARLES MARCH,** House, Sign, and  
Ornamental Painter, Glazier, and  
Paper Hanger, Gilder, &c., &c., No. 206, King-  
street, late Gazette Office, Toronto. 919-m

**ROBT. WIGHTMAN & Co.,**  
IMPORTERS OF  
**STAPLE & FANCY DRY GOODS,**  
10, YONGE STREET,  
TORONTO.  
Toronto, December 2, 1850. 1851-m

**VANKOUGHNET & BROTHER,**  
BARRISTERS, ATTORNEYS, &c., &c.,  
Office in Church Street, over "The City Bank"  
Agency, two doors south of St. Andrew's Church.  
P. M. VANKOUGHNET,  
M. R. VANKOUGHNET,  
Toronto, December 3, 1850. 1052-q

**MR. ROBERT ARMOUR,**  
BARRISTER, &c.,  
BOWMANVILLE, C. W.  
May 29, 1851. 1101-q

**THOMSON BROTHERS,**  
Hardware & Metal Commission  
MERCHANTS,  
No. 8 & 9, WESTER BUILDINGS,  
BUFFALO.  
THOMAS M. THOMSON,  
ROBERT H. THOMSON.  
1050-q

**HIGGINSON, DAY & Co.,**  
77, BROAD STREET, NEW YORK.  
**PARSONS, DAY & Co.,**  
Wellington Buildings, 33, Dale Street, Liverpool,  
General Commission Merchants.  
Represented in Canada by Mr. Joseph Ward  
late of Montreal. 973-m

**ROBERT DENNISTOUNS'**  
LAW AND CHANCERY OFFICE,  
PETERBOROUGH.  
Feb. 1849. 866-m

**DR. BETHUNE**  
REMOVED to Richmond Street East, midway  
between Yonge and Church Streets.  
Toronto, August 11, 1851. 1123q

**RIDDELL & M'LEAN,**  
MERCHANT TAILORS  
ST. B. King

**FRANCIS M. BADG**  
Toronto, August 21, 1851.

**STEAMBOAT**  
1851.—The Northern

**ROYAL MAIL**  
FROM  
TORONTO TO SAULT S

STAGES will leave the S  
for Bradford Landing,  
A. M., and 3 o'clock, P. M.  
RETURNING.—Will le  
at half-past 4 o'clock, A. M  
ing on the arrival of the St

**THE STEAMER**  
Will shortly leave Hulland  
various ports on Lake St. Lawrence,  
passengers will be conveyed to St.

**THE STEAMER**  
Which sails for Sault Ste. Mar  
mitting, on Wednesday, the 2d  
the 17th May, and every Sa  
returning from the latter port  
until 19th of November.  
(For particulars see in  
CHARLES  
Northern Stage and Steam Pack  
Church St., Toronto, April 14,

**THE NEW STE**

**VIOTO**

THE Subscriber, in  
numerous Friends  
takes this opportunity  
has built a Steamboat,  
accommodation and co  
run every hour, to gai  
zens of Toronto and i  
The Victoria will e  
this day from Mr. Mail  
Street, to the Prince  
10, A. M., 12, 2, 3,  
required.  
Evening Excursion.  
Day as soon as regulat  
Family Season (ic  
number will be issu  
Face to and fro,—Th  
Lunches, Dinners, T  
notice.  
Liquors and Wines of the  
Toronto, June 5, 1851.

**THE STE**

**CHIEF JUSTICE**  
CAPT. T. J.  
WILL, until further

his valuable services.  
seconding the motion,  
President deserved the  
sociation, as they had  
Marks briefly returned  
ad done nothing more

#### LECTURES.

attractions during the  
gentleman had a large  
m, capable of holding  
, and this was generally  
neo Societies also got  
It had a very respect-  
ome beautiful banners.  
tion would number up-

to one of Mr. Gough's  
rather speech, was a  
annot say so much for  
ot always hold water.  
ular force on the im-  
was very often inter-  
ausiastic cheering: but  
he story in a French  
of a philosopher who  
d that he had producee  
rowd, *il faut done, que*  
however add, that in  
rose to pathetic elo-  
of this was, I noticed  
to tears.

#### ATTAS.

batch of first class boats  
3 entrance fee; and of  
rize of £15, entrance  
ered of the first class—  
McClean, Brockville;  
reon of Kingston; and  
J. Dick of Kingston.  
tered—the Wave, Mr.  
llah, Mr. E. Hubbell.  
strong. The Tempest  
ner 3 minutes and 54  
miles. The Bloomer  
the first buoy; and it

to announce, the loss by fire, early yesterday  
morning, of Bingham's Hotel and out premises,  
at Richmond Hill, close by the Elgin Mills, about  
18 miles from this city. The fire is said to have  
originated in the kitchen of the hotel, and to have  
consumed the whole with furniture, &c., as well  
as the out-buildings, in which there were several  
horses burnt. The furniture of the Richmond  
Hill Lodge of Freemasons, (whose meetings were  
held at Bingham's,) was destroyed. The Elgin  
Mills adjoining, fortunately escaped damage. Mr.  
Bingham's loss must have been great,—indeed all  
he possessed.

**STORM ON THE LAKE.**—The vessels on Lake  
Ontario encountered a very violent storm on  
Friday last, not unattended, we are sorry to say,  
with serious loss of life and property. Among  
the accidents, we have to record the loss of the  
schooner *Christina of Sarnia*, near Wellington  
below Presque 'Isle, with eleven or twelve lives,  
crew and passengers, all of whom found a watery  
grave. The American schooner *Kentuckian* was  
also lost, near Presque 'Isle, with all on board.  
The number of the individuals on board, or  
lost, we have not been able to ascertain.—  
Three more schooners are reported ashore, on the  
Canada coast, but the crews saved. We have not  
heard the names. We may mention, that the  
iron steamer *Magnet*, Capt. Sutherland, weathered  
the storm nobly, having run from Kingston to  
Toronto in 18½ hours, without the slightest  
accident.

**EARLY CLOSING.**—We understand the Retail Mer-  
chants of this city have generally agreed to close their  
stores at seven, P. M., until the 1st of April next. We  
are happy to see this, and hope the young men will  
improve the leisure time afforded.

**SCOTTISH MUSIC.**—We understand that Mr. and  
Mrs. McIntire are about to visit this city for the per-  
pose of giving some Concerts in Scottish Music. We  
notice their talents have been highly lauded by some  
of our contemporaries. The Kingston *Adviser* states  
that in some songs Mr. McIntire surpasses the cele-  
brated and lamented Wilson.



Note: Photos provided by David and Barbara Moir  
**PHOTOS TAKEN FROM 1986**



## 7015 POND STREET - HERITAGE REPORT

Note: Photos provided by David and Barbara Moir

**PHOTOS TAKEN FROM 1986**





Note: Photos provided by David and Barbara Moir

**PHOTOS TAKEN OF CONSTRUCTION OF ADDITION FROM 1987**





## 7015 POND STREET - HERITAGE REPORT

Note: Photos provided by David and Barbara Moir

### PHOTOS TAKEN OF CONSTRUCTION OF ADDITION FROM 1987





Note: Photos provided by David and Barbara Moir

**PHOTOS TAKEN OF CONSTRUCTION OF ADDITION FROM 1987**





# 7015 POND STREET - HERITAGE REPORT



ServiceOntario

LAND  
REGISTRY  
OFFICE #43

ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER

14085-1963 (R)

PAGE 1 OF 1  
PREPARED FOR JASON TRUELOVE  
ON 2012/03/01 AT 09:51:54

**PROPERTY DESCRIPTION:** LT 28 PL TOR5; PT FIRST ST PL TOR 5 (CLOSED BY BY-LAW R0716259 ) PTS 1 & 9 43R14121 ; MISSISSAUGA

**PROPERTY REMARKS:** THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) R0745896, R0861852, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.

**ESTATE/QUALIFIER:**

**RECENTLY:**  
PARCELIZED

**PIN CREATION DATE:**  
1997/07/29

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
<p><b>**EFFECTIVE 2000/07/29</b> THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS PIN**</p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1997/07/29**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1997/07/26 **</b></p> <p>THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM: 1997/07/29</p> <p>FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK</p> <p>NOTE: THIS PIN WAS ONCE REG PIN 14085-0202. THIS PROPERTY WAS CONVERTED TO LT ON 1999/03/08 REUSING PIN 14085-0202.</p>					
R0785896	1987/01/29	TRANSFER	\$125,000		MOIR, DAVID MOIR, BARBARA
R0861852	1988/09/01	TRANSFER	\$300		MOIR, DAVID MOIR, BARBARA



ServiceOntario

LAND  
REGISTRY  
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

14085-0202 (LT)

PAGE 1 OF 2

PREPARED FOR JASON TRUELOVE  
ON 2013/03/01 AT 09:51:55

\* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: LT 28 PL TOR5 TORONTO; PT FIRST ST PL TOR5 TORONTO CLOSED BY R0716259 PTS 1 & 9 43R14121 ; MISSISSAUGA

PROPERTY REMARKS:ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14085-1983

PIN CREATION DATE:

1999/03/08

OWNERS' NAMES

MOIR, DAVID

MOIR, BARBARA

CAPACITY SHARE

JTEN

JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS REG**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/08**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1999/03/08 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</p> <p>** SUBSECTION 24(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHENTS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 76(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1999/03/09 **</p>					
VS248789	1973/02/12	NOTICE			
REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER					
R0677042	1984/04/05	BYLAW			
REMARKS: SKETCH ATTACHED; ADDED 99/03/02 BY LAND REGISTRAR #1					
43R14121	1986/12/18	PLAN REFERENCE			
R0785896	1987/01/29	TRANSFER	\$125,000		MOIR, DAVID MOIR, BARBARA
R0861852	1988/09/01	TRANSFER	\$300		MOIR, DAVID MOIR, BARBARA

# 7015 POND STREET - HERITAGE REPORT



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LAND  
REGISTRY  
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

14985-0202 (LT)

PAGE 2 OF 2  
PREPARED FOR JASON TRUELOVE  
ON 2013/03/01 AT 09:52:55

\* CERTIFIED BY LAND REGISTRAR IN ACCORDANCE WITH LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
RO1093180	1995/06/29	CHARGE		*** COMPLETELY DELETED ***	SCOTIA MORTGAGE CORPORATION
LT2029692	1999/12/20	CHARGE		*** COMPLETELY DELETED *** MOIR, DAVID MOIR, BARBARA	THE BANK OF NOVA SCOTIA
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA	
		REMARKS: PEARSON AIRPORT ZONING REGULATION			
PR634243	2004/05/05	DISCH OF CHARGE		*** COMPLETELY DELETED *** SCOTIA MORTGAGE CORPORATION	
		REMARKS: RE: RO1093180			
PR1078467	2006/06/14	CHARGE	\$380,000	MOIR, BARBARA MOIR, DAVID	THE BANK OF NOVA SCOTIA
PR1078471	2006/06/14	DISCH OF CHARGE		*** COMPLETELY DELETED *** THE BANK OF NOVA SCOTIA	
		REMARKS: RE: LT2029692			

Date Plan Registered 21 July 1856Owners Francis SilverthornLots Subdivided Pt. 11&12, 3 W.H.S.Abstract Index  
Répertoire par lotLot 28 Plan/Concession TOR-5 Page 1POND AND FIRST STREET

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	DAY MTH YR Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
770	B.&S.	21 Apr 1871	Thomas Idle	Matthew Laidlaw	\$300.00	All
4038	B.&S.	11 Dec 1883	Sarah Elvidge et al	Ann Barnhill	175.00	All and O.L.
9312	B.&S.	3 Dec 1896	Ann Barnhill	Richard Hill	200.00	All
30420	GRANT	12 Jun 1928	Minnie Smith	Grace Hill	1.00	All
6617	B.&S.	19 Mar 1859	Francis Silverthorne et ux	William Wilson	£ 30.-	All
7660	B.&S.	21 Dec 1859	William Wilson et ux	Thomas Idle	£ 100.-	All
30420	Grant	12 Jun 1928	Minnie Smith et al	Grace Hill	\$1.00	All <i>Entered in Enrol &amp;c 2012 90.11.06</i>
366	By-Law	3 July/50	RE SUBDIV. CONTROL			
426	By-Law	9 June/54	RE SUBDIV. CONTROL			
117784	Grant	13 Mar 1959	Grace Hill	Arthur S. Hill	\$1.00 & C.	All Subj. to life interest Judges Order Endorsed
248789VS	Notice	12 Feb 1973	Amendment of Airport Zoning Regulations			All & O.L.
677042	By-Law No. 453-80	05 04 84	THE City of Mississauga			To designated as a Heritage Conservation District All & O.L. sketch attached
785896	Grant	29 01 87	Estate of HILL, Arthur S.	MOIR, David MOIR, Barbara as J.T.		All
785897	Mort	29 01 87	MOIR, David MOIR, Barbara	SCOTIA Mortgage Corp.	\$80,000.00	All <i>Dischd 75/06/21</i> <i>Discharged by # 20002201 Asst. Dep. Land Reg. 11-22-05</i>
913732	Mort	09 10 12	MOIR, David MOIR, Barbara	THE Bank of Nova Scotia	\$5,600.00	All <i>Discharged by # 20003025 Asst. Dep. Land Reg. 23-02-06</i>

# 7015 POND STREET - HERITAGE REPORT

## Abstract Index Répertoire par lot

Lot 28

Plan/Concession Tor-5

Page 2



Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
R0998357	Mort	92-02-24	MOIR, David MOIR, Barbara	SCOTIA Mort. Corp.	\$157,500.00	ATTN: LADOC 95/06/21
				Exchanged by #61096 963 Inst. Reg. Land Reg. 97/08/27		
R0 1093180	Charge	95-06-29	MOIR, David MOIR, Barbara	Scotia Mortgage Corporation	165,750	1) ATT & O.L.

### NOTICE All Document/Instruments subsequent to

JUL 22 1997

are recorded in the published abstract  
issued out in subsection 21(5) of the  
REGISTRY ACT

Amended 97-07-17 cc

Continued on Page 3 to Page



## BIBLIOGRAPHY

### REFERENCES:

*Tweedsmuir History, Meadowvale District Vol.2*, RPA, Meadowvale Women's Institute, 1997.006

*Mills to Millenium*, Kathleen A. Hicks, published by The Friends of Mississauga Library System; 301 Burnhamthorpe Road West, Mississauga, ON L5B 3Y3, Copyright 2004

*City of Mississauga, Meadowvale Village District Plan*, May 1980

*Souvenir of Meadowvale*, 1904 found in the *Tweedsmuir History, Meadowvale District Vol.2*, RPA, Meadowvale Women's Institute, 1997.006

Mississauga.ca - Property Information, <http://www.mississauga.ca/portal/services/property>

Mississauga.ca - eMaps, <http://www6.mississauga.ca/eMaps>

*A Heritage Tour: Streetsville North Section 2012*, Guided walking tour brochure, Streetsville Historical Society.

*Illustrated Historical Atlas of the County of Peel*, Published by Walker & Miles, Toronto, 1877.

*History of the Great Lakes*, Chapter 37 1851-1860, <http://www.maritimehistoryofthegreatlakes.ca/documents/hgl/default.asp?ID=s046>

*History of the Great Lakes*, Daily British Whig (Kingston, ON), 8 Oct 1851 <http://images.maritimehistoryofthegreatlakes.ca/d12579/data?n=4>

Meadowvale Village File, Canadiana Room

*A Heritage Tour of Meadowvale Village, Ontario's First Heritage Conservation District*, Heritage Mississauga, <http://www.heritagemississauga.com/assets/Meadowvale%20Village%20Heritage%20Tour%20Brochure%20-%20Final%202011.pdf>

### RESOURCES:

Land Registry Records,  
Peel Land Registry Office #43

Kyle Neill  
Reference Archivist at the Region of Peel Archives  
9 Wellington St. E., Brampton, ON L6W 1Y1

Canadiana Room  
Mississauga Central Library  
301 Burnhamthorpe Rd. W., Mississauga, ON L5B 3Y3

Ancestry.ca Library Edition  
Mississauga Central Library  
301 Burnhamthorpe Rd. W., Mississauga, ON L5B 3Y3

### ALEXANDER TEMPORALE CV

Alexander Temporale, B.Arch., O.A.A., F.R.A.I.C, CAHP

#### Education

University of Toronto, B.Arch.

#### Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase in revenue. The Master Plan reorganized the site and its uses, as well as facilitating

future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. Below are other previous offices held:

#### Past Offices

- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board

### Heritage Assessment and Urban Design Studies

- > The Bowie Medical Hall Heritage Assessment, 264 Queen Street South, Mississauga
- > Fred C. Cook (Old Bradford Highschool) Heritage Assessment, Simcoe County District School Board
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario
- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage Assessment
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 11953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)

- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road
- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission

## 7015 POND STREET - HERITAGE REPORT

- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

### Partial List of Heritage Restoration Projects

- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappell Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby
- > Heritage Strategy for City of Brampton re Municipality owned heritage buildings.
- > Greenwood Residence, 1830's Renovation/Additions, Oakville
- > Reynolds Street, Heritage District 1940's Cape Cod Style Renovation/Addition, Oakville
- > Gray Residence, 1940's Cape Cod Style Addition/Renovation, (twin of Reynolds Street).
- > Uxbridge Museum Visitor Centre Design, Town of Uxbridge, (competition winner)



# Corporate Report

Clerk's Files

Originator's  
Files

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**DATE:** June 25, 2014

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: July 22, 2014

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property Within a Cultural Landscape**  
**75 Inglewood Drive**  
**(Ward 1)**

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**RECOMMENDATION:** That the property at 75 Inglewood Drive (Ward 1), which is listed on the City's Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated June 25, 2014 from the Commissioner of Community Services.

**BACKGROUND:** The subject property was Listed on the City's Heritage Register in 2005 as part of the Mineola West Neighbourhood Cultural Landscape, which is noted for its large lots and mature landscaping. The property was part of the original land holdings of the Cotton family, who were one of the early settlers in the Port Credit area, having emigrated from County Roscommon in Ireland in 1837. Beginning in the 1870s, the lands were subdivided into individual building lots to create much of what is now Mineola West. The present dwelling was likely constructed in the late 1940s.



The current property owner has submitted Site Plan application SPI 12/010, in support of an application to remove the existing single detached dwelling and replace it with a new single detached dwelling. Attached as Appendix 1 is the Heritage Impact Statement prepared by Stoyanovskyy Architects Inc. The Arborist's Report from Bostock Consulting Inc. is attached as Appendix 2. Landscaping and urban design matters will be reviewed as part of the Site Plan review process to ensure the project respects the character of the surrounding Cultural Landscape.

**COMMENTS:**

Section 27. (3) of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be demolished without 60 days' notice to Council. This allows Council time to review the property's cultural heritage value and to determine if the property merits designation, as set out under Regulation 9/06 of the *Ontario Heritage Act*. In order to merit designation, one of the following three criteria must be satisfied:

1. The property has design value or physical value;
2. The property has historical value or associative value;
3. The property has contextual value.

Furthermore, Section 27. (5) of the *Ontario Heritage Act*, states Council may require the applicant to submit plans in support of a demolition application for a property included on the city's Heritage Register.

Heritage Planning staff concurs with the Heritage Impact Statement's findings that the house at 75 Inglewood Drive is not worthy of heritage designation under Regulation 9/06 of the *Ontario Heritage Act*. The existing structure does not illustrate a style, trend or pattern; have any direct association with an important person or event; illustrate an important phase in the city's social or physical development; nor does it illustrate the work of an important designer.

Additionally, in consideration of L-RES-6 of the Cultural Landscape Inventory's design characteristics of the Mineola West Neighbourhood, it is Heritage Planning staff's opinion that the proposed new construction preserves the existing building setbacks; meets height restrictions; is designed to respect the existing vegetation; and preserves the existing grades and drainage patterns of

the lot. The proposed new development also strives to protect the property's horticultural attributes and to compliment the existing building stock.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The property owner of 75 Inglewood Drive has requested permission to demolish a structure on a property that is listed within a Cultural Landscape on the City's Heritage Register. The subject property is not worthy of designation and the request for demolition should, therefore, be recommended for approval.

**ATTACHMENTS:** Appendix 1: Heritage Impact Statement by Stoyanovskyy Architects Inc.  
Appendix 2: Arborist Report by Bostock Consulting Inc.



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Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

*Prepared by: Laura Waldie, Heritage Coordinator*

# Heritage Impact Statement

75 Inglewood Dr.  
Mineola Neighborhood  
Mississauga



Prepared for: Mr.& Mrs. Chittella  
Prepared by: Stoyanovskyy Architects Inc.  
June 2, 2014

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## **1. Present Homeowner Information**

Vitaly Kovaliv  
1232 Vesta Drive  
Mississauga, Ontario  
Tel: 416 624 61 58

## **2. Property Heritage Listing**

Address: 75 Inglewood Drive  
Legal Description: Plan 323 PT Lot 25  
Heritage Status: Listed on the Heritage Register but NOT designated.

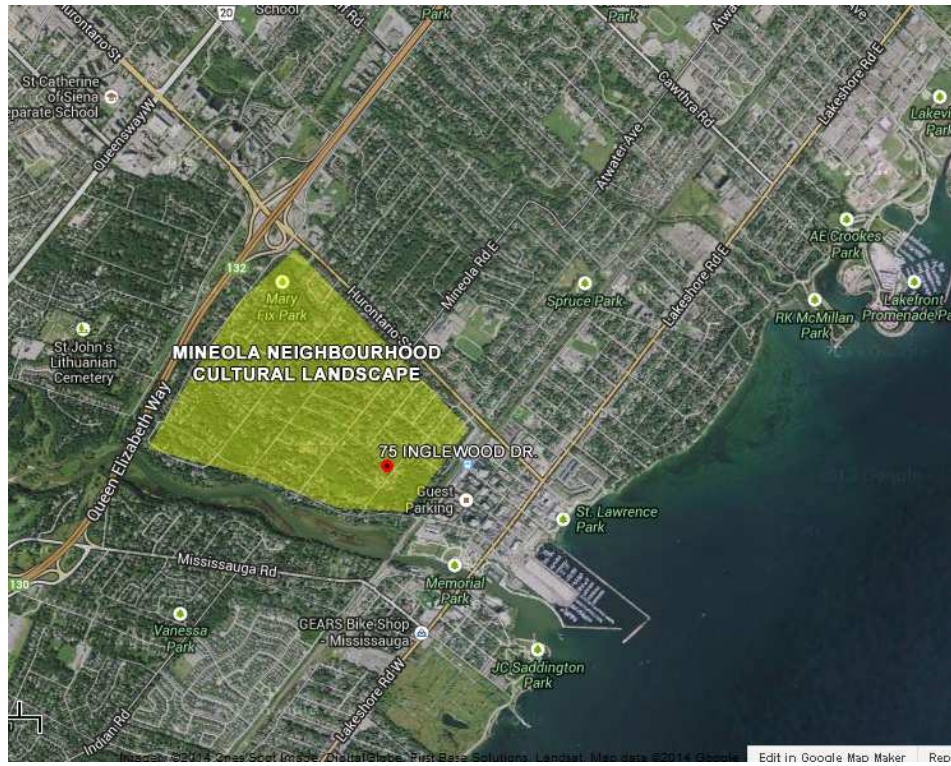
Location History: The property is located in the Mineola Neighborhood. This area has been listed in the Cultural Landscape Inventory (2005). The reasoning behind the identification of Mineola as a cultural landscape is careful planning of the neighborhood taking into consideration natural qualities of the landscape. The document identifies the following as the preservation measures undertaken in the area on the early stages of its development: the construction of road system without distortion of natural topography, division of land into larger lots, and preservation of natural drainage. These were complemented by the construction of built forms respecting natural surroundings in the later years. These development guidelines stimulated preservation and regeneration of vegetation resulting in creation of an attractive and memorable neighborhood<sup>1</sup>.

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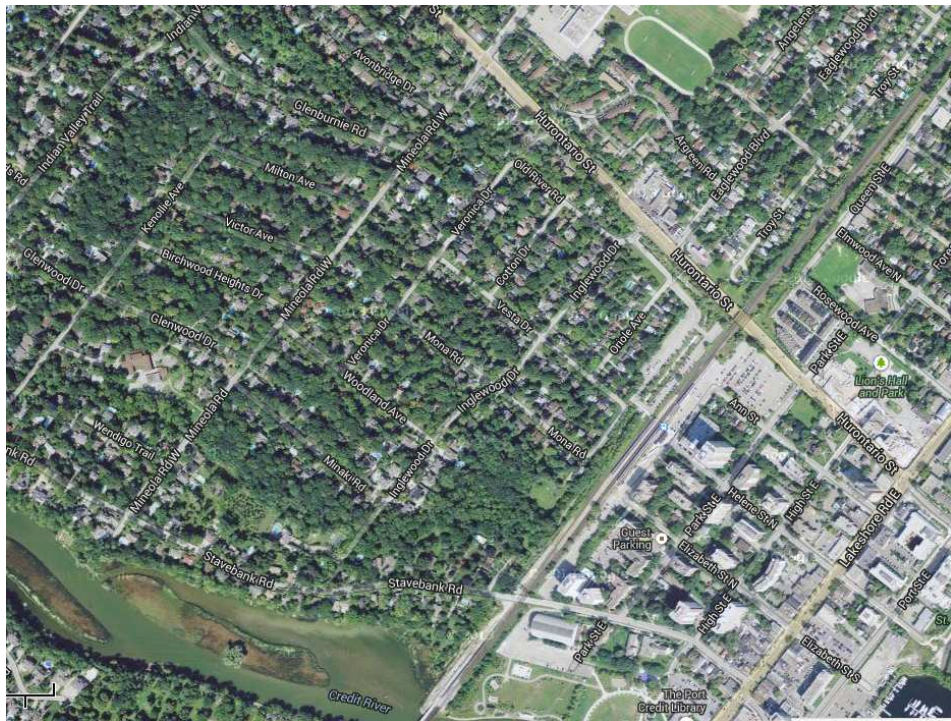
<sup>1</sup> Cultural Landscape Inventory. Appendix 2. L-RES-6. 2005.



### 3. Location Map



Picture 1.

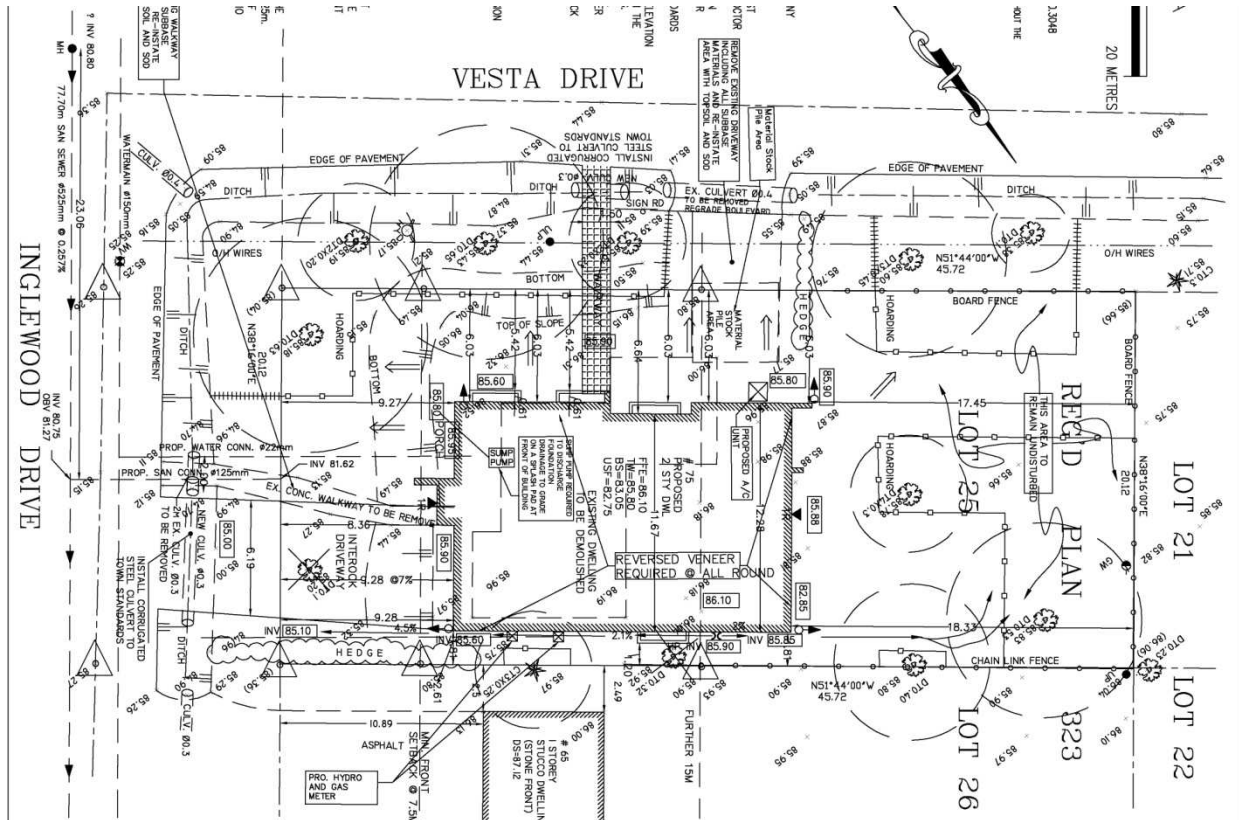


Picture 2.





## 4. Grading Plan



Picture 5.



## 5. Visual and Written Inventory (Existing)

### PICTURES OF THE EXTERIOR



**Picture 6: Front View**



**Picture 7: Rear View**



**Picture 8: West Side View with a Covered Patio**



**Picture 9: West Side View Featuring a Driveway**





**Picture 10: East Side View**



**Picture 11: Backyard**





**Picture 12: Street Facing Eastward (Inglewood Dr.)**



**Picture 13: Street Facing Westward (Inglewood Dr.)**





**Picture 14: Street Facing Northward (Vesta Dr.)**



**Picture 15: Street Facing Southward (Vesta Dr.)**

**PICTURES OF THE INTERIOR**  
**MAIN FLOOR**



**Picture 16: Living Room**



**Picture 17: Kitchen**





**Picture 18: Dining Room**



**Picture 19: Master Bedroom**





**Picture 20: Kid's Bedroom**



**Picture 21: Den**



**Picture 22: Washroom**

## BASEMENT



**Picture 23: Guest Bedroom**



**Picture 24: Recreational Area**



**Picture 25: Washroom**



## **Property Information**

The existing home at 75 Inglewood Drive was built in early 1950s. The property is located on the Northeast corner of the intersection of Inglewood Drive and Vesta Drive on a 20.12 m x 45.72 m lot. It is listed on the Heritage Register but has not been designated a heritage property. It is listed on the Register because the property is part of a cultural landscape.

The lot has several deciduous trees in the front and back yards. There is a line of shrubs along the East property line. An unpaved driveway is located on the South side of the property accessible from Vesta Dr. (pic.9) The property does not feature a garage. There is a small covered patio on the west side of the building that does not open to the backyard (pic. 8). The backyard has a small shed and an interlock deck (pic. 7).

The building placed on the property is a one storey single family house with a finished basement. The exterior of the existing building is made of red brick in combination with white siding and a visible foundation wall (pic. 6-10). In front of the house, there are eight concrete steps leading up to the porch and the single front door (pic. 6). On the front elevation, there is a total of two windows on each side of the doors. They do not match in terms of design and are decorated with white fake shutters (pic. 6). Two thirds of the west side facade consists of a brick wall with one large window as the main feature. Under it, the basement window is partially visible (pic. 8, 9). The west south corner of the house is a covered patio with a white fence (pic. 8). The rear facade has two windows of different sized on each side of a rear entry. Five steps lead to an entrance from the backyard. There is a small shed placed at the wall of the rear facade (pic. 7).

The living area of the house is approximately 120 square meters. The first floor features a living room, a small outdated kitchen and a small eating area that can be used as a dining room (pic. 16-18). Two bedrooms, a den, and one three piece bathroom is located on the same level (pic. 19-22). This is in fact the only bathroom which allows for a proper bathing routine. The basement is finished and contains a guest bedroom, a recreational room and a powder room (pic. 23-25). The house features a small living area, limited sleeping accommodations and lacks proper bathing amenities to accommodate a large family.

The current owners have purchased the property in November 2010. They have been looking for a property in the beautiful Mineola West as they appreciate rich vegetation of the area. There is also expanding need for entertainment space to accommodate their extended family members. The owner propose to build a new bigger home within maximum allowable gross floor area as per current zoning bylaw. The dwelling will feature traditional vocabulary of the neighborhood and adapt to the natural topography of the lot to fit and reinforce the charm of traditional Mineola West area (see Section 7).

## **6. Home Owner History & Abstract Analysis:**

According to Heritage Mississauga history, Port Credit & Streetsville amalgamated with the Town of Mississauga in 1974. As taken from the 1996 Census of Canada, Statistics Canada profile in February 1999 edition it was explained that:

from the late 17th century to the early 19th century, the Credit River Valley was the exclusive domain of the Mississauga's, a band of the Ojibway. In 1805 they relinquished most of their holdings to the British Government, with the exception of a strip of land one mile on each side of the Credit River-the Credit Indian Reserve, which now comprises part of the current Mineola. As settlement occurred, the Mississaugas sold most of the Credit Indian Reserve to the Crown in 1820. Mineola underwent suburban residential development on several parcels of land throughout the 1940's and 50's, and by 1950 newer homes along with older farmhouses lined Hurontario Street almost continuously from Port Credit to Cooksville. (p.1)

Robert Cotton who came with his family to Canada in 1837 from County Roscomon, Ireland had purchased several parcels of land in the southern half of Toronto Township including Port Credit area. He actually had a home at 1234 River Road until his grandson Cyril E. Cotton sold it in 1943.

The Township of Toronto diagram, earlier in the HIS shows that 75 Inglewood Drive was originally part of Range 1, Lot 3 in the original subdivision plan on land granted to James W. Cotton by the Crown in 1854 (Appendix A). Upon Robert's death in 1885 his son James inherited the land with his wife Susan Barbour in 1878. As stated above, this remained in the Cotton family until June 24 1943, when the owner Cyril E. Cotton sold many land properties on this street including lot 25 (aka 75 Inglewood Drive) to F.J. Moore Construction Co. Ltd. for \$20,000<sup>2</sup>. No findings of this company, F.J Moore Construction Co. Ltd can be found listed as a business in Mississauga.

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<sup>2</sup> Transaction listed in Abstract Index in Appendix B (registration# 43007).

On November 4, 1943 F.J Moore Construction Co. sold the property (Lot 25 Concession 323) to John W. Crashley, who sold the lot on August 9, 1948 to Norman F. Stinton and Mary N. Stinton as join tenants<sup>3</sup>.

The property was transferred to the ownership of Mary N Stinton on April 29, 2008 and was subsequently sold to Cherene Nadine Diamond on June 25, 2009. On June 30, 2009, the property was transferred to the ownership of Dominique and Owen von Richter, who sold the property to the current owners, Kamesh and Sudha Chittella on November 19, 2010 for \$787,000<sup>4</sup>.

Neither the original owner, nor any of the subsequent residents appears to have been of historical significance to the community adequate research has indicated. Census data, Archives of Ontario, Library and Archives Canada, Mississauga, Directories, Canadian Cemetery Records and Google were searched for these families.

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<sup>3</sup> Transactions described in this paragraph are listed in Abstract index for Lot 25 Plan 323 provided in Appendix B.

<sup>4</sup> Transactions listed in the above paragraph can be located in Appendix C.

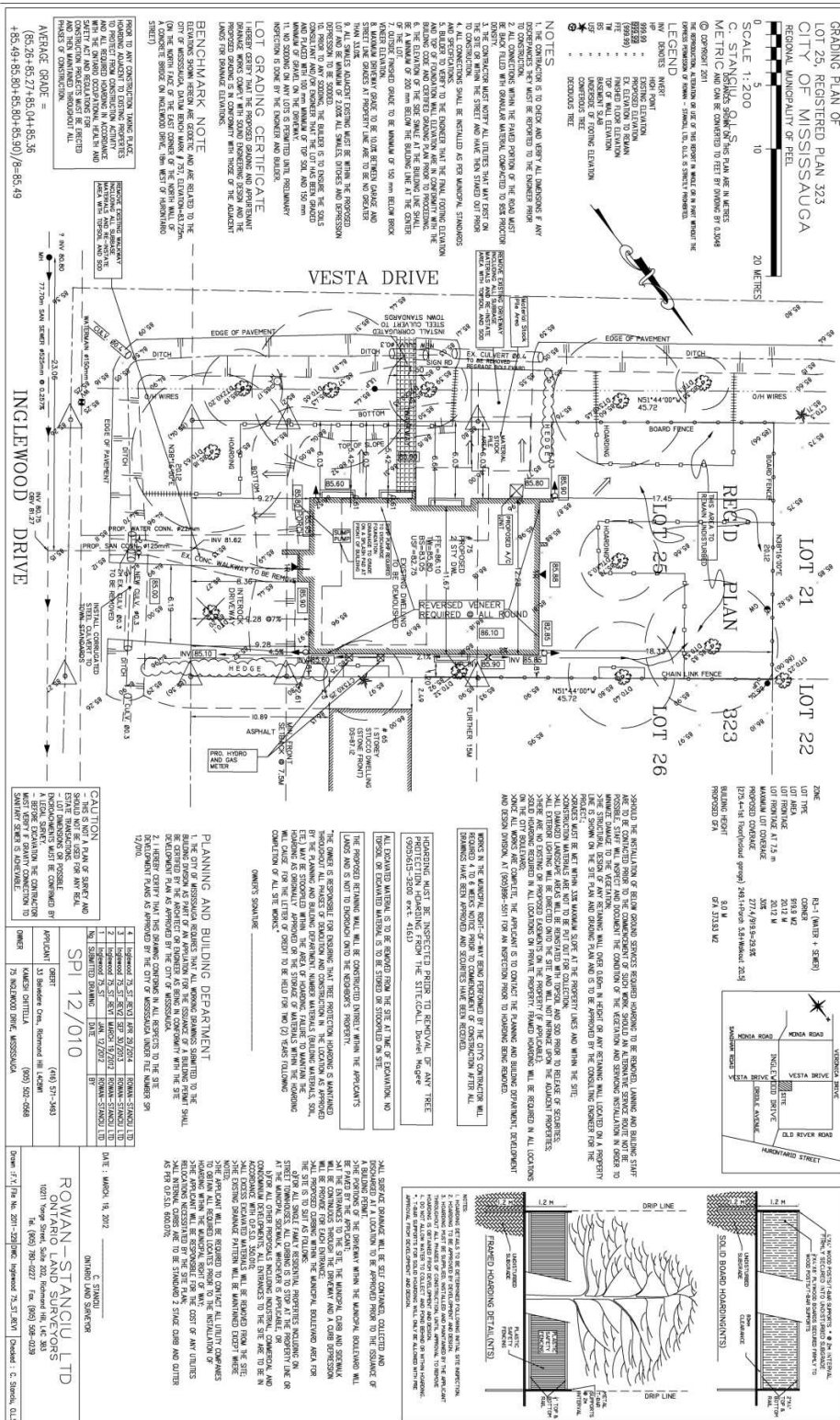


## **7. Written and Visual Inventory (Proposed)**

The current owners are interested in building a new home that is consistent with the existing style of the homes within the neighborhood. The neighborhood is mostly traditional in terms of building style but includes examples of contemporary architecture and new builds in traditional with modern elements.

The proposed house is a gentle mix of modern and traditional architectural features. It features modern straight lines on the facades that are softened by the inclusion of the sloped roof (dr. 2-5). The use of traditional materials allows to further support the blend of architectural styles by the appearance of natural cedar cladding in combination with brick and stone. Based on the visual survey of the area (pic. 28-32), such exterior undoubtedly fits into the neighborhood quite nicely.

# SITE PLAN

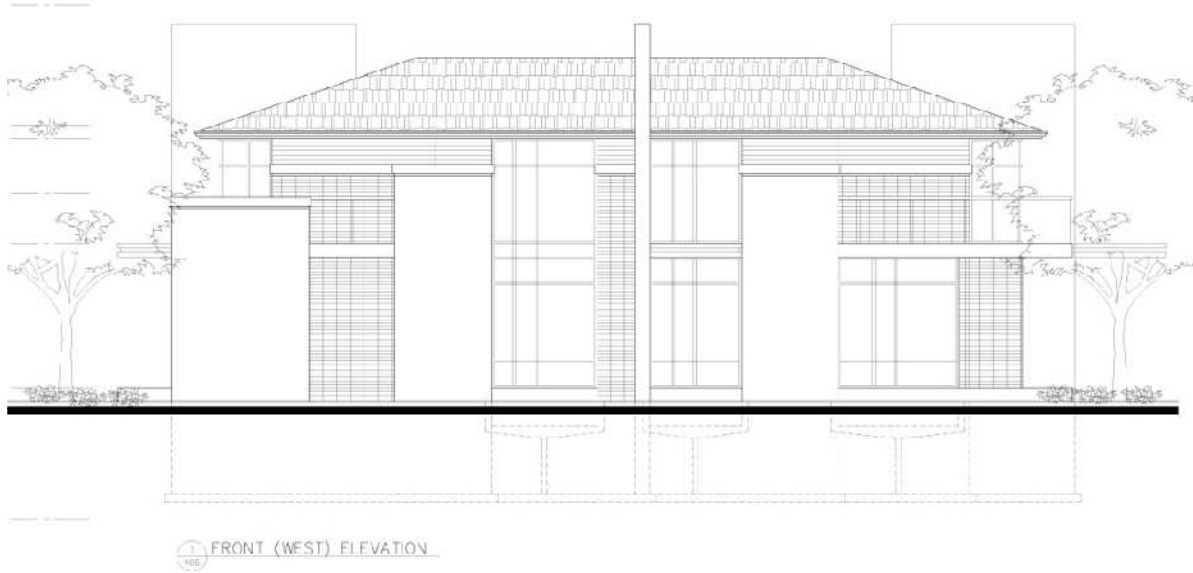


### Drawing 1.

## PROPOSED ELEVATIONS



Drawing 2.



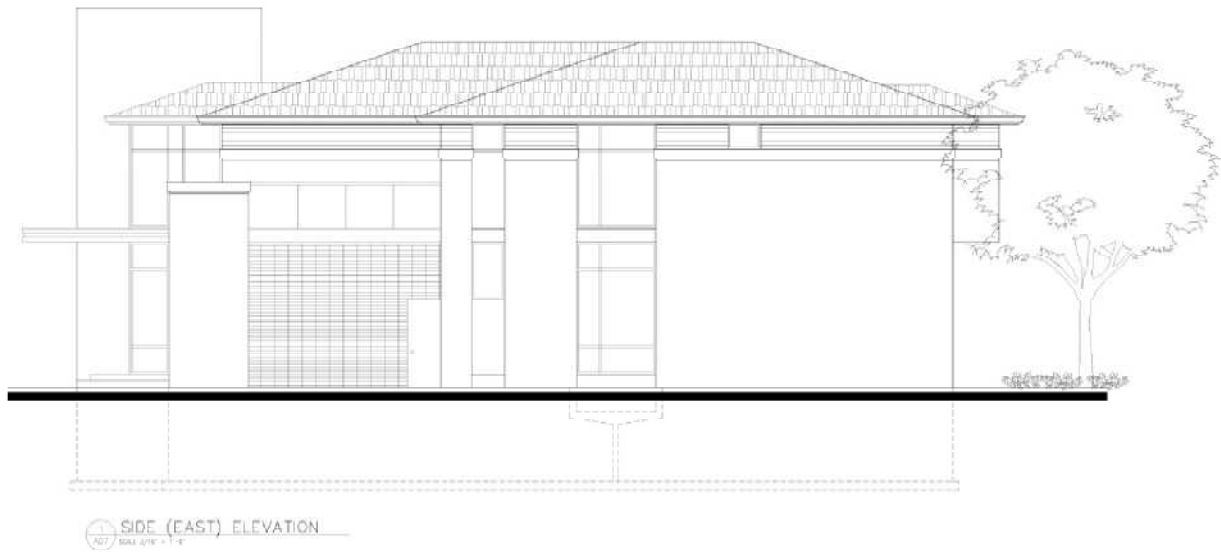
**Drawing 3.**





**Drawing 4.**

## Drawing 5.



## LANDSCAPE PERSPECTIVE



Street View of Inglewood



Street View on Vesta

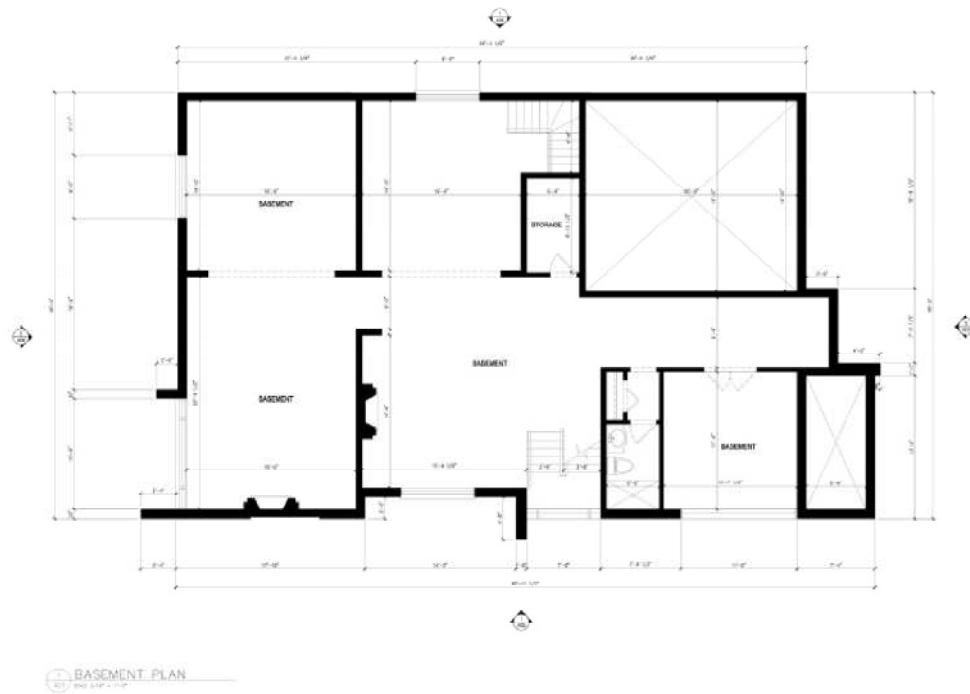
Picture 27.

From a landscape perspective, the Inglewood Drive and Vesta Drive streetscape will not be altered. The existing mature vegetation will be retained. The proposed front yard setback is consistent with that of houses on both sides of the street. The house to the East on Inglewood Drive (65 Inglewood) is a renovated one and a half storey house. The house to the West on Inglewood is a one and a half storey building, one of the several on the street which are in their original condition. The view of Vesta Drive

shows one original house to the North of the property and a new custom build two storey home to the South. The area is filled with new two-storey dwellings and extensive additions featuring two storey facades with large ground floor area. The proposed building has been informed by these developments and fits into the architectural narrative which forms the exclusivity of the Mineola West area.

# PROPOSED FLOOR PLANS

## 75 Inglewood Dr. – Basement



Drawing 6.



# GROUND FLOOR



Drawing 7.

## SECOND FLOOR



Drawing 8.

**EXAMPLES OF HOMES IN THE IMMEDIATE AREA  
(Mineola West)  
AROUND 75 Inglewood Drive**



**Picture 28: 1389 Birchwood Height**



**Picture 29: 1185 Vesta Drive**





**Picture 30: 78 Inglewood Dr.**



**Picture 31: 123 Kenollie Ave.**



**Picture 32: 1446 Glenwood Dr.**



## **8. Cultural Landscape Criteria**

The property 75 Inglewood Drive is located in the Mineola West area (pic. 1-4) which is categorized as a cultural landscape in the Cultural Landscape Inventory of 2005.

### **Mineola Neighborhood**

**Heritage or Other Designation:** None

**Location:** North of Lakeshore road by the Credit River on the West and Hurontario on the East

**Landscape Type:** Residential (Neighborhood)

The following information is provided in the mentioned document describing the criteria for this categorisation and setting desirable characteristics for future development:

### **a) Addressing the Cultural Landscape Criteria**

The cultural heritage landscape inventory heritage impact statements must demonstrate how the proposed development will conserve the criteria that render it a cultural heritage landscape feature. The appointed below indicate the criteria for the Mineola neighborhood cultural heritage landscape:

#### **LANDSCAPE ENVIRONMENT**

- \_ Scenic and Visual Quality
- \_ Natural Environment
- \_ Landscape Design, Type and Technological Interest

#### **HISTORICAL ASSOCIATION**

- \_ Illustrates Style, Trend or Pattern
- \_ Illustrates Important Phase in Mississauga's Social or Physical Development

#### **BUILT ENVIRONMENT**

- \_ Aesthetic/Visual Quality
- \_ Consistent Scale of Built Features

#### **OTHER**

- \_ Significant Ecological Interest<sup>5</sup>:

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<sup>5</sup> As listed in Cultural Landscape Inventory. Appendix 2. L-RES-6. 2005.

To conserve the “landscape environment”, “historical association”, “built environment qualities and “significant ecological interest criteria”, the proposed alteration must be consistent with the retention of the appearance of the Mineola neighborhood to ensure that the character of this part of Mississauga remains intact. The proposed 2 storey house is located in the same location as the existing building with a larger footprint. The front line of the house is set approximately in the same position consistent with zoning bylaw. The proposed buildings width is about the same as that of the existing house. All proposed setbacks are in adherence to the zoning bylaw’s and no exceptions are being sought out through committee of adjustments. The side yard setbacks are also in accordance to the existing zoning bylaw.

**b) Addressing Mineola District Policies of Mississauga plan:**

The architectural styles of the homes in the area vary greatly. There are many different sized lots and different natural topography as well as different styles that are typical of the trends that were popular at the time of the original construction. There are some of the original homes left in the area and there are many new homes that have been built recently.

The proposed development at 75 Inglewood Drive is preserving the building setbacks and ditches along the roadside. All height restrictions are being followed for the 2 storey building. The natural topography and mature vegetation of the lot is being preserved. This is following an existing trend with some of the demolished bungalow and 1.5 storey homes that are being replaced with new homes fitting nicely in the area. Existing grades and drainage patterns are preserved.

**c) The site plan of the proposed alteration** (dr. 1) is consistent with the new homes being constructed in the area. The proposed home is a custom home that fits in with the quality housing stock of the area. Although the existing house will be demolished, including removal of the foundation and the new house and two car garage overlay most of the existing place of the footprint. Grading respects the exiting trees and established drainage patterns.

The proposed home has been designed with consideration for the subject lot dimensions, height requirements and architectural style of surrounding homes on the street and in the immediate surroundings. The scale,

massing, and character of the proposed home compliments the surrounding homes in the neighborhood. There is no overshadowing or overlook to the adjacent neighbors. There will be no accessory structures in the rear yard.

The new house is of similar scale and does not impact but preserves all mature vegetation. As shown on the site plan (dr. 1), all trees in the backyard will remain conserving all vegetation of the lot and preserving the natural appeal of the property. All trees portrayed in the backyard picture will remain untouched (pic. 11).

The house design fits the scale and character of the area. It is a custom built design yet adheres to policy. The building mass and rear, side yard setback is respecting the adjacent lots. The impact of the proposed home adheres to the District policies guidelines and satisfies the cultural landscape criteria.

The new house is a two-storey building featuring a family room, a living room, a dining room, kitchen and a library in the first floor (dr. 7). There are four bedrooms on the second floor (dr. 8). The exterior is informed by the modern architecture with its emphasis on clear forms and flying plains. To achieve a subtle look, the exterior will be finished using natural cider, stone and brick.

#### **d) Mitigating Measures**

These are not required.

## **9. Qualifications**

Stoyanovskyy Architects Inc. is an architectural firm that has worked with the Credit Reserve Association in the Mineola West on plenty of successful design projects over many years. The firm has on staff a qualified architect to perform the architectural part of the report. All archival work has been done by company's employee who has university training in this area.

## **10. Adherence to the Ontario Heritage Act (OHA)**

### **• Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?**

RESPONSE SUMMARY: It does not meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act under section 29 of the act

### **If the subject project does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.**

RESPONSE SUMMARY:

The property does not have design value or physical value because

- a) it's not a rare, unique representative or early example of style, type, expression material and construction method.
- b) It does not display a high degree of craftsmanship nor demonstrate a high degree of technical or scientific achievement.

The property does not have historical value or associative value because

- a) There is no direct association with a theme or believe or organization or institution nor does it reflect the work or ideas of a significant artist, architect or designer in the community or culture or
- b) Does not yield, or has the potential to yield, information that contributes to an understanding of a community
- c) Does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The property does not have contextual value because

- a) it is not important in defining or maintaining or supporting the character of the area,
- b) is not, physically, functionally or visually or historically linked to its surroundings, or is a landmark

*Note: Please see the full land registry report in Section 4. Census data, Archives of Ontario, Library and Archives Canada, Mississauga Directories, Canadian Cemetery Records and Google were searched for these families.*



- **Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement?**

RESPONSE SUMMARY: The building does not warrant conservation although all precautions to preserve the natural vegetation and regeneration will be taken in order for the style of landscape including the streetscape will be maintained.

**Adherence to the Heritage Impact Statement Terms of Reference:**

**(f) Impact of Development or Site Alteration**

An assessment identifying any impact the proposed development or site alteration may have on the cultural heritage resource(s). Negative impacts on a cultural heritage resource(s) as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

Destruction of any, or part of any, significant heritage attributes or features

No impact

Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance

No impact

Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden

No Impact

Isolation of a heritage attribute from its surrounding environment, context or a significant relationship

No impact

Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features

No impact

A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value

No impact

Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources

No impact

### **Condition of Current Home**

The property does not meet the criteria for heritage designation.

The existing house does not have any design or physical value. The house does not have historical value or associative value and it does not have direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community. It also does not yield or have the potential to yield information that contributes to an understanding of a community or culture. As well, it does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

Over the years, several upgrades were made to the existing house, for example the replacement of windows and painting of the inside walls.

There is little expression of style, type, or artistic impression used on the original home. The material used on the exterior of the home lacks quality and meaningful craftsmanship. As a result, the home is not unique or a special example of a period architecture. The property in discussion does warrant some level of conservation to protect its heritage values, specifically to conserving the natural landscape features. All efforts will be made in the construction of a new home to preserve the natural landscape characteristics. The property is on the register because of its current surroundings, but the home itself is NOT designated. This is clearly stated in the Property Heritage Detail in the Cultural Landscape Inventory:

The Mineola neighborhood has been identified as a significant cultural landscape due to the development of this area in a time when natural elements respected the lot pattern and road system. These elements include rolling topography, natural drainage and mature trees. The roads wind, rise and fall with the natural topography. There are no curbs. This softens the transition from landscaped yards to the street edge. What has evolved is a neighborhood with a variety of quality housing stock and a rich stimulating landscape that blends houses with their natural and manicured surroundings. The balance of built form and natural

surroundings on generally larger lots has given this neighborhood a distinct character within Mississauga<sup>6</sup>.

**Recommendation:**

Based on the evidence presented in this report, it is clear that the property on 75 Inglewood Drive does not meet the criteria for heritage designation and is therefore not listed in the registry. The built structure on the lot does not have any design, physical, historical, or/and contextual value. Therefore, demolition of the existing structure should be permitted to allow re-development in accordance with this application. The proposed development preserves the mature look of the area by retaining the lot's landscape and vegetation. In addition, suggested style of the proposed dwelling fits nicely into the existing architectural surroundings and contributes to the exclusivity of the area.

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<sup>6</sup> Cultural Landscape Inventory. Appendix 2. L-RES-6. 2005.

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(Accessed Jan, 21, 2014)

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[http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf)

pdf (Accessed Jan. 21, 2014)

Ontario Heritage Act. [http://www.e-](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm)

[laws.gov.on.ca/html/statutes/english/elaws\\_statutes\\_90o18\\_e.htm](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm)

(Accessed Jan 21, 2014)

# Appendix A





# Appendix B


Dated Plan Registered 24 June 1943  
 Owners C. E. Cotton  
 Lots Subdivided Pcs 2, 3, 4, & 5 N1 C.I.R.

Abstract Index  
 Répertoire par lot  
 Lot 23 Plan/Concession 323 Page 1

Registration Number of Concession	Instrument Type Type of Act	Day, Month, Year Date of Registration M   MM   00     21	Parties from Parties	Parties to Parties	Consideration Contingence	Land/Remarks Bien-fonds/Observations
43007	Grant	31 June 1943	Cyril E Cotton et ux	F. J. Moore Construction Co. Ltd	20000.00	All & O. L.
43567	Grant	4 Nov 1943	F. J. Moore Construction Co. Ltd	John W. Crashley	\$1.00 & C	All Restrictions
53248	Grant	9 Aug 1948	John W. Crashley et ux	Norman F Stinton and Mary N Stinton as Joint tenants	\$1188.00	All Restrictions
366	By-Law	3 July 1950	Re Subdiv Control			
426	By-Law	9 June 1954	Re Subdiv Control			

NOTICE  
 All Documents  
 Submitted to  
 MAR 18 1957  
 ARE RETURNED TO THE SUBMITTER BEARING  
 INDEX AND FILE NO. INDICATED ON 27 (S) OF THE  
 RECORDS ACT

# Appendix C

				PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER		PAGE 1 OF 2 PREPARED FOR ON 2014/04/29
LAND REGISTRY OFFICE #43 * CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT *				13460-0079 (LIT)		
PROPERTY DESCRIPTION: LT 25, PL 323; CITY OF MISSISSAUGA				RECENTLY: RE-ENTRY FROM 13460-0213		PIN CREATION DATE: 1998/02/23
PROPERTY REMARKS: ESTATE/QUALIFIER: FEE SIMPLE LT CONVERSION QUALIFIED OWNERS' NAMES CHITTELLA, KAMESH CHITTELLA, SUDHA				CAPACITY SHARE TEN TEN		
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	
**EFFECTIVE 2008/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN**						
**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/02/23**						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE: 1998/02/23 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/02/24 **						
TT53248	1948/08/09	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***		STINTON, NORMAN FREDERICK STINTON, MARY NADINE
PRL452301	2008/04/29	APL OF SURV-LAND		*** COMPLETELY DELETED ***		STINTON, MARY NADINE
PRL658619	2009/06/25	TRANSMISSION-LAND		*** COMPLETELY DELETED ***		DIAMOND, CHERENE NADINE
PRL661749	2009/06/30	TRANS PERSONAL REP		*** COMPLETELY DELETED ***		VON RICHTER, DOMINIQUE VON RICHTER, OWEN

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
 NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



Ontario ServiceOntario

LAND REGISTRY OFFICE #43  
PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER  
13460-0079 (LT)  
PAGE 2 OF 2  
PREPARED FOR SUDHA CHITTELL  
ON 2014/04/29 AT 12:16:13  
\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO
PR1661750	2009/06/30	CHARGE		*** COMPLETELY DELETED *** VON RICHTER, DOMINIQUE VON RICHTER, OWEN	ROYAL BANK OF CANADA
PR1923537	2010/11/19	TRANSFER	\$787,000	VON RICHTER, DOMINIQUE VON RICHTER, OWEN	CHITTELLA, KAMESH CHITTELLA, SUDHA
PR1923538	2010/11/19	CHARGE	\$777,000	CHITTELLA, KAMESH CHITTELLA, SUDHA	ROYAL BANK OF CANADA
PR1939351	2010/12/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA	
REMARKS: PR1661750.					

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



## BOSTOCK CONSULTING INC.

24 Devondale Avenue, Toronto, ON M2R 2E2  
Telephone: 416-222-5575 Fax: 416-222-0761  
e-mail: bostockconsulting@sympatico.ca

August 15, 2012

Stoyanovsky Architects  
73 Abilene Drive  
Toronto, ON M9A 2N5  
Attention: Orest Stoyanovsky

### **RE: 75 INGLEWOOD DRIVE, MISSISSAUGA – ARBORIST REPORT**

Dear Orest,

You have asked Bostock Consulting Inc. to prepare an Arborist Report in connection with the demolition of the existing house and construction of the proposed new dwelling.

Attached are an Inventory of Trees giving the Identification number, Species, DBH, Condition, Comments where appropriate, Category and minimum required TPZ's, and a Site Plan showing the location and identification numbers of the trees, and also showing my recommendations for minimum tree protection (solid line circle) for each tree if same is to be retained.

I recommend removal of the 2 Crabapples, being **Tree #'s 4 and 10** since both are in poor condition with severe Apple Scab.

- The hoarding for **Tree #1** needs to be expanded to the north.
- The hoarding for **Tree #3** is completely inadequate and must be seriously expanded if the City of Mississauga wishes to keep a tree which sooner or later can be expected to succumb to attack by Emerald Ash Borer.
- If the proposed new dwelling can be relocated a few feet towards Inglewood, then the hoarding for **Tree #'s 5 to 9** can be repositioned to give greater protection to those trees. This is especially important in regard to **Tree #'s 7 and 9**.
- Protection for **Tree #11** is inadequate as shown. Since the proposed new dwelling opposite this tree will be constructed on the existing footing, I recommend laying 8" of wood chips overlaid with exterior grade plywood between the proposed hoarding and the wall of the existing house. This will act as a working surface for scaffolding, etc. while preventing compaction in the root zone of the tree.

Respectfully submitted,

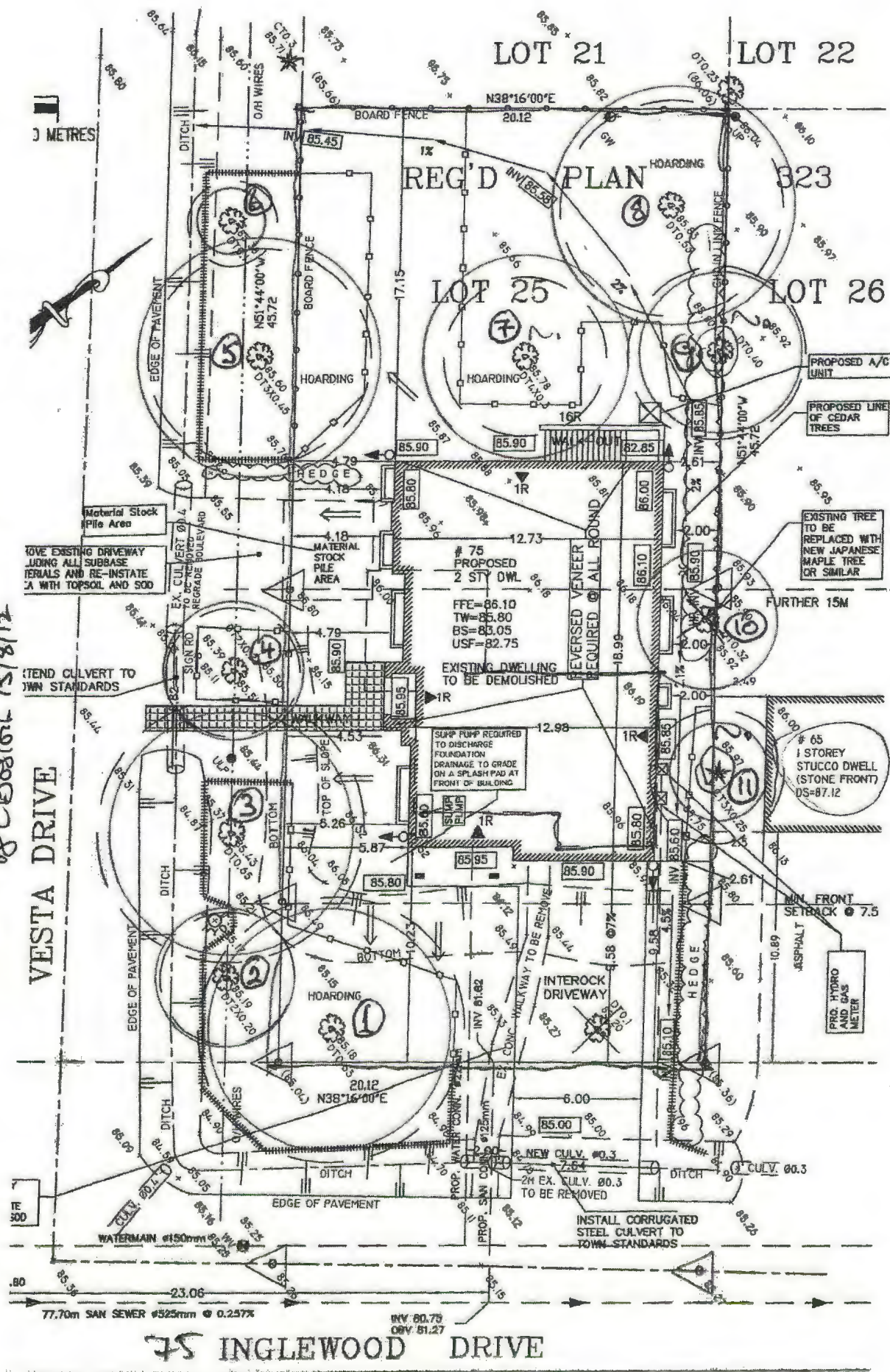


Bruce Bostock  
ISA Certified Arborist #ON-0823A  
Certified Tree Risk Assessor #CTRA 1297



Scale 1:200


○ DENOTES SUGGESTED MIN. T.P.Z.  
for Boston 15/8/12





24 Devondale Avenue, Toronto, ON M2R 2E2  
Telephone: 416-222-5575 Fax: 416-222-0761  
e-mail: [bostockconsulting@sympatico.ca](mailto:bostockconsulting@sympatico.ca)

**Municipal Address of Property:** 75 Inglewood Drive, Mississauga

#	Species	DBH (cm)	Condition	Comments	Category	Min. TPZ (m)
1	Native Red Maple	63.1	Fair	Girdling roots need to be addressed, some Phytophthora low on north side of trunk	1	4.2
2	Apple	32.9 @ 1 m	Fair	Co-dominant leaders at 1.30 m above grade	3	2.4
3	Ash	68.1	Poor to Fair	Very poor scaffold due to pruning for Hydro lines	3	4.2
4	Crabapple	35.1 @ 90 cms	Poor	Sparse with severe apple scab	3	2.4
5	Apple	61.2 @ 60 cms	Fair	3 co-dominant leaders @ 1.2 m	3	4.2
6	Ash	9.9	Poor	Poor scaffold, low deadwood	3	1.2
7	Apple	50.6 @ 90 cms	Poor to Fair	4 co-dominant leaders at 1.5 m	1	3.6
8	Sugar Maple	60.0	Poor to Fair	Seams on north and south sides of trunk may be due to lightning many years ago, significant cavity on low north side of trunk with major ant colony	1	4.2
9	London Plane Tree	49.0	Fair to Good		2	3.0
10	Crabapple	31.4	Poor	Severe apple scab and low deadwood	1	2.4
11	White Cedar	23.0+23.0+25.9	Fair	Badly cabled - replacement by 2 cables higher in tree suggested	2	1.8
Trees inspected visually from the ground August 15, 2012						
Category 1 denotes tree within the lot						
Category 2 denotes tree on neighbours property,						
Category 3 denotes tree on City property						
NOTE 1:- Where trees have a single trunk exiting the ground and dividing at or below 1.50 metres above grade, the single trunk has been measured at its narrowest point below the point of division.						
NOTE 2 :- Adding the diameters of the 3 stems of Tree #11 to arrive at a DBH of 72 cms is, in my opinion, not realistic for the species.						
NOTE 3:- Common names have been used as these are more meaningful to Councillors and other lay persons.						
August 15th, 2012						
						
Bruce Bostock						
ISA Certified Arborist #ON-0823 A						
Certified Tree Risk Assessor #CTRA 1297						



# Corporate Report

Clerk's Files

Originator's  
Files

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**DATE:** June 26, 2014

**TO:** Chair and Members of the Heritage Advisory Committee  
Meeting Date: July 22, 2014

**FROM:** Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

**SUBJECT:** **Request to Demolish a Heritage Listed Property**  
**24, 26, 28 and 32 Dundas Street East**  
**(Ward 7)**

---

**RECOMMENDATION:** That the properties at 24, 26, 28 and 32 Dundas Street East (Ward 7), which are individually Listed on the City's Heritage Register are not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated June 26, 2014 from the Commissioner of Community Services.

**BACKGROUND:** The subject properties were Listed on the City's Heritage Register in the 1990s as being noted for their size, shape, form and building materials. This stretch of Dundas Street was once the centre of the former village of Cooksville. In the 1870s, Cooksville was chosen as the site of the Toronto Township Hall. Cooksville remained the centre of the Township until development of the City Centre area in the 1970s. As a result of this ever evolving town centre, very little of pre-1940 Cooksville remains today.

The subject properties at 24, 26 and 28 Dundas Street East are believed to have been constructed around 1900, as they are evident on the Charles Edward Goad Fire Insurance Plan of 1910. 32 Dundas Street East is believed to have been constructed in the 1940s. All four

structures have been commercial/residential properties for several decades.

On November 28, 2013, fire broke out at 28 Dundas Street East and quickly spread to the adjacent properties. The subsequent fire investigation determined that what remained was not salvageable and the buildings needed to be demolished and rebuilt. The property owner has applied to the City's Planning Department for a building permit to rebuild on the site. Because the property owner proposes to completely replicate what existed before the fire, no Site Plan Approval is required under the Planning Act.

**COMMENTS:**

Section 27. (3) of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be demolished without 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation, as set out under Regulation 9/06 of the *Ontario Heritage Act*. In order to merit designation, one of the three criteria must be satisfied. These criteria are:

1. The property has design value or physical value;
2. The property has historical value or associative value;
3. The property has contextual value.

Furthermore, pursuant to Section 27. (5) of the *Ontario Heritage Act*, which states that Council may require the applicant to submit plans in support of a demolition application for a property included on the city's Heritage Register. The property owner has submitted a Heritage Property Permit application for demolition, new construction plans (Appendix 1) and a Heritage Impact Statement prepared by heritage consultant Owen Scott of CHC Ltd. (Appendix 2)

It is the consultant's conclusion that the subject properties at 24, 26, 28 and 32 Dundas Street East are not worthy of heritage designation under Regulation 9/06 of the Ontario Heritage Act. Because very little remains as a result of the November 2013 fire, Heritage Planning staff is in agreement with the findings of the Heritage Impact Statement. Heritage Planning staff are also in support of the proposal to completely rebuild the subject properties for commercial use. The current plans for new construction will retain the original size, shape,

form and building materials of the previous structures. The original setbacks, building footprints and building heights will also be maintained.

**FINANCIAL IMPACT:** There is no financial impact.

**CONCLUSION:** The property owner of 24, 26, 28 and 32 Dundas Street East has requested permission to demolish the structures which are Listed on the City's Heritage Register. The subject properties are not worthy of designation and the request for demolition should, therefore, be recommended for approval.

**ATTACHMENTS:** Appendix 1: Heritage Property Permit Application  
Appendix 2: Heritage Impact Statement by Owne Scott of CHC Ltd.



---

Paul A. Mitcham, P. Eng, MBA  
Commissioner of Community Services

*Prepared By: Laura Waldie, Heritage Coordinator*

# Heritage Property Permit Application



The Corporation of the City of Mississauga  
Community Services  
Culture Division  
201 City Centre Drive, Suite 202  
Mississauga, ON L5B 2T4  
FAX: 905-615-3828  
www.mississauga.ca/heritageplanning

Personal information collected on this form and other required documents is collected under the authority of the Ontario Heritage Act, s.33(1)(2) and s.42 (1,2,1,2,2) and City of Mississauga Heritage By-law 215-07 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga ON L5B 2T4, Telephone 905-615-3200 ext. 5385.

## LOCATION DETAILS

(Please Print Clearly)

For Office Use Only:

Heritage Property Permit Number: \_\_\_\_\_

Will the Heritage Advisory Committee review be required? ☐ Yes ☐ No

Municipal Address: 24, 26, 28, 32 Dundas street east, Mississauga, ONT L5A 1W2  
Legal Address: Part of Lots 18 & 19 Registered Plan tor-12 and Part of Lot 1 Registered Plan E-19 City of Mississauga  
Property Owner: 732718 ontario inc Contact Address: 20 Dundas street east, Mississauga  
Phone: 416-271-6265 Fax: \_\_\_\_\_ Email address: alex.wong@rogers.com

## HERITAGE DESIGNATION BY-LAW NUMBER (if applicable): \_\_\_\_\_

What type of Permit is Required?

Alteration or addition ☐ Yes ☐ No  
Demolition ☒ Yes ☐ No  
New Construction ☒ Yes ☐ No  
Repeal of Designation By-law ☐ Yes ☐ No

Is there a corresponding application, such as:

a) Building permit number \_\_\_\_\_ b) Site Plan application number \_\_\_\_\_  
c) Rezoning application number \_\_\_\_\_ d) Other \_\_\_\_\_

Description of Work to be Completed :

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

Refer to Heritage impact statement as couriered  
by Owen R. Scott. (CHC Limited)

Name: Alex Wong  
Please Print

Date: 2014/06/15  
YYYY / MM / DD

Signature (of property owner): [Signature]

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5366



## Heritage Impact Statement 24, 26, 28 and 32 Dundas Street East Mississauga



prepared by

**CHC Limited**

87 Liverpool Street, Guelph, ON N1H 2L2  
(519) 824-3210 email [oscott87@rogers.com](mailto:oscott87@rogers.com)

June 10, 2014

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all photographs by Owen R. Scott of CHC Limited, May 06, 2014 unless otherwise noted.

## 1.0 BACKGROUND - HERITAGE IMPACT STATEMENT (HIS)

This Heritage Impact Statement (HIS) follows the *City of Mississauga Heritage Impact Statement Terms of Reference* February 2013 and was prepared in response to a request from Mr. Daniel Rodriguez, R. H. Carter Architects Inc. on behalf of the owner, 732718 Ontario Inc.

The properties at 24, 26, 28 and 32 Dundas Street East in Mississauga are listed in the City's Register, but not designated under the *Ontario Heritage Act*<sup>1</sup>.

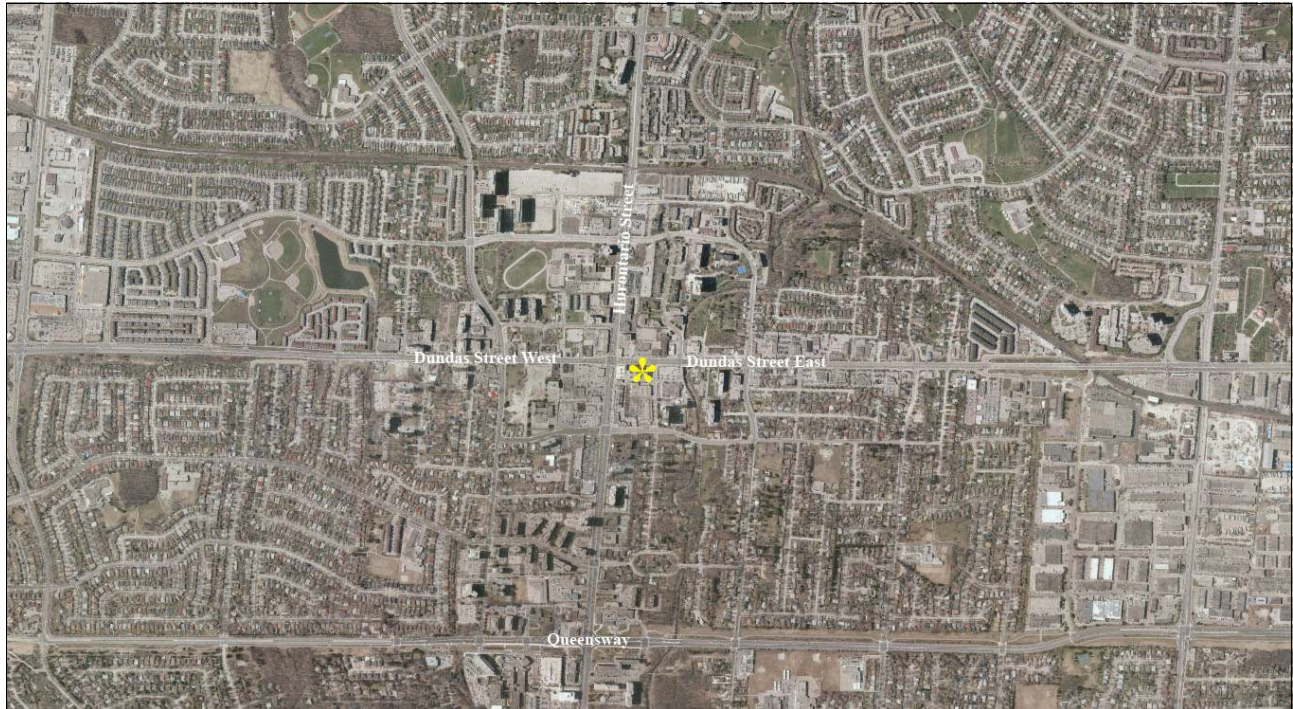


Figure 1

Site Context - <http://www.mississauga.ca/portal/services/maps>

Figure 1 illustrates the location of the property just east of the intersection of Hurontario Street and Dundas Street in the former Town of Cooksville..

## 2.0 THE HERITAGE IMPACT STATEMENT

### 2.1 Present owner contact information

732718 Ontario Inc.  
20 Dundas Street East, Mississauga, ON  
L5A 1W2

### 2.2 Site history

*The villages of Toronto Township amalgamated to become the Town of Mississauga in 1968, excluding the Towns of Port Credit and Streetsville. In 1974, Mississauga incorporated as a City, this time*

<sup>1</sup> City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed April 26, 2014



including Port Credit and Streetsville.<sup>2</sup> The area around the Hurontario Street and Dundas Street intersection was originally known as Harrisville, named for Daniel Harris, who in 1809 purchased land and built a sawmill there. When Harris returned to the United States, Jacob Cook bought land and settled there in 1819 and the village was renamed Cooksville. In the 1870s Cooksville was chosen as the site of the Toronto Township Hall and remained the centre of the township until the development of the City Centre to the north.<sup>3</sup> Like many small villages, a fire changed the fortunes of Cooksville. The fire broke out around 2pm, on Saturday, May 26, 1852 in John Belcher's Blacksmith Shop and Forge, located on the north side of Dundas Street, a little to the west of Hurontario (on Lot 16). Within little more than two hours, it had consumed almost every structure in the immediate vicinity, including houses, fences, and the wooden sidewalks and pavements. In all, 35 houses and businesses were lost, most of them with no insurance. As a result of Cooksville's continuing evolution as the centre of the city of Mississauga's political life, very little of pre-1940 Cooksville remains.<sup>4</sup>



Figure 2

Toronto Township, from *Illustrated Historical Atlas of the County of Peel, Ont.*, Walker & Miles, Toronto 1877.

<sup>2</sup> <http://www.heritagemississauga.com/history.htm>, accessed September 10, 2010

<sup>3</sup> Mississauga Library System Historic Images Gallery  
<http://www.mississauga.ca/portal/residents/cooksvillegallery> accessed May 29, 2014

<sup>4</sup> Heritage Mississauga webpage <http://www.heritagemississauga.com/page/Cooksville>, accessed May 29, 2014



Figure 3 - Cooksville & subject property

<http://www.mississauga.ca/portal/services/maps>

The subject site is located at the historic location of the founding of Cooksville (Harrisville). Nothing of the early 19<sup>th</sup> century remains at this intersection, most being lost in the 1852 fire that destroyed much of Cooksville.<sup>5</sup> Later 19<sup>th</sup> century buildings have also disappeared, demolished to be replaced by more modern structures in the 1950s, '60s and '70s. 14 Dundas Street East is an exception. The Heritage Mississauga webpage notes that 24 - 26 Dundas Street East was constructed circa 1860s - 1870s.<sup>6</sup> The author is of the opinion that the building is somewhat later. (see Figure 11)

As can be seen in Figure 3, the junction of Hurontario Street in 1954 was the centre of the village, surrounded by agricultural land which was beginning to be developed with suburban residences.

By 1966, little farmland was in evidence; subdivisions had surrounded the original village. (Figure 4)

And by 2000, development of all former farmland was complete and higher density housing dominated the landscape. (Figure 5).

---

<sup>5</sup> *Ibid*

<sup>6</sup> *Ibid*





Figure 4 - Cooksville &amp; subject property

<http://www.mississauga.ca/portal/services/maps>

Figure 5 - former Village of Cooksville &amp; subject property

<http://www.mississauga.ca/portal/services/maps>

Little has changed in the intervening 13 years as can be seen in Figure 6. In fact, the four corners of the former Village of Cooksville have been relatively undeveloped for the past 60 years, having been devastated by the fire of 1852, subsequent fires, and replacement of historic properties with more modern buildings, most of lesser stature, dominated by asphalt parking lots. The tree-lined streetscape of the 19<sup>th</sup> and early 20<sup>th</sup> century has been replaced by multiple traffic lanes and asphalt paving.





Figure 5 - former Village of Cooksville & subject property

<http://www.mississauga.ca/portal/services/maps>



Figure 7

1912

“The four corners of Cooksville, looking east along Dundas Street. On the left are the Walter House Hotel (later known as the Revere Building) and the Cooksville Inn. Opposite is the George McLelland store. From the Harold Hare Collection.”

*Mississauga Library System*



Figure 8

1913

“The business establishment of George McClelland, located at the corner of the Dundas Highway and Centre Road (now Hurontario Street). The view is looking south on Centre Road (*actually looking east on Dundas Street at Centre Road/Hurontario Street*). From the Harold Hare Collection.”

Mississauga Library System

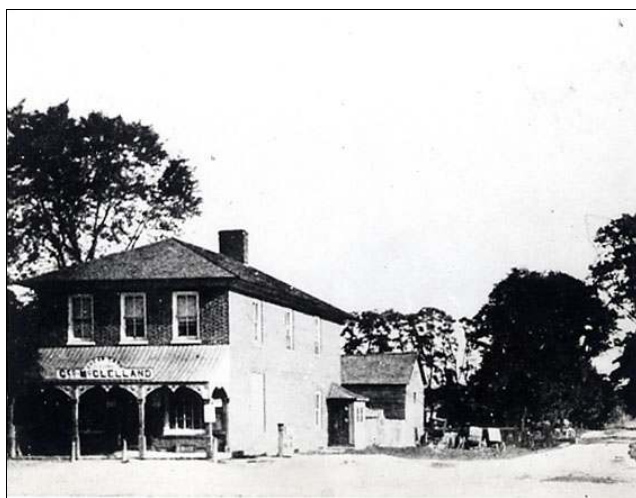


Fig. 9 - 14 Dundas St E, 1900 Mississauga Library System



Figure 10 - 14 Dundas Street East, 2014

Figures 7 and 8, from the early part of the 20<sup>th</sup> century, show substantial commercial buildings and a tree-lined Dundas Street. The building on the right in both photographs is 14 Dundas Street East, also shown in Figures 9 and 10. It is the only currently extant building that can be seen in these photographs. However, it is not on its original site, having been moved at some time before 1954 to the east. (Figure 13) It is listed in the City's Heritage Register. 24 - 26 Dundas Street, is not visible and may be hidden by the trees in the photograph. (Figure 8)





Figure 11

excerpt from Figure 2

Cooksville, from *Illustrated Historical Atlas of the County of Peel, Ont.*, Walker & Miles, Toronto 1877.

Figure 11 shows a building and an orchard on the subject properties in 1877 and the larger property in the ownership of Miles W. Cook. The subject properties are outlined in red. None of the buildings extant today appear in the 1877 Atlas.



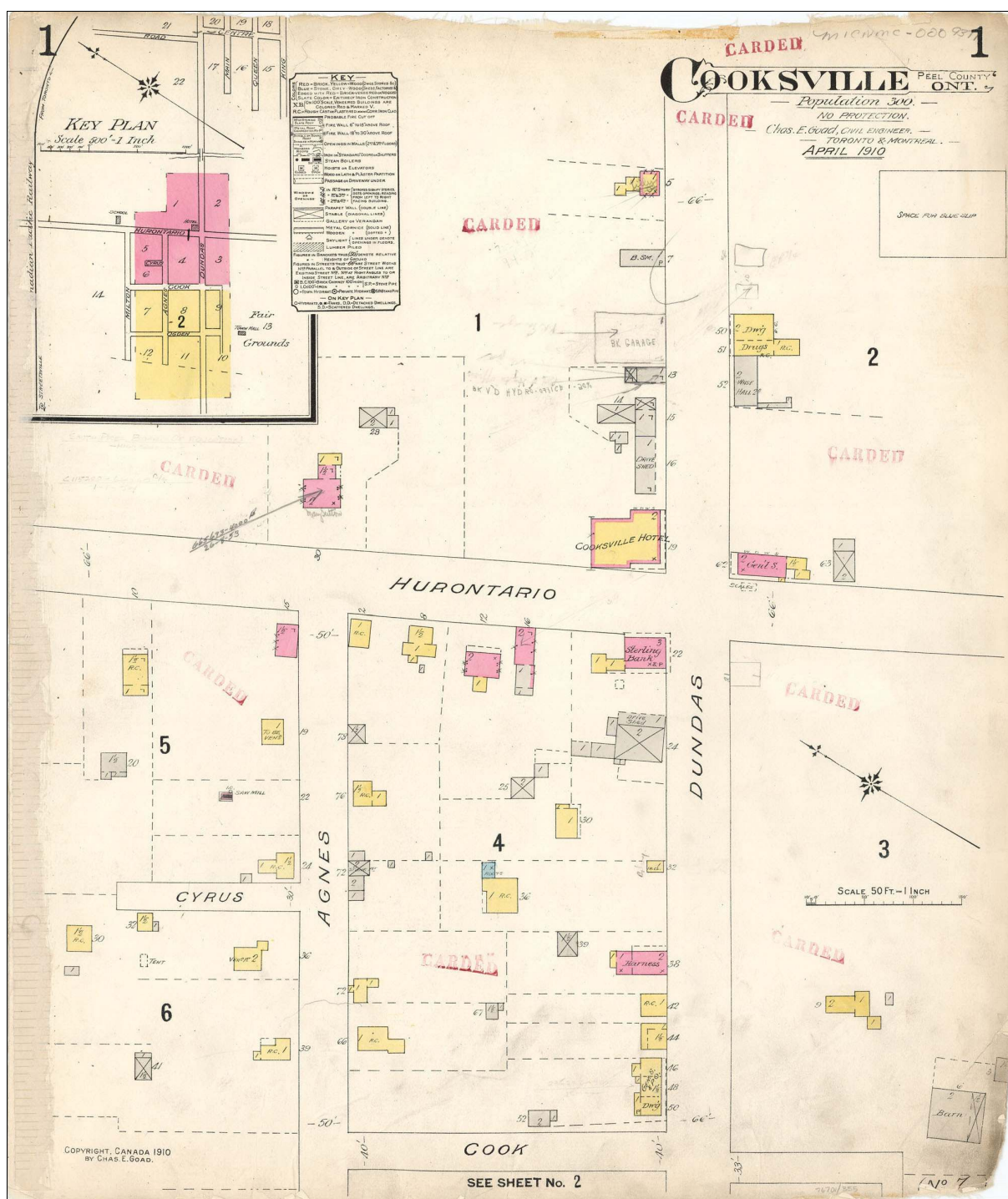


Figure 12

Fire Insurance Plan, Cooksville, 1910 - Library and Archives Canada

The 1910 Fire Insurance Plan<sup>7</sup> shows the building which is now 14 Dundas Street East (McClelland's Store at the corner of Hurontario and Dundas Streets. It also shows a frame building and a roughcast

<sup>7</sup> Library and Archives Canada website  
[http://collectionscanada.gc.ca/pam\\_archives/index.php?fuseaction=genitem.displayEcopies&lang=eng&rc\\_nbr=3815736&title=Cooksville%2C+Ont.%2C+Peel+County%2C+April+1910.+&ecopy=e010698083-v8](http://collectionscanada.gc.ca/pam_archives/index.php?fuseaction=genitem.displayEcopies&lang=eng&rc_nbr=3815736&title=Cooksville%2C+Ont.%2C+Peel+County%2C+April+1910.+&ecopy=e010698083-v8)



building where 24 - 26 Dundas Street East is located today. Figure 13 shows more detail; the Plan has been re-oriented from the original to place Dundas Street in an east-west orientation.

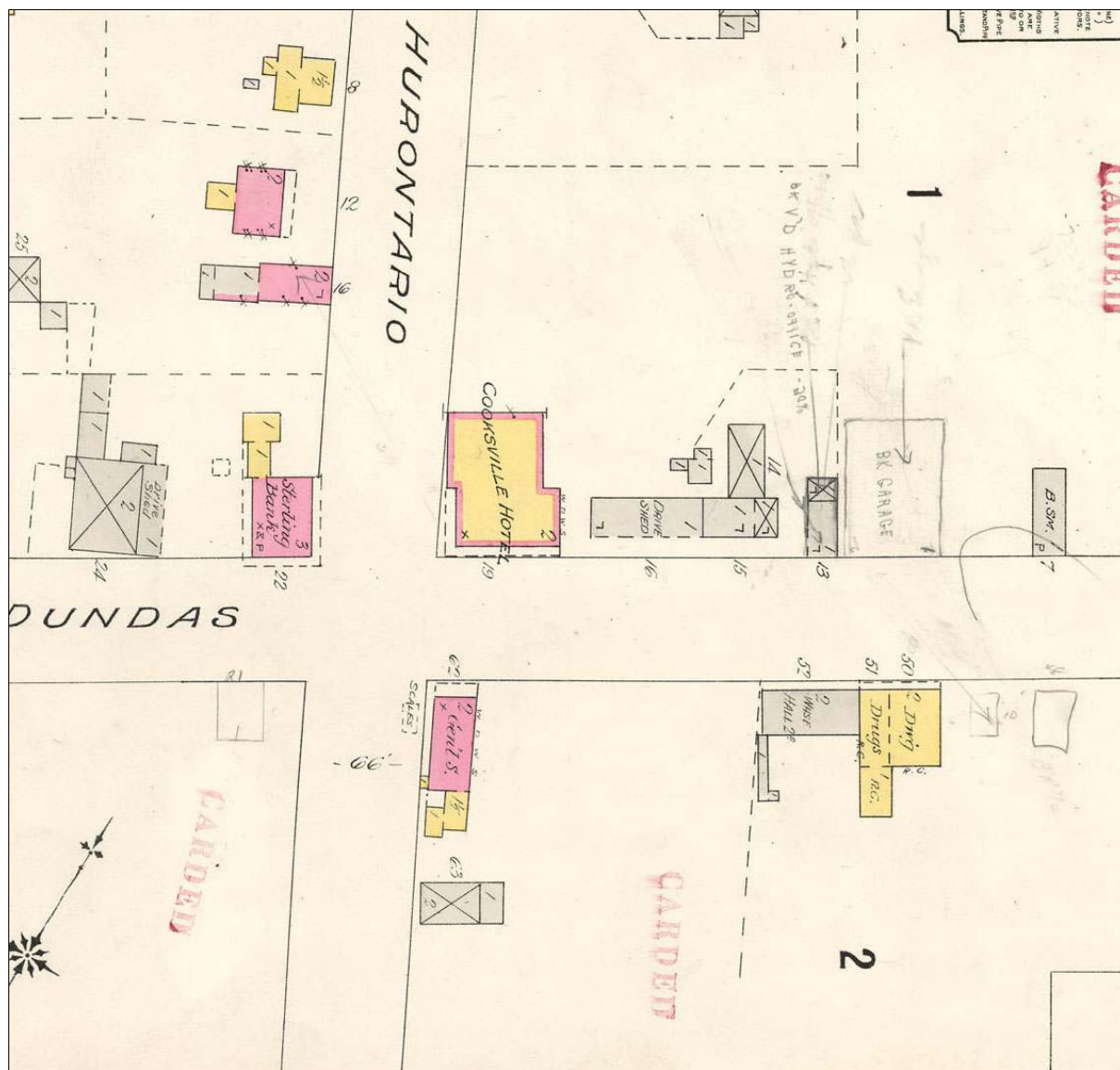


Figure 13 Fire Insurance Plan detail, Dundas & Hurontario Streets, 1910 - Library and Archives Canada

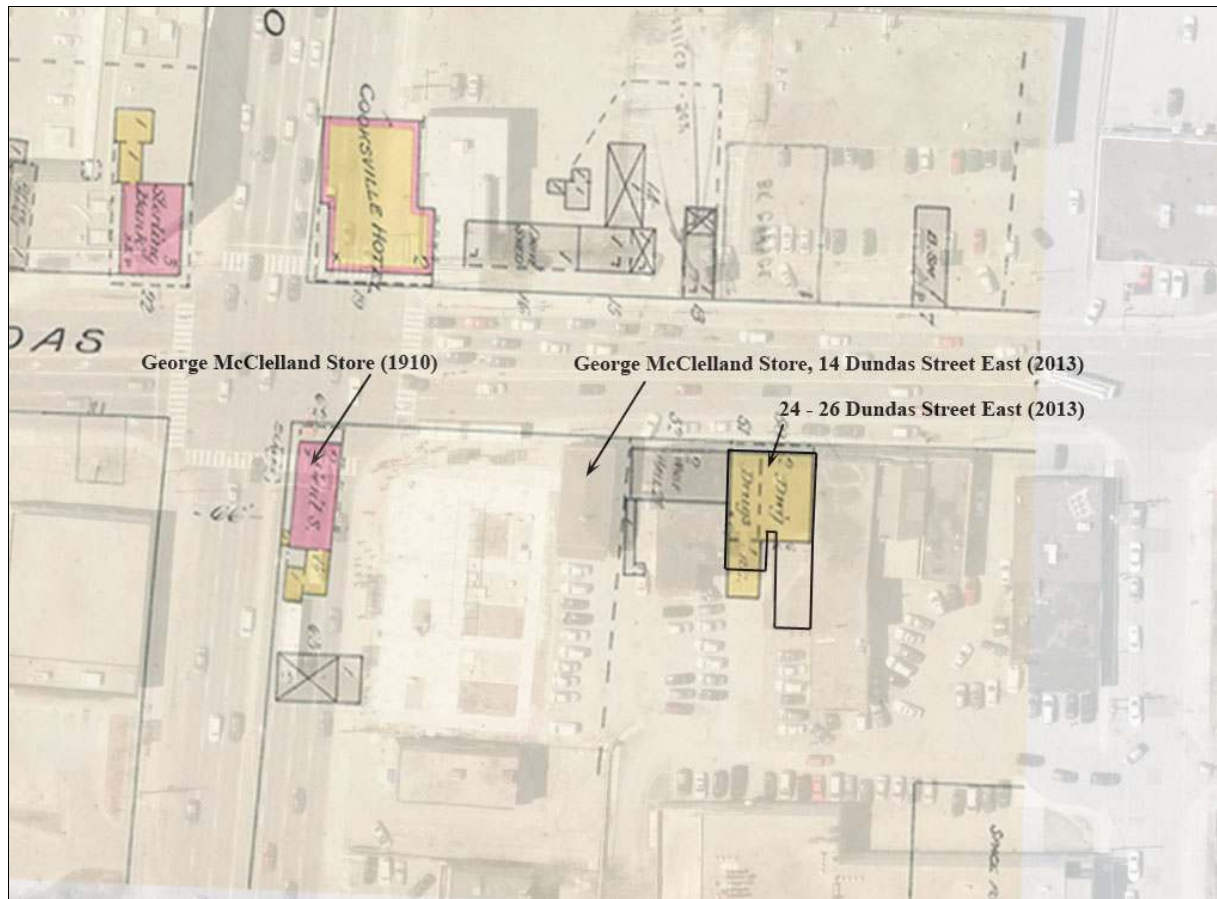


Figure 14 1910 Fire Insurance Map overlain on 2013 airphoto (<http://www.mississauga.ca/portal/services/maps>)

Figure 14 overlays the 1910 plan on a 2013 airphoto. The George McClelland store (now 14 Dundas Street East) is clearly shown in its 1910 and 2013 locations. 24-26 Dundas Street appears on the Plan as “2 DWG, DRUGS, R.C.” (2 storey dwelling units, drug store, wood construction, roughcast). The existing building at 24-26 Dundas is white (yellow brick). Could it have been re-clad in brick after 1910, or was this an error on the 1910 Fire Insurance Plan? The frame building attached to the west is no longer extant and has been replaced by a brick commercial building *circa* 1940s.

### 2.3 Listing and written description of existing structures, significance and heritage attributes

The City of Mississauga's 'property Heritage Detail' provides a brief description of the properties - see Appendix 2. The following historic photographs are from the City of Mississauga's web pages, accessed April and May 2014.



Figure 12

24-26 Dundas Street East, 1976 - *Mississauga Library System*



Figure 13

rear view 24-26 Dundas Street East, 1976 - *Mississauga Library System*





Figure 14

24-28 Dundas Street East, 1978 - Mississauga Library System



Figure 15

24-28 Dundas Street East, 1978  
Mississauga Library System



Figure 16

28-32 Dundas Street East, 1978  
Mississauga Library System





Figure 17

24-28 Dundas Street East, 1989 - Mississauga Library System



Figure 18

28-32 Dundas Street East, 1989 - Mississauga Library System

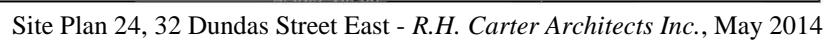




Figure 20 32

28

26

24 Dundas St E.

There are three buildings on the property (Figures 19 - 21), a two-storey, front gable-roofed commercial building at **32 Dundas Street East**; a two-storey, flat-roofed, 3-bay commercial building at **28 Dundas Street East**; and a two-storey gable-roofed, 2-bay (originally 6) over 2-bay commercial building at **24-26 Dundas Street East**. Figure 21 shows the rear of the buildings where a fire has destroyed #28 and affected the adjacent structures.



Figure 21

rear, 24 - 32 Dundas St E.

**24-26 Dundas Street East**, also known as **Irwin's Hardware** was purportedly constructed *ca. 1860s or 1870s on the site of the old Daniel Harris store which he sold in 1818 to Jacob Cook.*<sup>8</sup> Harris's store was among the many buildings destroyed in the Cooksville fire of 1852. The building has gone through many owners ..... There was a fire in the building on February 19, 2004, as reported in the *Mississauga News* of February 20, 2004 but it does not appear to have suffered any damage.<sup>9</sup> It is likely that this building dates from a later period as the 1877 Peel County Atlas does not show it and the title search (Appendix 2) may indicate a later date as well.

It is a 2-storey, gable-roofed, stucco-coated building, originally with a 6-bay residential upper storey and 2-bay commercial lower floor. The appearance of 24-26 Dundas Street East has been radically altered since 1989. The 6-bay upper storey is now a 2-bay facade. The original 6 windows have been removed and new, much larger glazing installed. The original white (yellow) brick has been stucco-coated and painted beige. (Figure 22) According to the 1910 Fire Insurance Plan, the building was wood frame with a roughcast cladding at that time. There is a small gable-roofed single storey addition at the rear that also shows on the 1910 Plan.

<sup>8</sup> <http://www.mississauga.ca/portal/residents/businessesgallery> Mississauga Library System, accessed May 29, 2014

<sup>9</sup> *Ibid*





Figure 22

1989



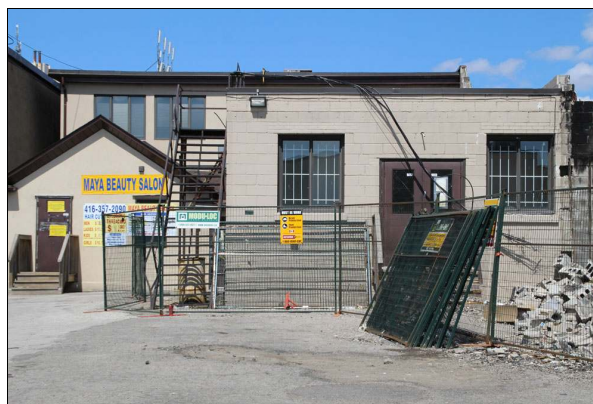
2014

**26 Dundas Street East** is boarded-up because of fire damage caused when 28 Dundas burned. The rear of the building has a flat-roofed concrete block addition that pre-dates 1976 and a small gable-roofed attachment of indeterminate age. Like the front facade, the original 6-bay upper storey has been radically altered to a 2-bay configuration and the original brick stucco-coated. (Figure 23)



Figure 23

1976



2014

**28 Dundas Street** is a two-storey, flat-roofed, 3-bay, rug brick-faced commercial building. (Figure 24) Residential units on the 2<sup>nd</sup> floor were accessed from a door at street level. A rear, concrete block addition has been completely destroyed by fire (Figure 25) and the remainder of the building is condemned. Date of construction is unknown, but appears to be *circa* 1940s.





Figure 24

1989



2014



Figure 25

2014

**32 Dundas Street East** is a 2-storey, front gable-roofed, stucco-coated, frame building with brick end pilasters. The false front street-side upper storey and the end gable are half-timbered with diamond and chevron patterns. (Figure 26) Shed dormers on the east and west sides are just visible from the street. There is a single-storey addition at the rear. (Figure 27) The construction date is unknown, but appears to be *circa* 1940s.



Figure 26

1978



2014

As has been noted, fire destroyed 28 Dundas Street East and severely damaged 26 and 32 Dundas Street East. (Figure 28)

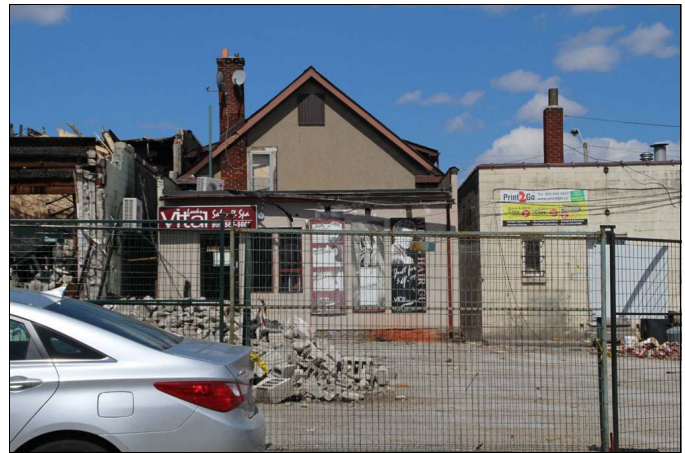


Figure 27

2014



Figure 28

fire damage from rear of 32 - 26 Dundas Street East, 2014

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.<sup>10</sup>

<sup>10</sup> *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*



The PPS defines “built heritage resource” as one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal Jurisdictions. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The property contains a built heritage resource that had significance, cultural value and interest. It had *design / physical value* and *contextual value* per the criteria for heritage designation under the Ontario Regulation 9/06 of the *Ontario Heritage Act*. Unfortunately, 24-26 Dundas Street East (Irwin’s Hardware) has not only been so drastically modified as to have destroyed its architectural attributes, but it has also been fire damaged to the extent that it must be completely re-built.

Neither 28, nor 32 Dundas Street East has significance, cultural value or interest.

## 2.4 The proposed development

The development proposal consists of replacing the three fire-damaged structures with buildings of similar form, mass, roofline and character as the existing. Some minor changes are proposed; the flat roofline of the attached #28 building will be changed to a gable roof and cladding will be brick for better integration. (Figure 29)



Figure 29

Existing (top) & Proposed (bottom) streetview, 24-32 Dundas Street East  
R. H. Carter Architects Inc., May 2014



Figure 28

west, east &amp; north elevations - R. H. Carter Architects Inc., June 10, 2014

The west, east and north elevations are of rendered block construction, similar to the existing finishes on the buildings. None of these elevations is visible from the street as there are flanking buildings immediately adjacent on the east and west sides. The rear elevation (north) is an improvement over the current hodge-podge of concrete block and stucco additions.

Because the nature of the changes to the property are minor and the existing uses are to continue, the City's *Site Plan Approval Express (SPAX)* process will be utilized.

With respect to impacts, any heritage attributes that 24-26 Dundas Street might have had have been erased over time, firstly by unsympathetic and permanent alterations, and secondly by fire. Positive impacts are expected to result from the reconstruction of the three buildings resembling the originals with improvements over unfortunate former alterations.



## **2.5 Conservation - principles and mitigation**

The City's HIS terms of reference state ... *A Heritage Impact Statement is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Statement may be required on a property which is listed on the City's Heritage Register, a property designated under the Ontario Heritage Act, or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.*<sup>11</sup>

Conservation does not apply in this HIS as the buildings must be razed and rebuilt. However, the fact that they will be rebuilt to a standard that is more sympathetic to the original heritage character and attributes than the existing altered structures might be considered a conservation measure.

## **2.6 Proposed demolition / alterations explained**

See paragraphs 2.4 and 2.5 above.

## **2.7 Alternatives for salvage mitigation**

Not applicable

## **2.8 Qualifications of the author completing the Heritage Impact Statement**

See appendix 3.

## **3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS**

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There are no significant heritage structures on the property. It is intended that the existing condemned structures be removed and replaced by new buildings that respect and reflect the 19<sup>th</sup> and early 20<sup>th</sup> century appearance of the four corners of Cooksville.

Mitigating measures proposed include:

- rebuilding the buildings to a similar form, mass, roofline and character as the existing; and
- cladding the buildings in brick, reflecting the early 20<sup>th</sup> century building material and providing a more cohesive street facade.

## **4.0 MANDATORY RECOMMENDATION**

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The HIS terms of reference require the consultant to write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. The following questions must be answered in the final recommendation of the report:

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<sup>11</sup> City of Mississauga Heritage Impact Statement Terms of Reference, February 2013

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

*Ontario Regulation 9/06 states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:*

1. *The property has design value or physical value because it,*
  - i. *is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
  - ii. *displays a high degree of craftsmanship or artistic merit, or*
  - iii. *demonstrates a high degree of technical or scientific achievement.*
2. *The property has historical value or associative value because it,*
  - i. *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
  - ii. *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
  - iii. *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
3. *The property has contextual value because it,*
  - i. *is important in defining, maintaining or supporting the character of an area,*
  - ii. *is physically, functionally, visually or historically linked to its surroundings, or*
  - iii. *is a landmark.*

The properties do not meet the criteria for Part IV heritage designation. They are not representative, early examples of a style, type, expression, material and construction method, displaying a high degree of craftsmanship.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

The properties have undergone non-reversible changes to their architectural heritage attributes and suffered from a devastating fire. Portions are historically linked to their surroundings; however, those surroundings have changed quite dramatically over time.

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement.*  
*Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.*

The properties do not warrant conservation as they have been condemned and must be rebuilt. They are not worthy candidates for Part IV designation under the *Ontario Heritage Act*.

This Heritage Impact Statement is respectfully submitted by:

CHC Limited

A handwritten signature in black ink, appearing to read "Owen R. Scott", written in a cursive style.

per: Owen R. Scott, OALA, FCSLA, CAHP

## REFERENCES

*City of Mississauga Heritage Impact Statement Terms of Reference*, February 2013

City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>

City of Mississauga maps - <http://www.mississauga.ca/portal/services/maps>

City of Mississauga Heritage Mississauga website - <http://www.heritagemississauga.com/history.htm>

*Illustrated Historical Atlas of the County of Peel, Ont.*, Walker & Miles, Toronto 1877

Krcmar Surveyors website - <http://www.krcmar.ca/content/our-survey-records-collection>

Library and Archives Canada website

[http://collectionscanada.gc.ca/pam\\_archives/index.php?fuseaction=genitem.displayEcopies&lang=eng&rec\\_nbr=3815736&title=Cooksville%2C+Ont.%2C+Peel+County%2C+April+1910.+&ecopy=e010698083-v8](http://collectionscanada.gc.ca/pam_archives/index.php?fuseaction=genitem.displayEcopies&lang=eng&rec_nbr=3815736&title=Cooksville%2C+Ont.%2C+Peel+County%2C+April+1910.+&ecopy=e010698083-v8)

Mississauga Library System Historic Images Gallery

<http://www.mississauga.ca/portal/residents/cooksvillegallery>

*R. H. Carter Architects Inc.* Site Plan and Building Elevations 24, 32 Dundas Street East, May 2014

Province of Ontario *Provincial Policy Statement (PPS, 2014)* Cultural Heritage and Archaeology Policies 2.6

Province of Ontario *InfoSheet #5, Heritage Impact Assessments and Conservation Plans*, Winter 2006

Thomson, Don W. *Surveyors of the Past The Ontario Land Surveyor*, Summer 1977



## Appendix 1

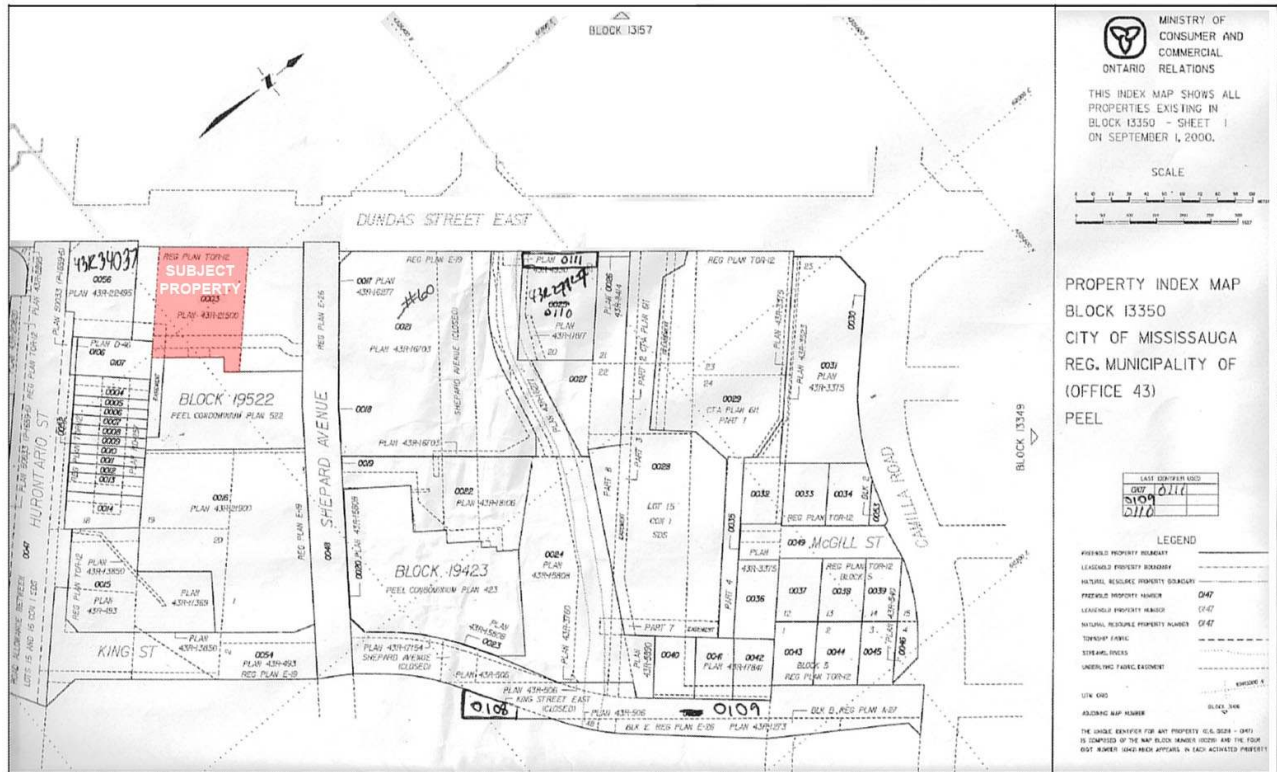
**CHAIN of TITLE****PIN 13350-0003 - 24, 26, 28 and 32 Dundas Street East, Mississauga**

date	action	from - to	instrument no.
19 Nov 1874	Chancery Decree	Sarah Cook to Ann C. Teeter et al (Cook, Langdon, Shepard) <sup>1</sup>	1533
4 Feb 1880	Bargain & Sale	James P. Hutton et ux to Josiah Green, Druggist <sup>2</sup>	2980
23 Sept 1893	Bargain & Sale	William Moody et ux to Lucinda & Aaron Gummerson	8259
10 July 1896	Bargain & Sale	estate of Josiah Green to Robert W. Elliot, Wholesale Druggist <sup>2</sup>	9195
11 Jan 1900	Bargain & Sale	Robert W. Elliot to Elliot & Company Ltd. <sup>2</sup>	10114
20 Mar 1906	Bargain & Sale	The Elliot & Company Ltd. To Hugh K. Bowden, Druggist <sup>2</sup>	12217
2 July 1926	Grant	estate of Hugh K. Bowden to Mary Ellen Whaley <sup>3</sup>	27802
2 July 1926	Grant	Mary Ellen Whaley to James Edward Bailey <sup>4</sup>	27804
4 May 1927	Grant	James E. Bailey et ux to William Copeland <sup>5</sup>	28861
13 May 1946	Grant	William Copeland to John & Olive Passfield <sup>6</sup>	47474
20 June 1946	Grant	William Copeland to James B. & Mary E. Gray <sup>7</sup>	47828
1 Dec 1949	Grant	James B. & Mary E. Gray to Charles H. & Elizabeth Ayres <sup>7</sup>	57323
29 April 1954	Grant	Charles H. & Elizabeth Ayres to John A. & Betty Crosby <sup>7</sup>	80643
7 Sept 1956	Grant	John A. & Betty Crosby to Isabella Carmichael <sup>7</sup>	98698
31 Mar 1959	Grant	estate of Isabella Carmichael to Geoffrey F. Hibbert <sup>7</sup>	118065
13 Aug 1965	Grant	Geoffrey F. Hibbert to Geoffrey F. & Nancy Louise Hibbert <sup>7</sup>	184323
2 April 1973	Grant	estate of William C. H. Copeland to Lika Developments Limited	255030VS
15 Oct 1973	Grant	John & Olive Passfield to Lika Developments Limited	285454VS
7 Oct 1974	Grant	Lika Developments Limited to Dundas Shepard Square Limited	331833VS
7 Oct 1974	Grant	Lika Developments Limited to Dundas Shepard Square Limited	331834VS
7 Oct 1974	Grant	Lika Developments Limited to Dundas Shepard Square Limited	331835
7 Oct 1974	Grant	Lika Developments Limited to Dundas Shepard Square Limited	331836VS
31/08/87	Grant	Dundas Shepard Square Limited to 732718 Ontario Ltd.	815416

<sup>1</sup> 4 acre parcel<sup>2</sup> The 1910 Fire Insurance Plan shows a drug store at 24 Dundas Street East<sup>3</sup> 3 acre parcel purchased for \$4,000 July 2, 1926<sup>4</sup> 3 acre parcel purchased for \$9,500 July 2, 1926<sup>5</sup> smaller parcel purchased for \$2,900 - deed corrected on two occasions creating confusion noted in May 1970 Lands and Surveys Branch letter stating that metes & bounds descriptions prior to 1970 are unplotable due to numerous conveyancing errors.<sup>6</sup> Part of Lot 1 E-19<sup>7</sup> Part of Lot 1 E-19 (32 Dundas Street East?)

Appendix 1  
CHAIN of TITLE

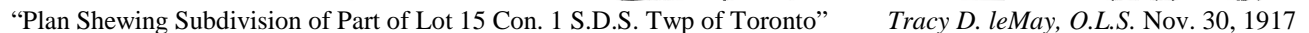
PIN 13350-0003 - 24, 26, 28 and 32 Dundas Street East, Mississauga



Property Index Map, Block 13350, City of Mississauga

Ministry of Consumer and Commercial Relations

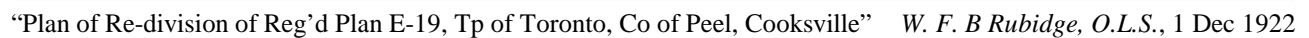
**PIN 13350-0003 - 24, 26, 28 and 32 Dundas Street East, Mississauga**



Tracy Deavin leMay (1884-1954) was born in the county of Kent, England. Emigrating to Canada he located in Toronto in May 1909. He joined the staff of the City of Toronto as City Surveyor and in the course of time was given responsibilities as City Traffic Engineer, Director of the City of Toronto Planning Board, Director of the Toronto and York Planning Board and, in 1953, Director of the Metropolitan Toronto Planning Board. leMay was appointed vice-president of the Town Planning Institute of Canada in 1953.<sup>12</sup>

The records of Tracy D. leMay, Ontario Land Surveyor are held by Krcmar Surveyors in Thornhill <sup>13</sup>

<sup>13</sup> Krcmar website: <http://www.krcmar.ca/content/our-survey-records-collection>



The records of W. F. B. Rubidge, Ontario Land Surveyor are held by Krcmar Surveyors in Thornhill.<sup>14</sup>



## Appendix 2

### Property Heritage Detail

Address: 32 DUNDAS ST Area: COOKSVILLE  
 Type: COMMERCIAL Reason: ARCHITECTURAL  
 Style: Box-like design. First storey commercial, second residential. Red brick, stone foundation. Hip roof with asphalt (*sic*) shingles



Description: 24-26 Dundas Street East. Conc 1 SDS, pt. Lot 15, N. Also known as Irwin's Hardware. Built ca 1860s or 1870s on the site of the old Daniel Harris store which he sold in 1818 to Jacob Cook. The store was among the many buildings destroyed in the Cooksville fire of 1852. The building has gone through many owners and is also known as Irwin's Hardware. It is a two-storey, 6 bay façade with a medium pitched gable roof. Heritage listed. There was a fire in the building on February 19, 2004, as reported in the Mississauga News of February 20, 2004 but it does not appear to have suffered any damage.

Agency: *Mississauga Library System*

**NOTE:** 14, 24, 26, 28 and 32 Dundas Street East are all listed in the City's Heritage Register; however, the description for each is identical and each is labelled "32 Dundas Street East".

## RESUME

**OWEN R. SCOTT, OALA, FCSLA, CAHP**

### Education:

Master of Landscape Architecture (M.L.A.) University of Michigan, 1967  
Bachelor of Science in Agriculture (Landscape Horticulture), (B.S.A.) University of Guelph, 1965

### Professional Experience:

1965 - present President, CHC Limited, Guelph, Ontario  
1977 - present President, The Landplan Collaborative Ltd., Guelph, Ontario  
1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC  
1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, Ontario  
1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph  
1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, Ontario  
1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, Ontario

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### Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise

### Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP)  
Member: Canadian Association of Heritage Professionals (CAHP)  
Member: Ontario Association of Landscape Architects (OALA)  
Fellow: Canadian Society of Landscape Architects (FCSLA)

### Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003  
Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002  
Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)  
Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

### Personal and Professional Honours and Awards (Heritage):

Mike Wagner Award	2013	Heritage Award - Breithaupt Block, Kitchener, ON
People's Choice Award	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
Award of Excellence	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
National Award	2009	Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON
Award of Merit	2009	Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON
Award	2007	Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON
Award	2001	Ontario Heritage Foundation Certificate of Achievement
Award	1998	Province of Ontario, Volunteer Award (10 year award)
Award	1994	Province of Ontario, Volunteer Award (5 year award)
Regional Merit	1990	Canadian Society of Landscape Architects (CSLA), Britannia School Farm Master Plan
National Honour	1990	CSLA Awards, Confederation Boulevard, Ottawa
Citation	1989	City of Mississauga Urban Design Awards, Britannia School Farm Master Plan
Honour Award	1987	<i>Canadian Architect</i> , Langdon Hall Landscape Restoration, Cambridge, ON
Citation	1986	<i>Progressive Architecture</i> , The Ceremonial Routes (Confederation Boulevard), Ottawa,
National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
National Merit	1984	CSLA Awards, St. James Park Victorian Garden, Toronto, ON
Award	1982	Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

### **Selected Heritage Publications:**

- Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. 19th Century Gardens for the 20<sup>th</sup> and 21<sup>st</sup> Centuries. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. Landscapes of Memories, A Guide for Conserving Historic Cemeteries. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter, American Society of Landscape Architects - Ontario Chapter*, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the many heritage consultations undertaken by Owen R. Scott** in his capacity as a landscape architect with Project Planning Associates Ltd., as principal of Owen R. Scott & Associates Limited, as principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

- N Alton Mill Landscape, Caledon, ON
- N Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- N Black Creek Pioneer Village Master Plan, Toronto, ON
- N Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- N Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- N Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- N Cruickston Park Farm - Cultural Heritage Resources Study, Cambridge, ON
- N Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- N Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- N Downtown Guelph Public Realm Plan, City of Guelph, ON
- N Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- N Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- N Exhibition Park Master Plan, City of Guelph, ON
- N Feasibility Study for a Heritage Resource Centre, Regional Municipality of Waterloo, ON
- N George Brown House Landscape Restoration, Toronto, ON
- N Government of Ontario Light Rail Transit Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- N Grand River Corridor Conservation Plan, GRCA/Regional Municipality of Waterloo, ON
- N Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- N John Galt Park, City of Guelph, ON

N Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON

N Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON

N Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON

N Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON

N MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON

N Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY

N Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON

N Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON

N Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON

N Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON

N Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON

N Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON

N Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON

N South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON

N St. George's Square, City of Guelph, ON

N St. James Park Victorian Garden, City of Toronto, ON

N Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK

N University of Toronto Heritage Conservation District Study, City of Toronto, ON

N Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo

N Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

N 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice

Heritage Impact Assessments (HIA), Heritage Impact Statements (HIS), Cultural Heritage Resource Impact Assessments (CHRIA), Cultural Heritage Evaluation Reports (CHER), and Heritage Conservation Plans:

N Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON

N 33 Arkell Road Heritage Impact Assessment, Guelph, ON

N Barra Castle Heritage Impact Assessment, Kitchener, ON

N Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON

N 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON

N 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON

N 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON

N 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON

N Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON

N Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON

N 215 Broadway Street Heritage Impact Statement, Mississauga, ON

N Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON

N 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON

N 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON

N City Centre Heritage Impact Assessment, Kitchener, ON

N 175 Cityview Drive Heritage Impact Assessment, Guelph, ON

N Cordingly House Heritage Impact Statement, Mississauga, ON

N 264 Crawley Road Heritage Impact Assessment, Guelph, ON

N 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON

N 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON

N 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON

N 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON

N 3 - 7 Gordon Street Heritage Impact Assessment, Guelph, ON

N Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON

N GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON

N Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON

N Hancock Woodlands Cultural Heritage Assessment and Heritage Impact Statement, City of Mississauga, ON

N Harrop Barn Heritage Conservation Plan, Milton, ON

N Hart Farm Heritage Impact Assessment, Guelph, ON

N Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON

N 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON



N Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON  
N 117 Liverpool Street Heritage Impact Assessment, Guelph, ON  
N 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ONN  
N 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON  
N 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON  
N 1245 Mona Road, Heritage Impact Statement, Mississauga, ON  
N 15 Mont Street, Heritage Impact Assessment, Guelph, ON  
N Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON  
N 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON  
N 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON  
N Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON  
N Thorny-Brae Heritage Impact Statement, Mississauga, ON  
N University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON  
N University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON  
N University of Guelph, Gordon Street Houses, Heritage Impact Assessment, Guelph, ON  
N Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON  
N 927 Victoria Road South Heritage Impact Assessment, Guelph, ON  
N Winzen Developments Heritage Impact Assessment, Cambridge, ON  
N 1123 York Road Heritage Impact Assessment, Guelph, ON

**Expert Witness Experience:**

Owen R. Scott has been called as an expert witness at a number of hearings and trials. These include **Ontario Municipal Board Hearings, Conservation Review Board Hearings, Environmental Assessment Board** and **Environmental Protection Act Board Hearings**, and civil and criminal trials.



**Memorandum**

Community Services Department  
Culture Division



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**TO:** Chair and Members of the Heritage Advisory Committee

**FROM:** Laura Waldie, Heritage Coordinator

**DATE:** July 2, 2014

**SUBJECT:** **Monthly Update Memorandum from Heritage Coordinators**

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The following non-substantive alterations came forward to Heritage Planning and did not require a Heritage Property Permit. These items are for information only.

Ward 1:

- a. 1370 Dundas Street East: Interior renovations to a Listed property.
- b. 250 Mineola Road: Porch repair work, with like for like materials, to a Listed property.
- c. 156 Indian Valley Trail: Small one storey addition to the rear of a Listed property. Addition is not visible from the streetscape.

Ward 2:

- a. 968 Tennyson Avenue: Detached one storey two car garage on a Listed property.
- b. 200 Donnelly Drive: Deck replacement, with like for like materials, at the rear of a Listed property.
- c. 286 Mineola Road: Deck replacement, with like for like materials, at the rear of a Listed property.
- d. 928 Meadow Wood Road: Porch overhang at the rear of a Listed property is being reduced in size.

Ward 4:

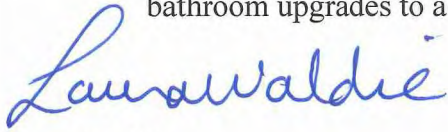
- a. 30 Eglinton Avenue East (Wilcox House): Internal stair repair to a Designated property

Ward 8:

- a. 2306 Mississauga Road: One storey covered porch and balcony addition located at the rear of a Listed property. The addition is not visible from the streetscape.

Ward 11:

- a. 148 Queen Street South: Internal renovations such as drywall replacement/repair, bathroom upgrades to a Listed property.



Laura Waldie  
Heritage Coordinator  
Culture Division  
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[laura.waldie@mississauga.ca](mailto:laura.waldie@mississauga.ca)

**Environment and Land Tribunals  
Ontario**

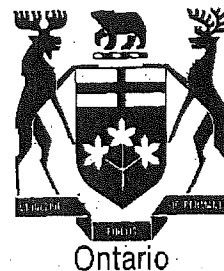
**Ontario Municipal Board**

655 Bay Street, Suite 1500  
Toronto ON M5G 1E5  
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**Tribunaux de l'environnement et de  
l'aménagement du territoire Ontario**

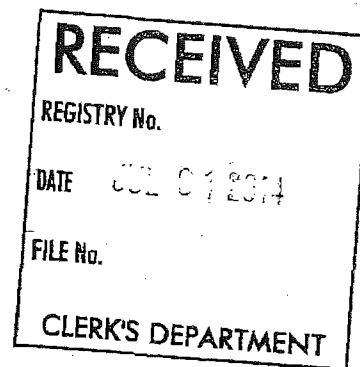
**Commission des affaires municipales  
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June 27, 2014

Neil O'Connor  
1050 Old Derry Road  
Mississauga, ON  
L5W 1A1



Subject:	Case Number:	MM140041
	File Number:	MM140041
	Municipality:	Mississauga
	Municipal Number:	1050 Old Perry Rd
	Property Location:	1050 Old Derry Road
	Appellant(s):	Neil O'Connor

The Board acknowledges receipt of the above referenced file. When communicating with the Board please quote the Board's case and/or file number.

This file has been assigned to **Nazma Ramjaun, Case Coordinator, Planner**. For specific questions about this case, you may contact the Case Coordinator, Planner at **(416) 326-6796**.

The Case Coordinator, Planner will review the file to ensure that all the required material has been received and will identify if there are other related matters that may come to the Board. The Case Coordinator, Planner may contact the parties to:

- Identify issues
- Discuss whether the matter may be a candidate for a mediation meeting
- Discuss whether a prehearing conference may be beneficial (Prehearings are normally only held on complex cases where the hearing length is expected to be over five days)
- Discuss the time that may be required for the hearing.

Mediation is an option available where the parties consent to this process. Mediation is intended to provide the parties with a more satisfactory manner in which to reach a resolution in the same or lesser timeframe as the traditional adjudicative process. Parties should contact the Case Coordinator, Planner if they are interested in mediation.

The Board will schedule this case for the earliest available date on the Board's calendar. Parties should be prepared to proceed at any time. Parties will receive notice of the hearing event. Notice for prehearings and hearings are generally mailed 35 days before the hearing. Notice for mediation meetings can be given on shorter notice.



9(a)

Once dates are set, adjournments are not granted except where compelling circumstances exist and with the consent of all parties and/or the approval of the Board.

We are committed to providing services as set out in the *Accessibility for Ontarians with Disabilities Act, 2005*. If you have any accessibility needs, please contact our Accessibility Coordinator as soon as possible.

For general information concerning the Board's policies and procedures visit our website at [www.eltso.gov.on.ca](http://www.eltso.gov.on.ca) or you may contact the Board's offices at (416) 212-6349. You may wish to obtain a copy of the publication 'A Guide to the Ontario Municipal Board' to learn more about participating in matters before the Board and the hearing process. This publication is available on the Board's website or by calling the Board's offices.

Yours truly,

P. Arseneault  
Case Management Administrative Assistant

c.c.  
The Clerk (Mississauga)