

AGENDA



HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, MARCH 18, 2014 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

Members

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

Mohammad N. Haque, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuaig, Citizen Member

Michael Spaziani, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

NOTE: Heritage Advisory Committee Members are encouraged to visit the properties listed on agendas prior to Committee meetings in order to gain information and context.

CONTACT PERSON: Julie Lavertu, Legislative Coordinator, Office of the City Clerk

Telephone Number: 905-615-3200, ext. 5471; Fax Number: 905-615-4181

Email Address: Julie.Lavertu@mississauga.ca

CALL TO ORDERAPPROVAL OF AGENDADECLARATIONS OF CONFLICT OF INTERESTDEPUTATIONS

- A. Item 3 Laura Waldie, Heritage Coordinator, and Mark Warrack, Cultural Planner, with respect to the Meadowvale Village Heritage Conservation District Plan Review.

MATTERS TO BE CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held November 19, 2013.

RECOMMEND APPROVAL

2. Heritage Easement Agreement, Dowling House, 2285 Britannia Road West, Ward 11

Corporate Report dated January 27, 2014 from the Commissioner of Community Services with respect to a heritage easement agreement for the Dowling House located at 2285 Britannia Road West.

RECOMMENDATION

That a by-law be enacted to authorize the Commissioner of Community Services and City Clerk to execute and affix the Corporate Seal to a Heritage Easement Agreement (the "Agreement") between The Corporation of the City of Mississauga and Jasrico Financial Inc., in a form satisfactory to Community Services and Legal Services, with regards to the building known as the Dowling House located at 2285 Britannia Road West in Mississauga, Ontario (the "Property"), for the purposes of ensuring the conservation of the cultural heritage value of the Dowling House, and that Legal Services be directed to register such Agreement on title of the Property.

RECOMMEND APPROVAL

3. Meadowvale Village Heritage Conservation District Plan Review, Ward 11

Corporate Report dated February 20, 2014 from the Commissioner of Community Services with respect to the Meadowvale Village Heritage Conservation District Plan Review.

(3.) RECOMMENDATION

1. That the revised single application process to obtain heritage permits for heritage properties designated under Part IV, or located in heritage conservation districts designated under Part V of the *Ontario Heritage Act*, as amended (the “Act”), be approved, as set out in the Corporate Report dated February 20, 2014 from the Commissioner of Community Services, entitled “Meadowvale Village Heritage Conservation District Plan Review” (“the Corporate Report dated February 20, 2014”);
2. That By-law 215-07, being a by-law to create a single application process to obtain Heritage permits for heritage properties designated under Part IV, or located in heritage conservation districts designated under Part V of the *Ontario Heritage Act*, be repealed;
3. That the boundary of the Meadowvale Village Heritage Conservation District be amended, as outlined in Appendix 1 attached to the Corporate Report dated February 20, 2014, and designated as a heritage conservation district in accordance with the Act (the “Meadowvale HCD”);
4. That the Meadowvale Village Heritage Conservation District Plan 2014 (the “2014 Plan”), as outlined in Appendix 2 attached to the Corporate Report dated February 20, 2014, be approved;
5. That By-law 453-80 being a 1980 by-law to designate an area of the City as a heritage conservation district under Section 41.(1) of the *Ontario Heritage Act*, 1974, S.O. 1974, c.122, shall be deemed to be repealed on the date that Council’s decision in respect of the Meadowvale Village HCD Plan 2014 is final, save and except where any appeal is filed against the decision of Council with respect to the Meadowvale Village HCD Plan 2014 in which event By-law 453-80 and the 1980 Meadowvale Village HCD Plan shall continue to remain in effect and apply in respect of those matters and those lands that are the subject of any appeal or appeals until their final disposition and, thereafter By-law 453-80 and the 1980 Meadowvale Village HCD Plan shall be deemed repealed upon the final disposition of such appeal or appeals and when the new by-law designating the 2014 Meadowvale Village HCD as a heritage conservation district and adopting the 2014 Plan is in force; and
6. That all necessary by-laws be enacted.

RECOMMEND APPROVAL

4. Request to Demolish a Heritage Listed Property Within a Cultural Landscape, 1232 Vesta Drive, Ward 1

Corporate Report dated February 20, 2014 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property within a Cultural Landscape located at 1232 Vesta Drive.

RECOMMENDATION

That the property at 1232 Vesta Drive, which is listed on the City’s Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner’s request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated

- (4.) February 20, 2014 from the Commissioner of Community Services.

RECOMMEND APPROVAL

5. Request to Demolish a Heritage Listed Property Within a Cultural Landscape, 1243 Woodland Avenue, Ward 1

Corporate Report dated February 20, 2014 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property within a Cultural Landscape located at 1243 Woodland Avenue.

RECOMMENDATION

That the property at 1243 Woodland Avenue, which is listed on the City's Heritage Register as part of the Mineola West Neighbourhood Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated February 20, 2014 from the Commissioner of Community Services.

RECOMMEND APPROVAL

6. Request to Demolish a Heritage Listed Property Within a Cultural Landscape, 7161 Lancaster Avenue, Ward 5

Corporate Report dated February 20, 2014 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property within a Cultural Landscape located at 7161 Lancaster Avenue.

RECOMMENDATION

That the property at 7161 Lancaster Avenue, which is listed on the City's Heritage Register as part of the War Time Housing (Malton) Cultural Landscape, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure be approved and the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as described in the Corporate Report dated February 20, 2014 from the Commissioner of Community Services.

RECOMMEND APPROVAL

7. Heritage Advisory Committee and Related Staff Milestones: 2013 Year in Review

Corporate Report dated February 21, 2014 from the Commissioner of Community Services with respect to the Heritage Advisory Committee and related staff milestones: 2013 year in review.

RECOMMENDATION

That the Corporate Report dated February 21, 2014 from the Commissioner of Community Services, entitled "Heritage Advisory Committee and Related Staff Milestones: 2013 Year in Review," be received.

(7.) RECOMMEND APPROVAL8. Grand Duchess Olga Lived on Camilla Road, Ward 7

Email message dated November 29, 2013 from Barbara Johnstone, Executive Assistant to Councillor Nando Iannicca, Ward 7, with respect to correspondence from Meryl Fisher, Ward 7 resident, entitled "Grand Duchess Olga Lived on Camilla Road."

DIRECTION REQUIRED9. 2014 Ontario Heritage Conference

Correspondence with respect to the 2014 Ontario Heritage Conference on May 23-25, 2014 at the NAV CENTRE in Cornwall, Ontario.

*** Two Heritage Advisory Committee Citizen Members have usually attended this event and their related costs have been funded by HAC's budget. For more information regarding this event, please visit: www.ontarioheritageconference.ca.**

DIRECTION REQUIRED10. Status of Outstanding Issues Chart from the Heritage Advisory Committee

Chart dated March 18, 2014 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

RECOMMEND RECEIPTSUBCOMMITTEE UPDATES FROM CHAIRS11. Heritage Designation Subcommittee12. Meadowvale Village Heritage Conservation District Review Committee, Ward 11

12.1 Correspondence dated November 22, 2013 from James P. Holmes, Chair, and Mike Byrne, Vice-Chair, Meadowvale Village Community Association, with respect to the Meadowvale Village Heritage Conservation District Plan Review.

RECOMMEND RECEIPT13. Public Awareness Subcommittee

MONTHLY UPDATE MEMORANDUM FROM HERITAGE COORDINATORS14. January 2014 Monthly Update Memorandum, Wards 2, 6, and 11

Memorandum dated January 27, 2014 from Laura Waldie, Heritage Coordinator, with respect to the January 2014 monthly update Memorandum from Heritage Coordinators.

RECOMMEND RECEIPTINFORMATION ITEMS15. Resignation from Deanna Natalizio, Heritage Advisory Committee Citizen Member

Email message dated February 4, 2014 from Deanna Natalizio, Heritage Advisory Committee Citizen Member, advising Councillor George Carlson, Chair, Heritage Advisory Committee, of her resignation from the Heritage Advisory Committee, effective immediately.

RECOMMEND RECEIPT16. Notice of Intention to Designate Heritage Property, Outdoor Firing Range, 1300 Lakeshore Road East, and the Lakeview Waterfront Connection, Ward 1

Correspondence dated January 20, 2014 from Andrew Farr, Director, Water Division, Public Works Department, Region of Peel, with respect to the Notice of Intention to designate a heritage property, the Outdoor Firing Range, located at 1300 Lakeshore Road East, and the Lakeview Waterfront Connection.

RECOMMEND RECEIPT17. Notice of Public Information Centre (PIC) #1, Municipal Class Environmental Assessment Study for Creditview Road from Bancroft Drive to Old Creditview Road, Ward 11

Correspondence dated January 20, 2014 from Mirjana Osojnicki, Senior Environmental Planner, AECOM Canada Ltd., with respect to the Notice of Public Information Centre (PIC) #1, Municipal Class Environmental Assessment Study for Creditview Road from Bancroft Drive to Old Creditview Road.

RECOMMEND RECEIPT

18. Letter of Authority Regarding the Waiving of Normal Tariff Fees at Land Registry Offices for Municipal Heritage Committee Members and their Assistants

Correspondence dated March 6, 2014 from Bert Duclos, Heritage Outreach Consultant, Ministry of Tourism, Culture and Sport, with respect to a letter of authority regarding the waiving of normal tariff fees at Land Registry Offices for Municipal Heritage Committee Members and their assistants.

RECOMMEND RECEIPT

DATE OF NEXT MEETING – Tuesday, April 22, 2014 at 9:30 a.m., Council Chamber

OTHER BUSINESS

ADJOURNMENT

MINUTES



Heritage Advisory Committee

January 21 2014

Heritage Advisory Committee

FEB 18 2014

HERITAGE ADVISORY COMMITTEE

THE CORPORATION OF THE CITY OF MISSISSAUGA

TUESDAY, NOVEMBER 19, 2013 – 9:30 A.M.

COUNCIL CHAMBER

SECOND FLOOR, CIVIC CENTRE

300 CITY CENTRE DRIVE, MISSISSAUGA, ONTARIO, L5B 3C1

www.mississauga.ca

MEMBERS PRESENT:

Councillor George Carlson, Ward 11 (CHAIR)

Councillor Jim Tovey, Ward 1 (VICE-CHAIR)

Robert Cutmore, Citizen Member

David Dodaro, Citizen Member

James Holmes, Citizen Member

Rick Mateljan, Citizen Member

Cameron McCuarg, Citizen Member

Michelle Walmsley, Citizen Member

Matthew N. Wilkinson, Citizen Member

MEMBERS ABSENT:

Mohammad N. Haque, Citizen Member

Deanna Natalizio, Citizen Member

Michael Spaziani, Citizen Member

STAFF PRESENT:

Elaine Eigl, Heritage Coordinator

Julie Lavertu, Legislative Coordinator

Gavin Longmuir, Manager, Forestry

Laura Waldie, Heritage Coordinator

Andrew Whittemore, Manager, Culture and Heritage Planning

CONTACT PERSON: Julie Lavertu, Legislative Coordinator

Office of the City Clerk, Telephone: 905-615-3200, ext. 5471; Fax 905-615-4181

Julie.Lavertu@mississauga.ca

CALL TO ORDER – 9:32 a.m.

DECLARATIONS OF DIRECT (OR INDIRECT) PECUNIARY INTEREST – Nil

PRESENTATIONS/DEPUTATIONS – Nil

MATTERS CONSIDERED

1. Approval of Minutes of Previous Meeting

Minutes of the meeting held October 22, 2013.

Approved (Councillor J. Tovey)

2. Heritage Tree Subcommittee

Corporate Report dated November 1, 2013 from the Commissioner of Community Services with respect to the Heritage Tree Subcommittee.

Ms. Walmsley requested clarification on the possible role of Citizen Members during Arbor Week and discussed the loss of trees in the Mincola West Cultural Landscape, arborist report requirements for property owners in Cultural Landscapes, whether Urban Forestry staff could better monitor the loss of trees and overall canopy in Cultural Landscapes via arborist reports, and the City's tree-related by-laws and processes.

Mr. Longmuir discussed the City's various tree-related initiatives, such as Arbor Week and the One Million Trees Mississauga Program, and related volunteering opportunities and suggested that those interested visit Urban Forestry's web page for more information. He spoke about the monitoring of removed trees and the overall canopy, arborist report requirements, and the City's tree-related by-laws vis-à-vis the removal of trees and said that Urban Forestry staff could discuss a process to monitor the loss of trees and canopy in Cultural Landscapes via arborist reports with the Heritage Designation Subcommittee.

In response to Mr. Cutmore, Mr. Dodaro discussed the recommendation for the designation of heritage trees under the *Ontario Heritage Act* to be addressed via the Heritage Designation Subcommittee as well as the Subcommittee's membership and role.

The Chair said that property owners in Cultural Landscapes and Heritage Conservation Districts and property owners of heritage designated properties can currently remove up to two trees without a permit or notifying anyone at the City. He added that the Committee would need to pass a recommendation for Council's consideration on this matter if they believed that this is a loophole. Mr. Longmuir concurred with the Chair, noting that these matters are not in the purview of the Private Tree Protection By-Law so the by-law would need to be amended to capture these matters.

Recommendation

HAC-0105-2013

1. That the mandate of the Heritage Tree Subcommittee to investigate the feasibility of a Heritage Tree Program has been fulfilled and therefore the Subcommittee can be dissolved; and
2. That the designation of Heritage Trees under the Ontario Heritage Act be addressed through the Heritage Designation Subcommittee.

Approved (J. Holmes)3. Request to Demolish a Heritage Listed Property, 4067 Mississauga Road, Ward 8

Corporate Report dated October 18, 2013 from the Commissioner of Community Services with respect to a request to demolish a heritage listed property located at 4067 Mississauga Road.

Mr. Wilkinson requested clarification regarding the number of lots being proposed on the property and whether the houses will both face Mississauga Road or the street behind the properties, noting that this is a tight corner along Mississauga Road. Ms. Waldie said that the property will be subdivided into two lots, that the houses will likely face the street behind the properties, and that latter issue will be addressed via the Site Plan process.

Recommendation

HAC-0106-2013

That the property at 4067 Mississauga Road, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish the structure proceed through the applicable process.

Approved (M. Wilkinson)4. Heritage Impact Statement, 1370 Milton Avenue, Ward 1

Memorandum dated October 18, 2013 from Laura Waldie, Heritage Coordinator, with respect to the Heritage Impact Statement for the property located at 1370 Milton Avenue.

Mr. Mateljan requested clarification on the criteria used by Heritage staff to request a Heritage Impact Statement (HIS) from the property owner, noting that this is the first time that he had seen an HIS for this type of project. Ms. Waldie clarified that Heritage staff did not request an HIS for this second floor addition, but that the property owners wanted to chronicle their property's history so they hired Gillespie Heritage Consulting to write an HIS which is now being brought forward to the Committee for receipt only.

Recommendation

HAC-0107-2013

That the Memorandum dated October 18, 2013 from Laura Waldie, Heritage Coordinator, entitled "Heritage Impact Statement, 1370 Milton Avenue (Ward 1)," be received.

Received (R. Mateljan)

5. Municipal Water Servicing within the Willow Lane Right-of-Way, Ward 11

Memorandum dated November 4, 2013 from Elaine Eigl, Heritage Coordinator, with respect to municipal water servicing within the Willow Lane right-of-way.

Mr. Holmes said that the Meadowvale Village Heritage Conservation District (MVHCD) Review Committee had no concerns regarding this matter, as there would be no visual impacts to the laneway or to nearby houses as a result of the work undertaken by the Region of Peel. The Chair said that this matter was long overdue and will benefit Willow Lane residents and Meadowvale Village overall. In response to Mr. Wilkinson, Ms. Eigl briefly explained the Region's trenchless methods for installing the watermain.

Recommendation

HAC-0108-2013

That the Memorandum dated November 4, 2013 from Elaine Eigl, Heritage Coordinator, entitled "Municipal Water Servicing within the Willow Lane Right-of-Way (Ward 11)," be received.

Received (J. Holmes)

6. 2013 Cultural Heritage Program Award of Excellence Expenditure

Memorandum dated November 5, 2013 from Elaine Eigl, Heritage Coordinator, with respect to 2013 Cultural Heritage Program Award of Excellence expenditure.

In response to the Chair, Ms. Lavertu briefly discussed the Memorandum and said that the estimated \$70 expenditure is being brought to the Committee for their information, as the cost will be incurred by the Committee's 2013 budget. She added that Item 7 deals with the Committee's overall 2013 budget in detail by expenditure type.

Recommendation

HAC-0109-2013

That the Memorandum dated November 5, 2013 from Elaine Eigl, Heritage Coordinator, entitled "2013 Cultural Heritage Program Award of Excellence Expenditure," be received.

Received (Councillor J. Tovey)

7. Heritage Advisory Committee's Budget and Spending History

Memorandum dated November 12, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the Heritage Advisory Committee's budget and spending history.

Ms. Lavertu briefly discussed the Memorandum, noting that it responds to a previous recommendation that was made by the Committee in April 2011 and is being provided to

the Committee at this time because the City Committees of Council Structure Review has been largely completed at this time. She added that City Council approved changes to Committee budgets as part of the above-noted Review in April 2013 (specifically, a single operating budget account that supports all typical annual expenditures for Committees of Council, including a policy outlining approved expenditures) and directed that these changes be implemented for the next term of Council (2015-2018).

Recommendation

HAC-0110-2013

That the Memorandum dated November 12, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, entitled "Heritage Advisory Committee's Budget and Spending History, Clerk's File Number: MG-07" be received.

Received (C. McCuaig)

8. Status of Outstanding Issues Chart from the Heritage Advisory Committee

Chart dated November 19, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee.

Clarkson General Store, 1130-1132 Clarkson Road North, and William Clarkson House, 1140 Clarkson Road North, Ward 2

Mr. Dodaro discussed the above-noted properties and requested clarification from Heritage staff regarding the three properties and their heritage status. He discussed the properties and their current condition, a recent fire in one of the properties, and referred to two photographs of the properties that he recently took which were projected on the screen by Ms. Lavertu for the Committee's information. Mr. Dodaro noted that work is currently going on at the properties, including reframing work, and suggested that the City issue a stop work order, as this work is taking place without the appropriate permits.

Mr. Whittemore said that Heritage staff followed up with Legal Services staff who confirmed that the ownership of the properties has not been determined. He added that Heritage staff will advise appropriate staff regarding the work that is now going on at the properties and seek clarity respecting the possibility of staff issuing a stop work order.

Ms. Waldie discussed the three properties, their addresses, and their heritage statuses. She spoke about the status of the court case regarding the ownership of the properties and said that the City's Property Standards Order (PSO) had been appealed and that she had consulted Planning and Building Department and By-Law Enforcement staff regarding the properties and their various issues. Ms. Waldie said that the fire in one of the properties occurred in late August and news reports said that there was minimal damage.

The Chair and Vice-Chair discussed the properties and their heritage and financial value, ownership, and property tax status, the importance of discussing the status of the properties and next steps with Councillor Pat Mullin, Ward 2, the properties and related PSO vis-à-vis the City's new and old Property Standards By-Laws, and the possibility of

reviewing the PSO regarding the properties during the Committee's next meeting.

Committee members discussed the properties, the possibility of the Heritage Designation Subcommittee discussing the properties with Councillor Mullin and Heritage staff and/or assisting staff with any tasks related to the properties, the importance of Heritage staff keeping Committee members aware of any developments regarding the properties, the disputed property owners, a recent fire in one of the properties vis-à-vis the current work being done, the importance of ensuring that the properties are adequately protected and preserved unlike other heritage properties (e.g., the Dowling House), the City's new Property Standards By-Law vis-à-vis the properties, the possibility of the City fixing up the properties and billing the property owners for related costs, and the possibility of Heritage staff bringing this matter to the Mayor and/or Council for immediate resolution.

Mr. Whittemore said that Heritage staff would follow up with Councillor Mullin so that she is aware of the current status of the properties and that he would raise this issue with the management of affected departments so that they are aware of the seriousness of this matter and the Committee's concerns. He added that this is a complex file due to the disputed ownership and various regulatory by-laws, that Heritage staff would consult with Legal Services staff regarding the possibility of levying fines or penalties on the property owners, and that Heritage staff would email any updates to the Committee.

Recommendation

HAC-0111-2013

That the chart dated November 19, 2013 from Julie Lavertu, Legislative Coordinator, Heritage Advisory Committee, with respect to the status of outstanding issues from the Heritage Advisory Committee, be received.

Received (M. Wilkinson)

SUBCOMMITTEE UPDATES FROM CHAIRS

9. Heritage Designation Subcommittee – Nil
10. Heritage Tree Subcommittee – Nil
11. Meadowvale Village Heritage Conservation District Review Committee – Nil
12. Public Awareness Subcommittee – Nil

The Chair noted that the above-noted heading for the Heritage Tree Subcommittee would be removed from future agendas due to its dissolution during today's Committee meeting (please see Item 2 on pages 1-2 of the minutes for more information regarding this issue).

INFORMATION ITEMS13. 2014 Volunteer Service Awards Program

Correspondence dated November 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the 2014 Volunteer Service Awards Program.

Recommendation

HAC-0112-2013

That the correspondence dated November 2013 from the Honourable Michael Coteau, Minister of Citizenship and Immigration, with respect to the 2014 Volunteer Service Awards Program, be received.

Received (R. Cutmore)

DATE OF NEXT MEETING – Tuesday, January 21, 2014 at 9 a.m., Council Chamber

OTHER BUSINESS2014 Heritage Work Plan Suggestions

Mr. McCuaig said that he had discussions with Heritage staff during the past few months regarding the 2014 work plan and wanted to share these dealings with the Committee. He said that he raised three issues: (1) developing a documented 2014 heritage strategic plan, including a communications plan, for heritage and cultural landscape designations; (2) conducting heritage market research to help direct the Committee and the heritage strategic plan; and (3) reviewing the culture on the map website's traffic and feedback and pursuing enhancements. Mr. McCuaig said that Heritage staff advised him that the three issues will not be pursued in 2014 due to other priorities and that he wanted to make the Committee aware of these discussions in case there was interest in making this an agenda item in January 2013 or having an off-site meeting to discuss them further.

Mr. Whittemore thanked Mr. McCuaig for his email message to Heritage staff regarding the above-noted matter and his interest in heritage at the City. He noted that the heritage strategic plan is being targeted for late 2014 or 2015, as Paula Wubbenhorst, Senior Heritage Coordinator, will be returning from maternity leave in mid-2014 and be actively involved in developing and implementing this plan, and that the Committee will be consulted on this matter in 2014. Mr. Whittemore discussed the City's heritage processes, systems, and plans, the need to adopt a more proactive and efficient approach for the Committee's decision-making in Cultural Landscapes in the near future, current priorities (e.g., completing the MVHCD Plan Review), and the workload of Heritage staff which is largely driven by dealing with incoming applications as per the *Ontario Heritage Act*.

Committee members discussed the possibility of the Committee or the Public Awareness Subcommittee assisting Heritage staff and/or contributing to the heritage strategic plan,

the value of heritage market research for the Public Awareness Subcommittee, the importance of staff working with Citizen Members on public awareness and other subcommittee-related initiatives and ideas, the possibility of the Public Awareness Subcommittee resurrecting "The Bridge" newsletter to increase awareness of heritage designations and other heritage-related issues, the value of having an off-site meeting in early 2014 to discuss all or some of the issues identified by Mr. McCuaig, and the timelines for drafting a heritage strategic plan and related advantages and disadvantages.

The Chair said that the MVHCD Plan Review has taken a lot of Heritage staff time and is coming to an end. He discussed the roles of Heritage staff and the Committee, upcoming changes to decision-making processes via the Plan Review, and the dissolution of the MVHCD Review Committee and related impacts on the Committee and the application process, adding that the new process will likely lighten the workload of Heritage staff. The Chair added that proactive heritage initiatives are more likely when the Heritage staffing situation stabilizes and Ms. Wubbenhorst returns from maternity leave.

Mr. Holmes discussed the Plan Review, the proposed process for applications and related guidelines in the MVHCD, and the need to keep residents informed of applications and developments with the dissolution of the Review Committee in the near future. He also thanked contract Heritage staff for their work and responsiveness on the Plan Review.

The Chair complimented Mr. Whitemore for his leadership and the work of Mr. Holmes and Heritage staff on the Plan Review. He suggested that the Committee could have a Saturday morning meeting in early 2014 to discuss enhancing the culture on the map website and possible public relations, marketing, and outreach opportunities in the future.

"The Credits" Heritage Mississauga Awards

Mr. Wilkinson reminded the Committee that the above-noted event was taking place on Thursday, November 21, 2013 at the Mississauga Grand Banquet and Convention Centre.

Transfer of Microfilm Land Registry Records to Thunder Bay, Ontario

Mr. Wilkinson discussed the recent transfer of microfilm land registry records from the Peel Art Gallery, Museum + Archives (PAMA) to the ServiceOntario office in Thunder Bay, Ontario and associated impacts on citizens, researchers, the Committee, and others. He said that he would be visiting PAMA in the near future and would update the Committee via email regarding the types of records that are still available at PAMA. Ms. Waldie said that her Heritage Planning colleagues in London, Ontario had waited as long as eight weeks to obtain records. In response to the Chair and Ms. Waldie, Mr. Wilkinson discussed the records available at PAMA and the Mississauga Central Library. The Chair asked if realtors are aware of this change, as it could affect the closing dates of properties.

ADJOURNMENT – 10:40 a.m. (C. McCuaig)



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

FEB 18 2014

Heritage Advisory Committee

MAR 18 2014

DATE: January 27, 2014

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: February 18, 2014

FROM: Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

SUBJECT: **Heritage Easement Agreement**
Dowling House, 2285 Britannia Road West
(Ward 11)

RECOMMENDATION: That a by-law be enacted to authorize the Commissioner of Community Services and City Clerk to execute and affix the Corporate Seal to a Heritage Easement Agreement (the "Agreement") between The Corporation of the City of Mississauga and Jasrico Financial Inc., in a form satisfactory to Community Services and Legal Services, with regards to the building known as the Dowling House located at 2285 Britannia Road West in Mississauga, Ontario (the "Property"), for the purposes of ensuring the conservation of the cultural heritage value of the Dowling House, and that Legal Services be directed to register such Agreement on title of the Property.

BACKGROUND: The property known as 2285 Britannia Road West (the "Property") is owned by Jasrico Financial Inc. (the "Owner"). The Dowling House, which was designated as a heritage building in 2010 pursuant to Part IV of the *Ontario Heritage Act*, as amended, is situated on the Property.

As a condition of site plan approval for the application (SPA 06/222), the Owner agreed to enter into a Heritage Easement Agreement (the

“Agreement”) with the City of Mississauga, the purpose of which is to ensure the conservation of the cultural heritage value of the Dowling House. A copy of the Agreement, signed by the Owner, is attached as Appendix “1”.

COMMENTS:

The intent of the Agreement is to ensure that the heritage character of the Dowling House, located on the Property, will be preserved in perpetuity as part of the heritage of the City. The structure is a nineteenth century building that reflects the agricultural history of the Streetsville area. Believed to have been built in the 1880s, it is a one-and-a-half storey frame structure with wooden siding, built on a stone foundation, which by the beginning of the twentieth century was finished in red brick. Although altered since its designation, the Property retains heritage character, which includes, but is not limited to:

- The Property’s historical/associative value due to its association with early Streetsville politicians, including Streetsville’s first mayor Frank Dowling;
- The Property’s historical/associative value as it yields information about late nineteenth and early twentieth century farming;
- The Property’s physical value as a rare surviving farmhouse in Mississauga.

The Owner has executed the Agreement, a copy of which is attached as Appendix 1, and which is now prepared for signature by the Commissioner of Community Services and the City Clerk. The Agreement, once fully executed, will be registered on title to the property at the Land Titles Office. The Owner, and any future owners of the subject lands, will be bound by this Agreement for the purpose of protecting the heritage value of the Dowling House.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION:

The Owner of the Property on which the Dowling House is situated, has agreed, as a condition of Site Plan approval, to execute a Heritage Easement Agreement with the City. The negotiated Agreement is in a form satisfactory to the Community Services Department and Legal Services Division. The Agreement has been executed by the Owner and is ready for signature by the Commissioner of Community

Services and the City Clerk, following which, it will be registered on title.

ATTACHMENTS:

Appendix 1: Heritage Easement Agreement

Appendix 2: Location Map – 2285 Britannia Road West



Paul A. Mitcham, P. Eng, MBA
Commissioner of Community Services

Prepared By: Elaine Eigl, Heritage Coordinator

HERITAGE EASEMENT AGREEMENT

THIS AGREEMENT made in quadruplicate and effective as of this day of
April, 2013.

Heritage Advisory Committee

FEB 18 2014

BETWEEN:

JASRICO FINANCIAL INC.
(hereinafter called the "Owner")

- and -

Heritage Advisory Committee

MAR 18 2014

THE CORPORATION OF THE CITY OF MISSISSAUGA

(hereinafter called the "Municipality")

WHEREAS the Owner is the owner of certain lands and premises situated within the Municipality and known municipally as 2285 Britannia Road West, also known as the "Dowling House" (hereinafter called the "Property"), and which there is a designated heritage building known as the "Dowling House" (hereinafter called the "Building");

AND WHEREAS one of the purposes of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, is to support, encourage and facilitate the conservation, protection and preservation of the heritage of Ontario;

AND WHEREAS the Municipality is entitled to enter into easements or covenants with owners of real property, or interests therein, for the conservation of buildings of historic or architectural value or interest pursuant to the *Ontario Heritage Act*;

AND WHEREAS such covenants and easements entered into by the Municipality shall, when registered on title, run with the lands and be enforceable by the Municipality against the owner or any subsequent owners of the Property;

AND WHEREAS the Owner was granted approval for redevelopment of the Property conditional upon the Owner granting the Municipality a heritage easement or covenant to conserve the historical and architectural value of or interest in the Building;

AND WHEREAS the Owner and the Municipality desire to conserve the present historical, architectural, contextual, aesthetic, scenic and heritage characteristics and conditions of the Building on the Property;

AND WHEREAS in furtherance of the foregoing objectives, the Owner and the Municipality agree to enter into this easement agreement (hereinafter called the "Easement Agreement");

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of TWO DOLLARS (\$2.00) of lawful money of Canada now paid by the Municipality to the Owner (the receipt of which is hereby acknowledged), and for other valuable consideration, and in further consideration of the granting of the easements herein and in further consideration of the mutual covenants and restrictions hereinafter set forth, the Owner and the Municipality agree to abide by the following covenants, easements and restrictions which shall run with the Property forever.

1. REASONS FOR IDENTIFICATION

1.1 Statement of Reasons

The Owner and the Municipality agree that for the purposes of this Easement Agreement the following statement (hereinafter called the "Designation Statement") sets out the reasons why the Building has been identified by the Municipality as having historical/associative and physical/design value:

The Dowling House is a one-and-a-half storey centre-gable farmhouse, with an addition, on the north side of Britannia Road West, about halfway between Erin Mills Parkway and the Canadian Pacific Rail line.

Statement of Cultural Heritage Value or Interest

The Dowling House has historical/associative value due to its association with early Streetsville politicians, including Streetsville's first mayor Frank Dowling.

The Dowling House has historical/associative value as it yields information about late nineteenth and early twentieth century farming.

The Dowling House has physical value as it is a rare surviving farmhouse in Mississauga.

Description of Heritage Attributes

Key attributes that reflect the Dowling House's value in its association with early Streetsville politicians, including Streetsville's first mayor, Frank Dowling:

- Its location, near to the Streetsville core

Key attributes that reflect the Dowling House's value as a source of information on late nineteenth and early twentieth century farming:

- The late nineteenth century farmhouse characteristics
 - Its shape and form, including rectilinear footprint, its steeply pitched and centrally placed pointed gable dormers on each face
 - Its original window and door openings, their size, shape, form and corresponding brick voussoir headers
 - Its original window surrounds and sills
 - The transom above the door
 - Its Credit Valley stone foundation
 - The roof form and pitch
- Its generous setback from the road
- Its location near the rail junction, for which it was originally named

Key attributes that reflect the Dowling House's value as a rare surviving farmhouse in Mississauga:

- Its shape and form, including rectilinear footprint, its steeply pitched and centrally placed pointed gable dormers on each face
- Its original window and door openings, their size, shape, form
- Its original window surrounds and sills
- The transom above the door
- Its Credit Valley stone foundation
- The roof form and pitch
- Its generous setback from the road

Its location near the rail junction, for which it was originally named

2. DUTIES OF OWNER

2.1 Normal Repairs and Alterations

The Owner shall not, except as hereinafter set forth, without the prior written approval of the Municipality, undertake or permit any demolition, construction, alteration, remodelling or any other thing or act which would materially affect the features of the appearance or construction of the Building as set out in the "Designation Statement" and as may be depicted in the copies of the photographs, drawings and other documents attached hereto and incorporated herein as Schedule "B", and in the originals or facsimiles thereof which are filed in, and may be examined at the Municipality wherever they may be from time to time located. If the approval of the Municipality is given or deemed to be given under this paragraph, the Owner, in undertaking or permitting the construction, alteration, remodelling or other thing or act so approved of, shall use materials approved by the Municipality.

2.2 Insurance

The Owner shall at all times during the currency of this Easement Agreement keep the Building insured against normal perils that are coverable by fire and extended coverage insurance in an amount equal to the replacement cost of the Building. The Owner shall deposit with the Commissioner of Community Services for the Municipality, within three (3) weeks of the execution of this Easement Agreement, a certified copy of the insurance policy referred to above [*OR a certificate of insurance*] with limits and in a company that is acceptable to the said Commissioner of Community Services, and thereafter evidence satisfactory to the Municipality of the renewal of insurance shall be delivered to the Municipality at least sixty (60) clear days before the termination thereof. The Municipality shall be named as an insured party in the said insurance policy. If the Owner fails to so insure the Building, or if any such insurance on the Building is cancelled, the Municipality may effect such insurance as the Municipality deems necessary and any sum paid in so doing shall forthwith be paid by the Owner to the Municipality, or if not shall be a debt due and owing to the Municipality and recoverable from the Owner by action in a court of law. All proceeds receivable by the Owner under any fire and extended coverage insurance policy or policies on the Building shall, on the written demand and in accordance with the requirements of the Municipality, be applied to replacement, rebuilding, restoration or repair of the Building to the fullest extent possible having regard to the Designation Statement, the particular nature of the Building and the cost of such work.

2.4 Damage or Destruction

The Owner shall notify the Municipality of any damage or destruction to the Building within seven (7) clear days of such damage or destruction occurring. In the event that the Building is damaged or destroyed and the replacement, rebuilding, restoration or repair of it is impractical because of the financial costs involved, or because of the particular nature of the Building, the Owner shall, in writing within thirty (30) days of the giving by the Owner of notice of such damage or destruction, request written approval by the Municipality to demolish the Building, pursuant to paragraph 2.1. If the approval of the Municipality is given or deemed to be given, the Owner shall be entitled to retain any proceeds from the insurance hereinbefore mentioned and to demolish the Building.

2.5 Reconstruction by Owner

If the Owner has not requested the approval to demolish referred to in paragraph 2.4 or if the Municipality does not give the approval to demolish referred to in paragraph 2.4, the Owner shall replace, rebuild, restore or repair the Building so as to effect the complete restoration of the Building. Before the commencement of such work, the Owner shall submit all plans, drawings and specifications for the replacement, rebuilding, restoration or repair of the Building to the Municipality for its written approval within ninety (90) days of the damage or destruction occurring to the Building. A refusal by the Municipality to approve any plans and specifications may be based upon choice of materials, appearance, architectural style or any other ground or grounds including, but not limited to, purely aesthetic grounds, and the determination of the Municipality shall be final. The Owner shall not commence or cause restorative work to be commenced before receiving the written approval of the Municipality of the plans and specifications for it, and such restorative work shall be performed upon such terms and conditions as the Municipality may stipulate. The Owner shall cause all replacement, rebuilding, restoration and repair work on the Building to be commenced within one-hundred and eighty (180) days of the approval by the Municipality of the plans and specifications for it and to be completed within twelve (12) months of commencement, or as soon as possible thereafter if factors beyond their control prevent completion within the said twelve (12) months, and the Owner shall cause all such work to conform to the plans and specifications approved of and terms and conditions stipulated by the Municipality.

2.6 Security for Conservation of Building

(1) Letter of Credit

The Owner agrees that prior to commencing any demolition, construction, alteration, renovation or restoration of any portion of the Building, the Owner shall deliver to the Municipality an unconditional and irrevocable letter of credit from a Canadian Chartered Bank, in a form acceptable to the Municipality, in the amount of \$520,000.00. Such letter of credit shall be for the purpose of securing the Owner's obligations including but not limited under the previous paragraphs with respect to the relocation and restoration of the Building in accordance with Site Plan 06/222 and any further required heritage permits. The Owner acknowledges that all works contemplated by the aforementioned plans are to be completed within eighteen (18) months of the date of this Agreement. The Owner agrees that the letter of credit shall remain in the possession of the Municipality until the Owner has completed all work applicable to the letter of credit to the satisfaction of the Municipality, at which time the Municipality shall return the letter of credit to the Owner. The Owner shall be permitted to request a reduction from the Municipality of the amounts secured by the Letter of Credit, any decision to reduce the amount of the Letter of Credit shall be at the sole discretion of the Municipality.

(2) Drawing on Letter of Credit

If the Municipality determines that any of the Owner's obligations under this Easement Agreement that are secured by a letter of credit have been breached, the Municipality shall have the right to draw on the letter of credit from time to time, retain the funds withdrawn, and to apply such funds to perform obligations secured by the letter of credit. Any funds drawn from the letter of credit, except to the extent such funds are used to complete the work secured thereby or to restore unauthorized alterations, shall be returned to the Owner upon the completion by the Owner of the obligations secured by the letter of credit to the satisfaction of the Municipality.

2.7 Owner's Failure to Reconstruct

In the event that a request to demolish is not submitted or is refused pursuant to the provision of paragraph 2.4 and the Owner fails to submit plans and specifications pursuant to paragraph 2.5 which are acceptable to the Municipality, the Municipality may prepare its own set of plans, drawings and specifications. The Owner shall have ninety (90) days from receiving a copy of such plans and specifications to notify the Municipality in writing that it intends to replace, rebuild, restore or repair the Building in accordance with those plans and specifications.

If the Owner does not notify the Municipality within the aforementioned ninety (90) days, the Municipality may at its sole discretion prepare its own set of plans and specifications for the Building and may enter onto the Property and proceed with replacing, rebuilding, restoring or repairing the building so as to effect the complete restoration of the building. The Owner shall, in the event that that amount of the letter of credit posted in accordance with paragraph 2.6 not be sufficient, reimburse the Municipality for all expenses incurred by the Municipality in carrying out such work.

2.8 Building Maintenance

The Owner shall at all times maintain the Building in as good and as sound a state of repair as a prudent owner would normally do, so that no deterioration in the Building's condition and appearance shall take place, including, without limiting the generality of the foregoing, taking all reasonable measures to secure and protect the Building from vandalism, fire and damage from inclement weather.

2.9 Signs, Structures, Etc.

The Owner shall not erect or permit the erection on the Property or on the Building of any signs, awnings, television aerials or other objects of a similar nature without the prior written approval of the Municipality. Such approval may, in the sole discretion of the Municipality and for any reason which the Municipality considers necessary, be refused, provided that with respect to signage to identify the occupant(s) of the Building from

time to time, the approval of the Municipality shall not be unreasonably withheld, having regard to its use of the Building, the Designation Statement and the photographs contained in Schedule "B" attached hereto.

2.10 No Act of Waste

The Owner shall not commit or permit any act of waste on the Property. In respect to the subject lands, the Owner shall not, except with the prior written approval of the Municipality:

- (a) grant any easement or right-of-way which would adversely affect the easement hereby granted;
- (b) erect or remove or permit the erection or removal of any building, sign, fence or other structure of any type whatsoever;
- (c) allow the dumping of soil, rubbish, ashes, garbage, waste or other unsightly, hazardous or offensive materials of any type or description;
- (d) except for the maintenance of existing improvements, allow any changes in the general appearance or topography of the lands, including and without limiting the generality of the foregoing, the construction of drainage ditches, transmission towers and lines, and other similar undertakings as well as the excavation, dredging or removal of loam, gravel, soil, rock, sand or other materials;
- (e) allow the planting of trees, shrubs or other vegetation which would have the effect of (i) reducing the aesthetic value of the Building or the Property or (ii) causing any damage to the Building;
- (f) allow any activities, actions or uses detrimental or adverse to water conservation, erosion control and soil conservation; and
- (g) allow the removal, destruction or cutting of trees, shrubs or vegetation except as may be necessary for:
 - (i) the prevention or treatment of disease, or
 - (ii) other good husbandry practices.

2.11 Breach of Owner's Obligation

If the Municipality, in its sole discretion, is of the opinion that the Owner has neglected or refused to perform any of his or her obligations set out in this Easement Agreement, the Municipality may, in addition to any of its other legal or equitable remedies, serve on the Owner a notice setting out particulars of the breach and of the Municipality's estimated maximum costs of remedying the breach. The Owner shall have twenty-one (21) days from receipt of such notice to remedy the breach or make arrangements satisfactory to the Municipality for remedying the breach. If the Owner has not remedied the breach or made arrangements satisfactory to the Municipality for remedying the breach, or if the Owner does not carry out the said arrangements within a reasonable period of time, of which the Municipality shall be the sole and final judge, the Municipality may enter upon the Property and may carry out the Owner's obligations and the Owner shall reimburse the Municipality for all expenses incurred thereby. Such expenses incurred by the Municipality shall, until paid to it by the Owner, be a debt owed by the Municipality and recoverable by the Municipality by action in a court of law.

2.12 Waiver

The failure of the Municipality at any time to require performance by the Owner of any obligation under this Easement Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by the Municipality of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time.

2.13 Extension of Time

Time shall be of the essence of this Easement Agreement. Any time limits specified in this Easement Agreement may be extended with the consent in writing of both the Owner and the Municipality, but no such extension of time shall operate or be deemed to operate as an extension of any other time limit, and time shall be deemed to remain of the essence of this Easement Agreement notwithstanding any extension of any time limit.

2.14 Emergencies

Notwithstanding the provisions of paragraph 2.1, it is understood and agreed that the Owner may undertake such temporary measures in respect of the Building as are:

- (a) in keeping with the intentions of this Easement Agreement;
- (b) consistent with the conservation of the Building, and
- (c) reasonably necessary to deal with an emergency which puts the security or integrity of the Building or occupants of the Building at risk of damage, provided that the *Building Code Act, 1992*, S.O. 1992, c. 23, as amended, or re-enacted from time to time, is complied with.

3. USE OF PROPERTY

3.1 No Inconsistent Use

The Owner expressly reserves for itself, its representatives, heirs, successors and assigns the right to continue the use of the Property for all purposes not inconsistent with this Easement Agreement.

4. INSPECTION OF PROPERTY

4.1 Inspection by Municipality at all Reasonable Times

The Municipality or its representatives shall be permitted at all reasonable times to enter upon and inspect the Property and the Building upon prior written notice to the Owner of at least twenty-four (24) hours.

4.2 Emergency Inspection

Notwithstanding the requirement for notice in paragraph 4.1, should the Municipality, in its sole and absolute discretion, determine that there is an emergency situation at the Property or with the Building, the Municipality or its representatives shall be permitted to enter upon the Property or into the Building in order to carry out such inspections as may be necessary and warranted.

5. NOTICE OF EASEMENT

5.1 Plaque

The Owner agrees to allow the Municipality to erect a plaque on the Building, in a tasteful manner and at the Municipality's expense, indicating that the Municipality holds a conservation easement on the Property.

5.2 Publicity

The Owner agrees to allow the Municipality to publicize the existence of the easement in whatever manner the Municipality deems appropriate.

6. NOTICE

6.1 Addresses and Contacts of Parties

- (a) If any notice is required to be given by the Municipality to the Owner with respect to this Easement Agreement, such notice shall be mailed, delivered or sent by facsimile transmission to:

name, contact person, address and fax number

or such other address of which the Owner has notified the Clerk, in writing, and any such notice mailed, delivered or faxed shall be deemed good and sufficient notice under the terms of this Easement Agreement.

- (b) If any notice is required to be given by the Owner to the Municipality with respect to this Easement Agreement, such notice shall be mailed, delivered or sent by facsimile transmission to:

Susan Burt, Director, Culture Division, Community Services, City of Mississauga, 202 – 201 City Centre Drive, Mississauga, ON L5B 2T4, Fax: 905-615-3828

or such other address of which the Municipality has notified the Owner, in writing, and any such notice mailed, delivered or faxed shall be deemed good and sufficient notice under the terms of this Easement Agreement.

6.2 Service Where Postal Service is Interrupted

In the event of any interruption in the postal service, notice may be given to either party at its respective address as set out in paragraph 7.1, either in person or by special courier. The party receiving the notice shall indicate the receipt of it by signing a form of acknowledgment of receipt, and the notice shall be deemed to have been received on the date on which the form of acknowledgment of receipt was signed. In the event that either party refuses to sign an acknowledgment of receipt of the notice, the person delivering the notice may swear an affidavit of service, and the notice shall be presumed to have been received on the date of service as set out in such affidavit.

6.3 Notice in Subsequent Instruments

Notice of these covenants, easements and restrictions shall be inserted by the Owner in any subsequent deed or other legal instrument by which they divest themselves either of the fee simple title to or of their possessory interest in the Property or the Building.

6.4 Notice to Municipality

The Owner shall immediately notify the Municipality in the event that it divests itself of the fee simple title to or of its possessory interest in the Property or the Building.

7. ENTIRE AGREEMENT

7.1 No Extraneous Agreements Between the Parties

This written Easement Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein, and no understandings or agreements, verbal or otherwise, exist between the parties except as herein expressly set out.

7.2 Amendment and Modification Only by Written Agreement

No amendment, supplement, waiver or consent provided for by the provisions of this Easement Agreement shall be effective unless in writing and signed by the party against whom enforcement of the amendment, supplement, waiver or consent is sought.

8. INTERPRETATION

- (a) The part numbers and headings, subheadings and section, subsection, clause and paragraph numbers are inserted for convenience of reference only and shall not affect the construction or interpretation of this Easement Agreement.
- (b) This Easement Agreement shall be construed with all changes in number and gender as may be required by the context.
- (c) Every provision of this Easement Agreement by which the Owner is obligated in any way shall be deemed to include the words "at the expense of the Owner" unless the context otherwise requires.
- (d) References herein to any statute or any provision thereof include such statute or provision thereof as amended, revised, re-enacted and/or consolidated from time to time and any successor statute thereto.
- (e) All obligations herein contained, although not expressed to be covenants, shall be deemed to be covenants.

- (f) Whenever a statement or provision in this Easement Agreement is followed by words denoting inclusion or example and then a list of or reference to specific items, such list or reference shall not be read so as to limit the generality of that statement or provision, even if words such as "without limiting the generality of the foregoing" do not precede such list or reference.

8.2 Proper Covenants Not to Terminate

The Owner and the Municipality agree that all covenants, easements and restrictions contained in this Easement Agreement shall be severable, and that should any covenant, easement or restriction in this Easement Agreement be declared invalid or unenforceable, the remaining covenants, easements and restrictions shall not terminate thereby.

8.3 Covenants to Run with the Property

The covenants, easements and restrictions set out in this Easement Agreement shall run with the Property and shall enure to the benefit of and be binding upon the Owner and upon the Municipality and their respective heirs, executors, administrators, successors and assigns as the case may be.

8.4 Governing Law

This Easement Agreement shall be interpreted under and is governed by the laws of the Province of Ontario.

9. TERMINATION

Notwithstanding any other provision of this agreement, the term of this Easement Agreement shall end on the earliest to occur of the date of receipt of approval to demolish pursuant to paragraph 2.4.

10. GENERAL

10.2 Registration of Agreement

The Owner consents to the registration of this Easement Agreement and any schedules attached hereto on title to the lands and agrees that such registration shall be at the instance of the Municipality and at its sole and absolute discretion. The Owner *OR* Municipality covenants and agrees to pay all costs associated with the preparation and registration of this Easement Agreement, as well as all other costs incurred by the Municipality as a result of the registration of any other documents pertaining to this Easement Agreement, including but not limited to, any amendment thereto.

10.2 Postponements

The Owner hereby agrees to procure and provide to the Municipality any postponement agreements which the Municipality considers necessary to ensure that this Easement Agreement shall have a priority over any other interest in the Property.

11. SCHEDULES

The following schedules are attached hereto and form part of this Easement Agreement:

"SCHEDULE A" being a legal description of the Property.

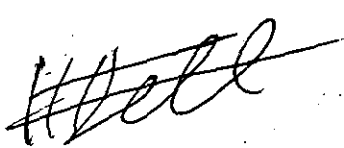
"SCHEDULE B" being photographs of the Building.

"SCHEDULE C" being drawings depicting alterations or development of the Building.

IT IS HEREBY DECLARED THAT this Easement Agreement and the covenants, provisions, conditions and schedules herein contained shall be binding upon the parties hereto, their successors and assigns.

IN WITNESS WHEREOF the Parties hereto have hereunto affixed their corporate seals
duly attested to by their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED



)
) Name of Owner
) Baljit Mann c/s
) Name: **BALJIT MANN**
) Title: **PRESIDENT**
) ☒ I have authority to bind the corporation
)
)
) **The Corporation of the City of**
) **Mississauga**
)
)
) _____
) **Commissioner**
)
)
) _____
) **City Clerk**
) Authorized through By-Law No. _____

SCHEDULE "A"
LEGAL DESCRIPTION

CON 5 WHS PT LOT 6
2271 & 2285 BRITANNIA RD. W. B7

SCHEDULE "B"
PHOTOGRAPHS



SCHEDULE "C"
PLANS, DRAWINGS AND SPECIFICATIONS

The current or existing use(s) of the Lands are described in Schedule "C".

- DOWLING HOUSE Moving Plan BM
MAY 14, 2012, revised November, 2012
- CONSERVATION PLAN - JUNE 25, 2011 BM

Dowling House Moving Plan

2285 BRITANNIA ROAD WEST, MISSISSAUGA

PREPARED BY CARICARI LEE ARCHITECTS

SITE PLAN #06/222

OWNER: JARISCO FINANCIAL INC.

MAY 14TH, 2012

Revised {November, 2012}

Contents

Planning Rational

Appendix 'A'	Site Plan
Appendix 'B'	Heritage House Permit Drawings
Appendix 'C'	Image 1 <i>Example of Building lifted off existing foundations</i>
Appendix 'D'	Image 2 & 3 <i>Example of Buildings on dollies being moved on site</i>
Appendix 'E'	Image 4 <i>Example of Building being placed on new foundations</i>
Appendix 'F'	Letter from Laurie McCullough Building Moving
Appendix 'G'	Letter from Engineer (relocation)
Appendix 'H'	Commitment to General Review by Engineer (relocation) Re-designation Letter
Appendix 'I'	Letter From Structural Engineer (at final location)
Appendix 'J'	Letter from Structural Engineer (at final location) Re: new foundations
Appendix 'K'	Letter from Owner - Re: By-law
Appendix 'L'	CV Heritage, Joseph Caricari, Architect
Appendix 'M'	CV, Chris Mace, Contractor
Appendix 'N'	Scope of Work/Construction Schedule
Appendix 'O'	Landscaping Plan
Appendix 'P'	Window Details

Planning Rational

The Dowling House is a Heritage designated building located at 2285 Britannia Road West, Mississauga. The heritage designated portion of the building is being relocated on site approximately 60m from where it originally was constructed to the south corner of the site along Britannia Road West. The front entrance of the building will remain facing the street. (refer to appendix 'A' for the moving site plan', appendix 'B' for the Building Permit drawings, & appendix 'K' for a letter from the owner regarding the By-law)

Laurie McCullough Building Moving company has been contracted to move the Dowling residence to its planned new location on the site. Laurie McCullough Building Moving company has over 20 years of moving heritage designated building in the GTA and has won numerous awards. They are leaders in the industry and use Seberras Professional Services as their Structural Engineer responsible for all aspects and processes during the relocation. David Seberras P.Eng., has been on site numerous times already to review and plan the relocation (refer to appendix 'G' & 'H').

As of October 26th, 2012, the Heritage house has been placed on dollies and has been moved along the path, close to the final location.

Soscia Engineering Ltd. is the Structural Engineer retained by the client for all aspects of the building in the new location. They have reviewed and approved the new foundations for the Dowling House. They will also review final relocation. (refer to appendix 'I' & appendix 'J')

The moving plan for the Dowling residence is a standard procedure and encompasses a few phases. The first phase is preparing the exiting house's structural integrity to allow for stresses on the building during the lifting and moving of the building. More specifically, bracing and shoring the damaged corner, floors and walls.

The site is prepared along the path of travel and appropriately compacted to allow for the weight of the house to minimize torsion and stresses during the move.

The new foundations have been poured and inspected with approval from Soscia Engineering Limited in concert with Laurie McCullough Building Moving and the concrete is cured ready for the placement of the Heritage Building.

Hydro was disconnected from the building on May 17th, 2012 by Enersource.

The lifting of the building is done through a proven system of supports and beams and then lifted using jacks (refer to appendix 'F' and sample image 1 appendix 'C'). The building is then placed on dollies and moved along the path of travel. (refer to

sample images 2 & 3 appendix 'D') Then once at the final location, a system is used to remove the dollies and bolsters and the building is rolled over and placed on the new foundations (refer to sample image 4 appendix 'E'). The building is then mechanically fastened to the new concrete foundations. Diligent inspections before, during and after the move are recorded for reports.

Record Documents

Record drawings and documentation of the house will commence once the house is placed on its foundation at the new location and has been properly secure and safe for the required inspection and survey of the existing conditions and details. The report will be submitted to the Heritage Department as per the requirements of the Conservation Plan prepared by Mark Hall Corporation in item 2, section *5.0 Medium Term Conservation Plan* (page 9).

Conservation Plan

Work to the Heritage House will follow the Conservation Plan as outlined by M.W.Hall Corporation in conjunction with the construction documents prepared by Soscia Engineering Ltd. Details will include, but will not be limited to, the restoration and replication of the windows, doors and exterior trim work. The contractor is required to construct in accordance with these documents. (Refer to Appendix P for window schedule and replacement windows Manufacturer's details) (Note: window casing profile to be determined after Record Documentation is completed)

Barrier Free Access

The building and site landscaping can accommodate barrier free access to the back of the Heritage House close to the accessible parking space. The rear entrance door is not being revised to have an accessible door at this time. However, once a tenant for the Heritage House is secured, revisions to make required changes to allow for a barrier free facility may be requested and Heritage approvals will be mandated.

Maintenance Plan

Maintenance of the Heritage House will be completed and financed through the Condominium Corporation. A copy of all Heritage documents including this moving plan will be incorporated into the Condominium Corporation documents.

To insure the building is well maintained and retains a high level of appearance, an annual inspection of building conditions will be completed by a licensed architect and/or engineer and will include all items pertaining to the building envelope. These will include, but not be limited to, prefinished metal flashing, eave troughs &

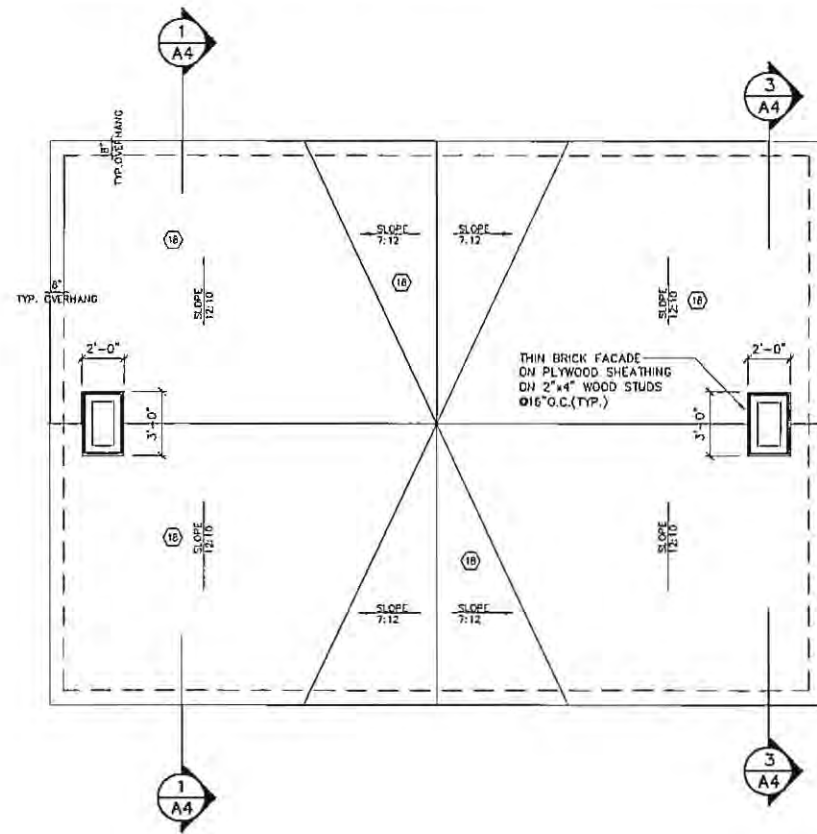
downspouts, roof shingles, masonry veneer including efflorescence, and all wood work and wood finished. Specifications of the finishes and maintenance will be prepared by the Contractor and issued to the Owner at time of occupancy. A thorough walk-through occurs at this time where all maintenance documents are turned over to the Owner for Condominium documentation.

A handwritten signature in red ink, appearing to read 'Giuseppe Caricari', with a stylized flourish extending to the right.

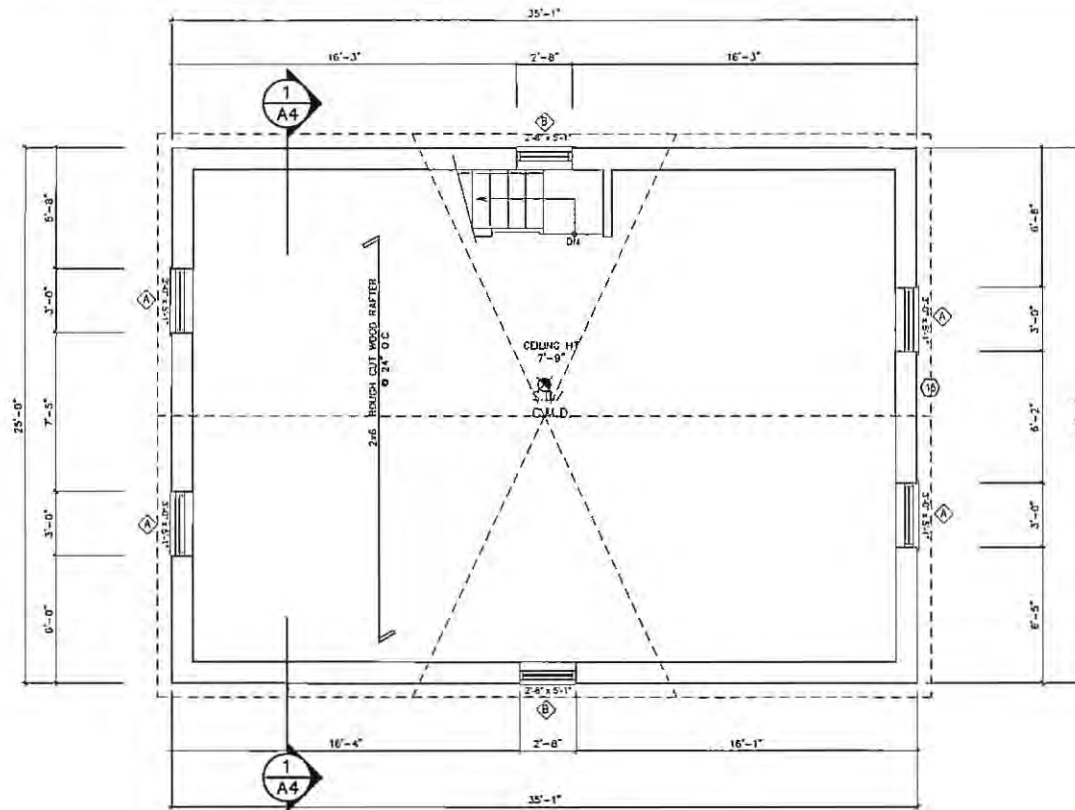
Giuseppe Caricari, OAA
Partner
Caricari lee Architects Inc.

Appendix 'A'

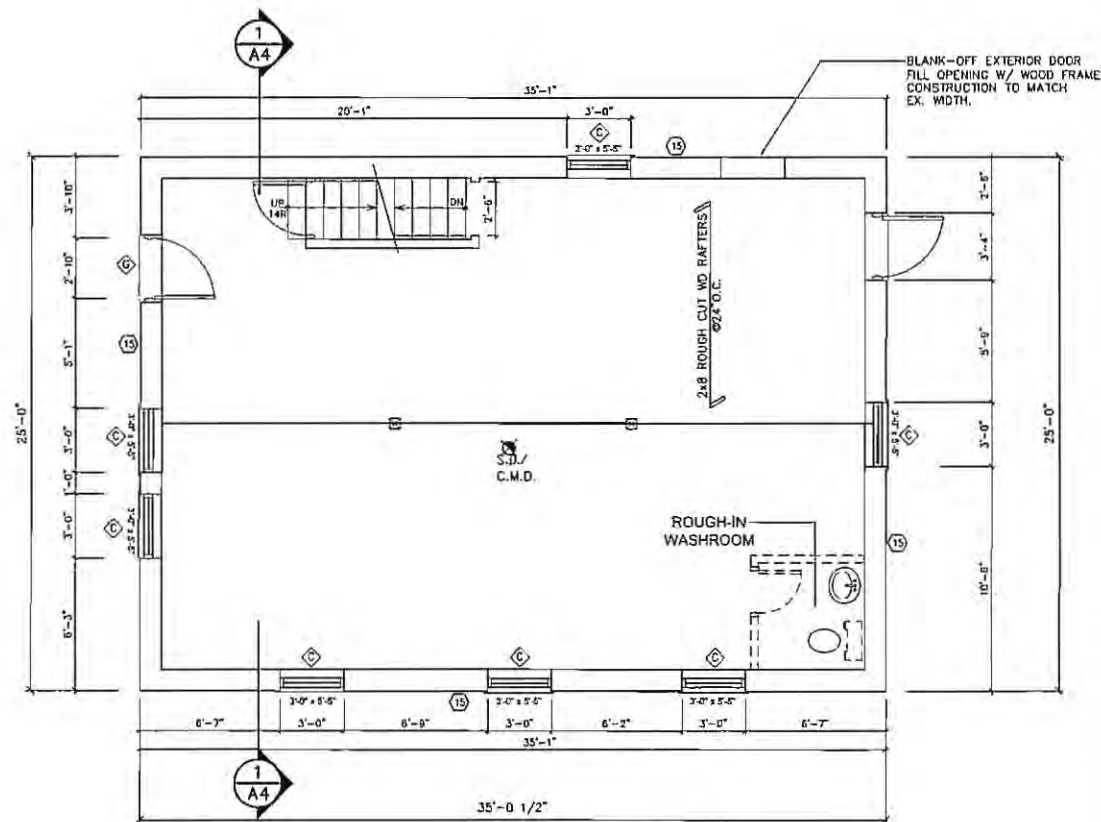
Appendix 'B'



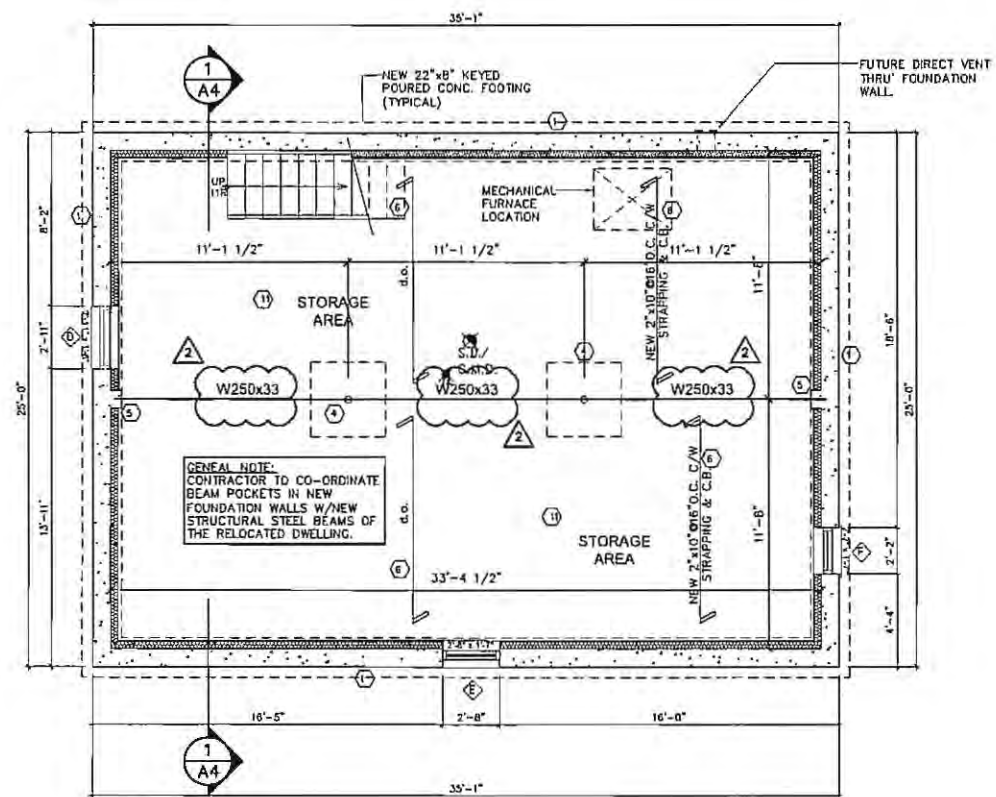
4 ROOF PLAN
A-2 SCALE: 1/4"=1'-0"



3 SECOND FLOOR PLAN
A-2 SCALE: 1/4"=1'-0"



2 GROUND FLOOR PLAN
A-2 SCALE: 1/4"=1'-0"



1 BASEMENT FLOOR PLAN
A-2 SCALE: 1/4"=1'-0"

Contractor must check and verify all dimensions and be responsible for any discrepancies to the Engineer before commencing work. Prints shall not be used for construction until signed "Approved For Construction" by the Engineer. Prints are not to be scaled. All drawings, prints and specifications are the property of the Engineer and shall be returned to him on completion of the work. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and regulatory regulations of the City of Mississauga Building Department. These notes are to be read in conjunction with all drawings and specifications.

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect before proceeding.

No.	Date:	Revision:	D'wn:	Ch'd:
1	FEB-12	ISSUED FOR PERMIT	N.R.	S.S.

LEGEND

- ① WOOD SIDING
- ③ WOOD WINDOWS
- ④ 1"x6" WOOD FASCIA
- ⑤ ASPHALT SHINGLE ROOF
- ⑥ CONC. DECK
- ⑦ 2"x4" WOOD TRIM
- ⑧ WINDOW WELL
- ⑨ NOT USED
- ⑩ WOOD SILL - TYP
- ⑪ WOOD POST
- ⑫ WOOD DOOR

Registered Firm: Soscia Engineering Ltd.
Firm BCIN: 29353

I have reviewed and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Ontario Building Code. I am qualified, and the firm is registered, in the appropriate classes / categories.

Designer: Sandra Soscia, P. Eng.
Designer BCIN: 19599



SOSCIA ENGINEERING LTD.

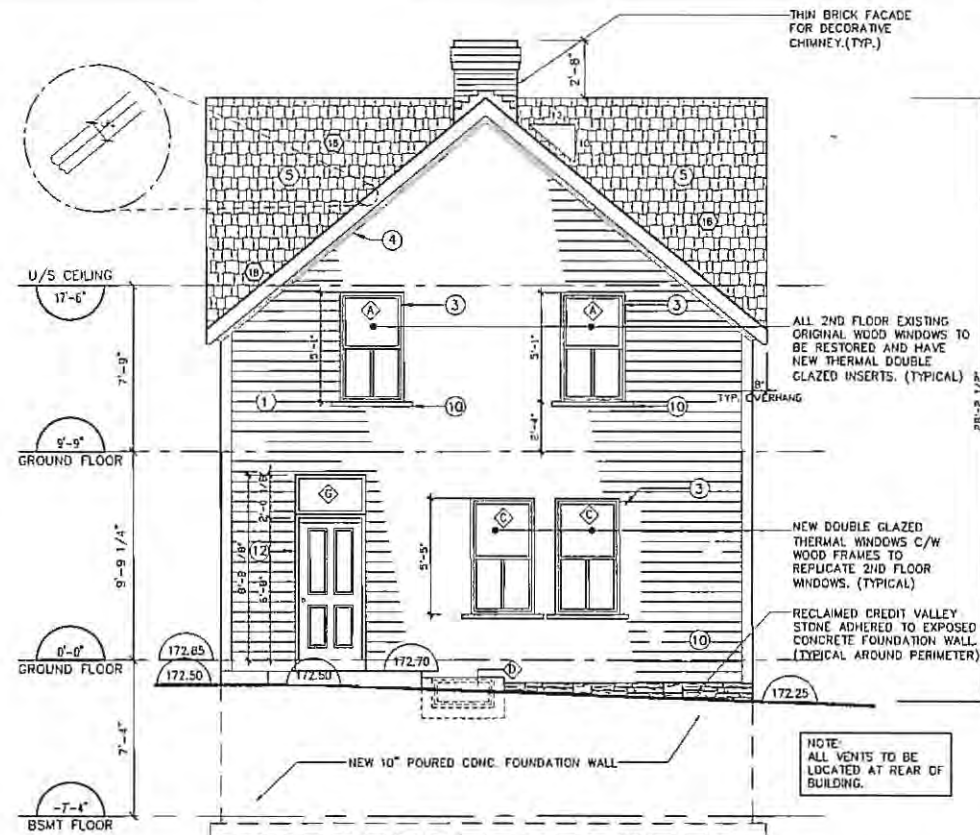
27 Roylec Road
Unit 1, Suite 101
Vaughan, Ontario
L4L 8E3
Tel: (905) 856-7737
Fax: (905) 856-7338
Web Site: www.sosciaeng.ca

Project: INTERIOR RESTORATIONS & RELOCATION FOR:
HERITAGE HOUSE

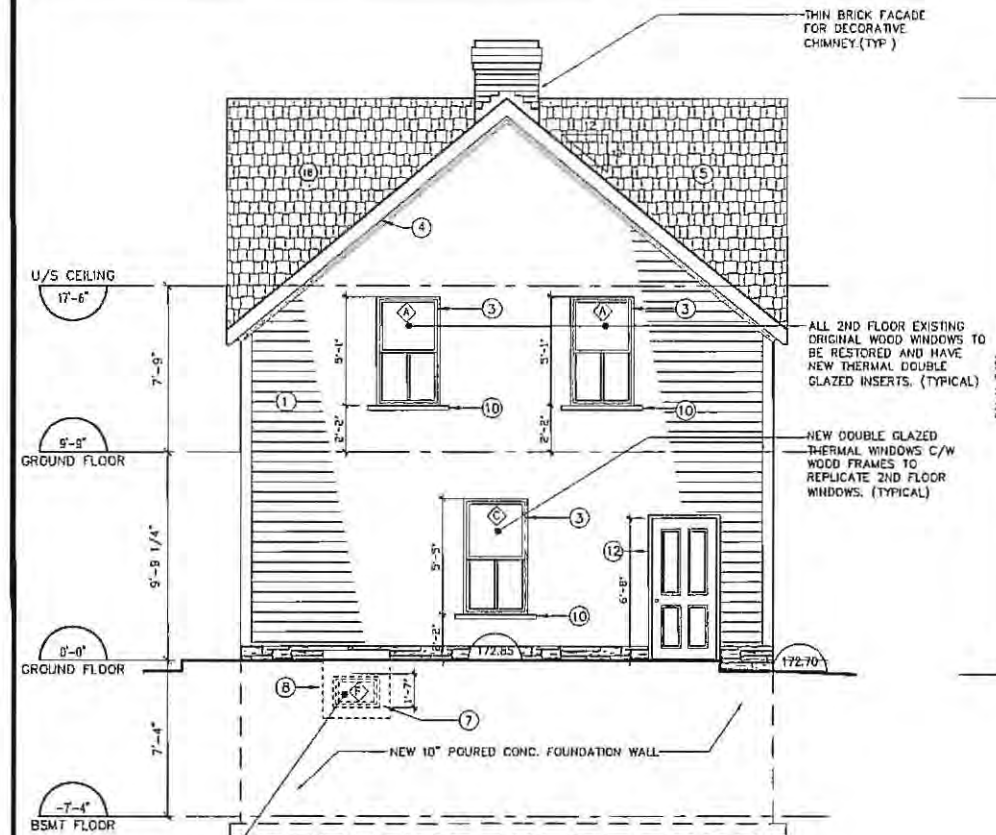
2285 BRITANNIA ROAD WEST
MISSISSAUGA, ON.

Sheet Title: FLOOR PLANS
Job No: 12-019

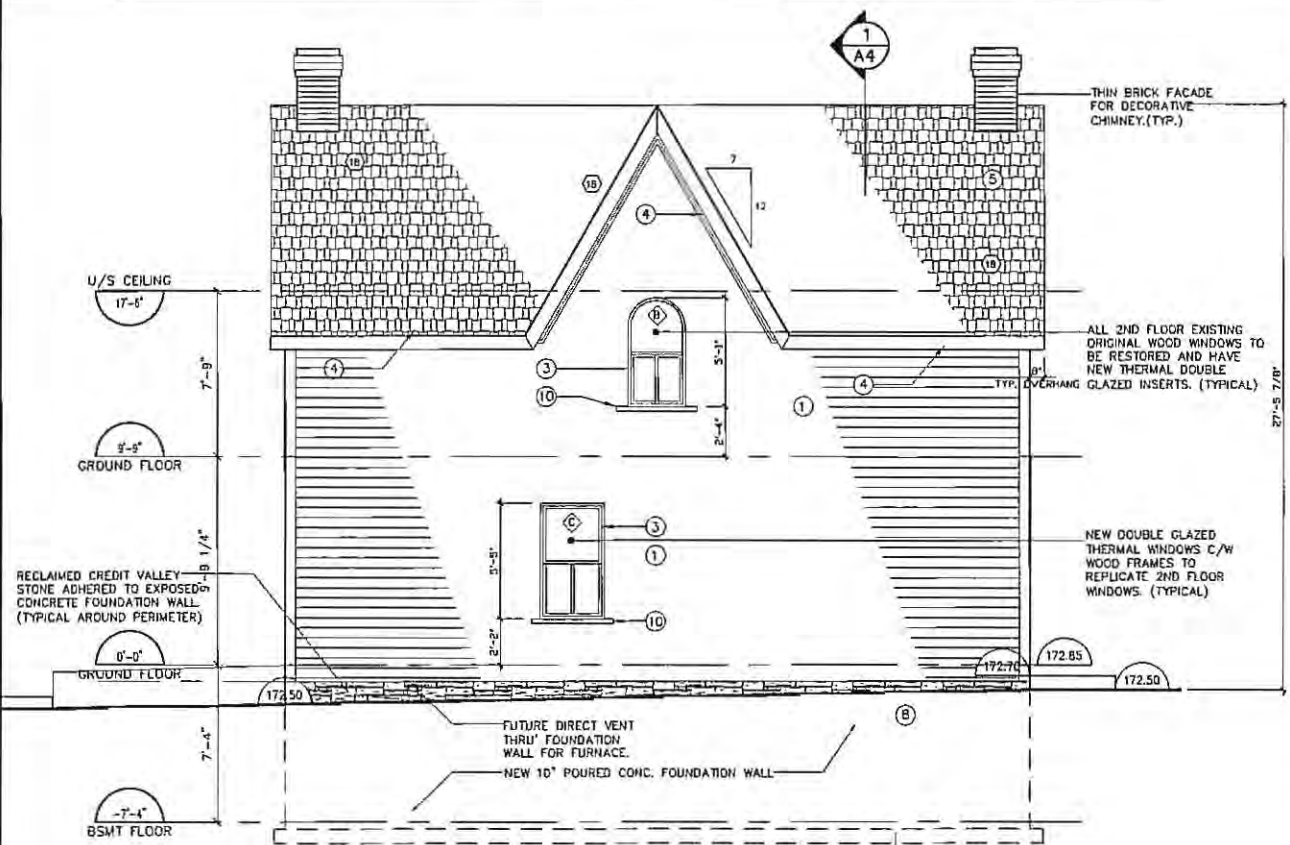
Scale: NOTED
Date: JAN 2011
Drawn: N.R.
Checked: S.S.
DWG. NO: A2 of 4



4 EAST ELEVATION
A-3 SCALE: 1/4"=1'-0"



3 WEST ELEVATION
A-3 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
A-3 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION
A-3 SCALE: 1/4"=1'-0"

Contractor must check and verify all dimensions and be responsible for same, reporting any discrepancies to the Engineer before commencing work. Prints shall not be used for construction until signed 'Approved for Construction' by the Engineer. Prints are not to be scaled. All drawings, prints and specifications are the property of the Engineer and shall be returned to him on completion of the work. All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and regulatory regulations of the City of Mississauga Building Department. These notes are to be read in conjunction with all drawings and specifications.

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect before proceeding.

No.	Date	Revision	D'wn	Ch'd
1.	FEBRU-12	ISSUED FOR PERMIT	N.R.	S.S.

- LEGEND**
- ① WOOD SIDING
 - ③ WOOD WINDOWS
 - ④ 1"x6" WOOD FASCIA
 - ⑤ ASPHALT SHINGLE ROOF
 - ⑥ CONC. DECK
 - ⑦ 2"x4" WOOD TRIM
 - ⑧ WINDOW WELL
 - ⑨ NOT USED
 - ⑩ WOOD SILL - TYP
 - ⑪ WOOD POST
 - ⑫ WOOD DOOR

Registered Firm: Soscia Engineering Ltd.
Firm BCIN: 29353

I have reviewed and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Ontario Building Code. I am qualified, and the firm is registered, in the appropriate classes / categories.

Designer: Sandro Soscia, P. Eng.
Designer BCIN: 19599



SOSCIA ENGINEERING LTD.

27 Royce Road
Unit 1, Suite 101,
Vaughan, Ontario,
L4L 8E3

Tel: (905) 856-7737
Fax: (905) 856-7338
Web Site: www.sosciaeng.ca

Project: **INTERIOR RESTORATIONS & RELOCATION FOR: HERITAGE HOUSE**

2285 BRITANNIA ROAD WEST
MISSISSAUGA, ON.

Sheet Title: **EXTERIOR ELEVATIONS**

Scale: NOTED Date: JAN 2011 Drawn: N.R. Checked: S.S.

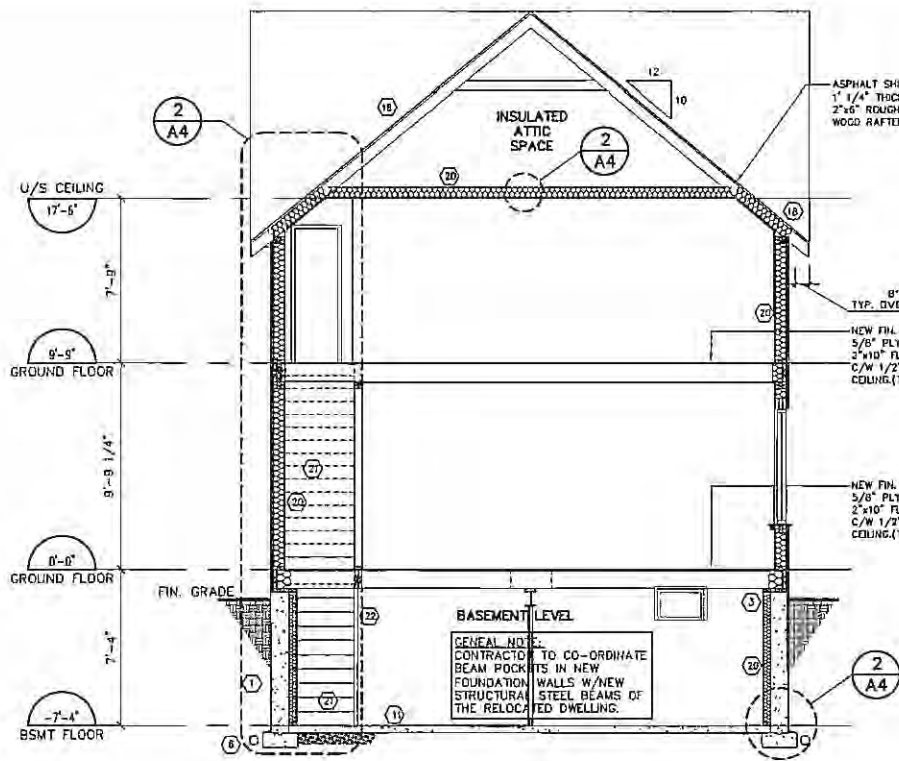
Job No. 12-019 Dwg. No. A3

GENERAL LEGEND:

- FOOTINGS-FOUNDATION WALLS - SEE SEC 9.1.1.1 (4)**
20"x8" CONC. KEYED FOOTING ON UNDISTURBED SOIL. BACKFILL WITH MIN. BEARING CAPACITY OF 1500 PSI. 10" BLOCK OR 10" POURED CONC. FOUNDATION WALL. EDGEMOULD W/ 15# BARS VERTICALLY @ 16" O.C. AND 10# BARS HORIZONTALLY @ 12" O.C. TO MAX. 7'-0" BASE. FLOOR TO FIN. GRADE. 20#PA CONC. W/ 3-7% AIR ENTRAINMENT TO MIN. 6" ABOVE FIN. GRADE. REFER TO ENGINEER'S DETAILS. BRIDGEMOULD DAMPPROOFING AND DRAINAGE LAYER. 4" DIA. WEEDING FLE COVERED WITH MIN. 6" CRUSHED STONE.
- STEEL COLUMNS AND FOOTINGS - SEE SEC 9.1.1.2**
3 1/2" DIA. STEEL COLUMN MIN. 3/16" THICK. W/ 6"x6"x3/8" ST. PLATE TOP AND BOTTOM ON 42"x42"x10" CONC. FOOTING PAD ON UNDISTURBED SOIL. COLUMN TO BE PERMANENTLY TIED TOP AND BOTTOM. (ADJUSTABLE COUPLING SHOULD ONLY BE USED FOR LOADS LESS THAN 3000 LBS.)
- BEAM POCKETS & SUPPORT - SEE SEC 9.2.1.7**
PROVIDE BEAM POCKET WITH MIN. 3 1/2" OF BEARING OR 8"x8" CONC. MB WALLS.

- SURFLOOR, STRAPPING AND BRIDGEMOULD - SEE SEC 9.2.1.2.4 (2) & (3)**
MIN. 5/8" T & G FLY SUBFLOOR ON WOOD FLOOR JOISTS (SEE FLOORPLAN OR ENGINEERING FOR SIZING AND SPACING). STRAPPING MIN. 1" x 3" NAIL TO UNDERSIDE OF FLOOR JOISTS. LOCATED NOT MORE THAN 6"-11" O.C. FROM EACH SUPPORT OR OTHER JOISTS (AS PER MANUFACTURER'S SPECS). (STRAPPING CAN BE DILETTED IF DRYWALL APPLIED TO CEILING. JOISTS BRIDGING TO BE MIN. 2"x2" CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'-11" O.C. (SEE SEC 9.2.1.4 & 9.2.1.6 FOR - HARDWOOD & CERAMIC APPLICATIONS).
- BASEMENT CONCRETE SLAB - SEE SEC 9.1.1.2.4 (2)**
3" MIN. THICK CONC. SLAB (20#PA CONC.) ON 2" RIGID INSULATION (OPTIONAL). ON 2" CRUSHED STONE WITH DAMPPROOFING BELOW SLAB ON UNDISTURBED SOIL.

- SOING EXTERIOR WALL - SEE SEC 9.2.1.3.2**
EXISTING WD. SOING FINISH ON NEW BUILDING PAPER OR TYNEX. LAYERS TO OVERLAP 6". 5/8" EXTERIOR SHEATHING (CONCRETE GOLD OR EDGEMOULD) 1/2" OR 1" RIGID INSUL. OPT. 2"x6" STUDS @ 16" O.C. (12" O.C. FOR 3 STORY WALLS). DBL. TOP PLATE AND SINGLE BOTTOM PLATE. R 20 BATT INSULATION. APPROVED VAPOUR BARRIER CONTINUOUS. AIR BARRIER - 1/2" DRYWALL TAPE AND SANDED. (STUCK FINISH TO BE APPLIED AS PER MANUF. SPECS).
- ROOF DISTRIBUTION (CONVENTIONAL) - SEE SEC 9.2.2**
210 LB ASPHALT/FLTEGLASS SHINGLES ON 3/8" ROOF PLY SHEATHING FASTENED USING H CLIPS. STAGGERED JOISTS ON 2"x8" BUTTERS @ 16" O.C. 2"x10" ROOF BOARD W/ 2"x4" COLLAR TIES AT MIDSPAN. 2"x6" CEILING JOISTS @ 16" O.C. FOR MAX. 14'-0" SPAN. REFER TO TRUSS PLANS FOR CONVENTIONAL FRAMED AREAS. DAVIS PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND 12" BEYOND INNER FACE OF EXT. WALL. ALUMINUM SOFFIT, TYPICAL. CRISTROUGHER FNL AND VENTED SOFFIT - PROVIDE SOFFIT VENTILATION AT EAVES. ATIC VENTILATION TO BE 1:300 OF INSULATED CEILING.



1 BASEMENT FLOOR PLAN
A-4 SCALE: 1/4" = 1'-0"

NOTES:

- INSULATION VALUES - SEE SEC 9.1.1.1**
CEILING BELOW ATTIC OR ROOF SPACE
ROOF ASSEMBLY W/O ATTIC OR ROOF SPACE
WALL OTHER THAN FOUNDATION WALL
FOUNDATION WALL EXCLUDING HEATED SPACE
FLOOR OTHER THAN SLAB ON GRADE
- NOTES**
- PROVIDE CONT. APPROVED VAPOUR BARRIER ON WARM SIDE OF WALL/FLOOR
- FOUNDATION INSULATION SHALL EXTEND TO WITHIN 15" OF BASEMENT SLAB
- EXTERIOR / INTERIOR STAIRS - SEE SEC 9.1.1.2.4 (2)**
MAX. RISE = 7 7/8"
MIN. RISE = 4 1/8"
MIN. RUN = 11 1/4"
MIN. TREAD WITH MAX. NOSING = 11 1/4"
MAX. HEADROOM = 8'-0"
- CEILING SLAB**
MAX. AVERAGE RUN = 7 7/8"
MIN. RUN = 5 7/8"
- STAR / LANDING RAILINGS - SEE SEC 9.1.1.2.4 (2)**
INTERIOR - WOOD HANDRAIL WITH WOOD OR METAL. POCKETS SPACED AT MAX. 4' O.C.
R28 THE HANDRAIL BRACKETS SHALL BE FIRMLY SECURED TO WOOD FRAMING.
HANDRAIL MAX. HEIGHT = 36"
HANDRAIL MIN. HEIGHT = 32"
MIN. GUARD HEIGHT MIN. = 35"
EXT. GUARD HEIGHT MIN. = 42"
THE HEIGHT OF RAILING TO BE MEASURED VERT. FROM OUTSIDE EDGE OF STAIR NOSING.
- EXTERIOR - METAL/VINYL HANDRAIL WITH METAL/VINYL POCKETS SPACED MAX. 4' O.C.**

FLASHING - SEE SEC 9.2.1.3
FLASHING SHALL BE INSTALLED AT EVERY HORIZONTAL JUNCTION BETWEEN 2 DIFFERENT EXTERIOR FINISHES, EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH. EXCEPT AS PROVIDED IN SENTENCE, FLASHING SHALL BE APPLIED OVER EXTERIOR WALL OPENINGS WHERE THE VERTICAL DISTANCE FROM THE BOTTOM OF THE DAVE TO THE TOP OF THE TRIM IS MORE THAN ONE-QUARTER OF THE HORIZONTAL OVERHANG OF THE DAVE. FLASHING SHALL BE INSTALLED SO THAT IT EXTENDS UPWARDS NOT LESS THAN 36mm (1 1/2") BEYOND THE SHEATHING PAPER AND FORMS A CRIP ON THE OUTSIDE EDGE. WHERE A WINDOW OR EXTERIOR DOOR IS DESIGNED TO BE INSTALLED WITHOUT HEAD FLASHING, THE EXTERIOR FLANGE OF THE WINDOW OR DOOR FRAME SHALL BE BEDDED INTO A NON-HARDENING TYPE CAULKING MATERIAL AND THE EXTERIOR FLANGE SCREWED DOWN.

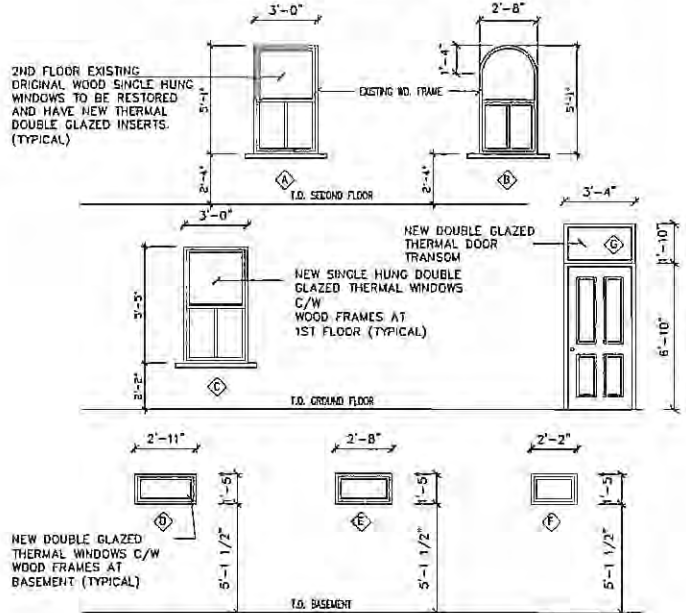
GENERAL NOTES
ALL CONSTRUCTION TO CONFORM TO THE CURRENT ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION.
DRAWINGS SHOULD NOT BE SCALED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY INCONGRUENCIES BEFORE PROCEEDING WITH ANY WORK.
FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR INCUR ANY COST TO THE DESIGNER.

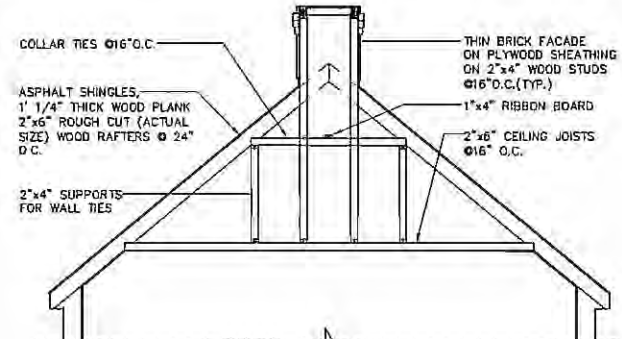
WINDOW REQUIREMENTS - SEE SEC 9.1.1.3.1.6
AT LEAST ONE BEDROOM WINDOW ON EACH FLOOR IS TO HAVE A MIN. 5.7% SOFTLY UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH A MIN. CLEAR WIDTH OF 1'-3" - THE SILL TO BE MAX. 3'-3" FROM FLOOR.

WHERE WINDOWS ARE WITHIN 1'-4" ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" A GARD IS TO BE PROVIDED.

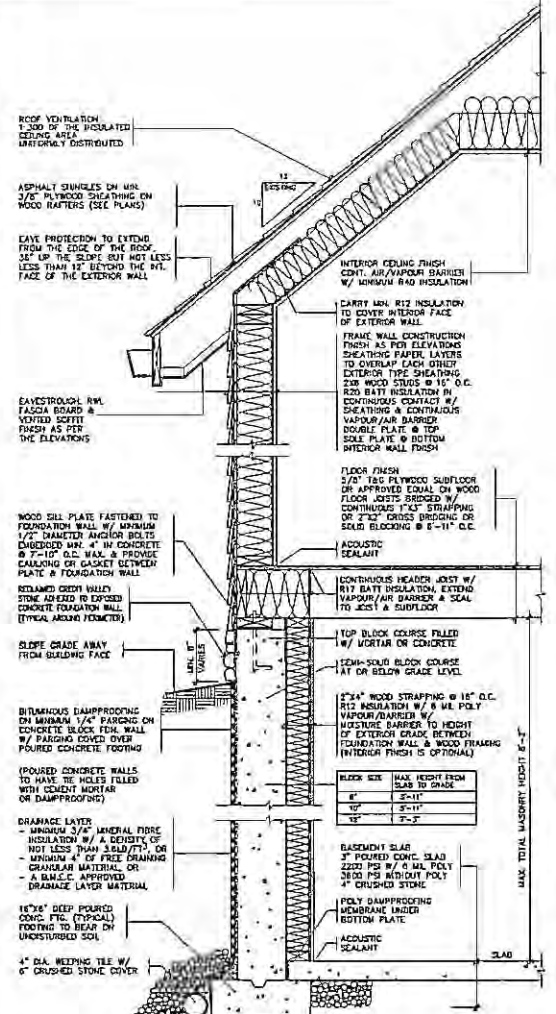
WINDOW SCHEDULE				
WIN. #	IMPERIAL SIZE	LOCATION	MATERIAL	FINISH
A	3'-0" x 5'-1" (EXISTING)	2ND FLOOR	WD	PANT
B	2'-8" x 5'-1" (EXISTING)	2ND FLOOR	WD	PANT
C	3'-0" x 5'-1" (NEW)	1ST FLOOR	WD	PANT
D	2'-11" x 1'-6" (NEW)	BASEMENT	WD	PANT
E	2'-8" x 1'-7" (NEW)	BASEMENT	WD	PANT
F	2'-2" x 1'-5" (NEW)	BASEMENT	WD	PANT
G	1'-10" x 3'-4" (NEW)	1ST FLOOR DOOR TRANSOM	WD	PANT



3 WINDOW SCHEDULE & TYPE
A-4 SCALE: N.T.S.



3 CHIMNEY DETAIL
A-4 SCALE: 1/4" = 1'-0"



2 TYPICAL WALL FRAME SECTION
A-4 SCALE: N.T.S.

Contractor must check and verify all dimensions and be responsible for any discrepancies to the Engineer before commencing work.
Prints shall not be used for construction until signed 'Approved for Construction' by the Engineer.
Prints are not to be scaled.
All drawings, prints and specifications are the property of the Engineer and shall be returned to him on completion of the work.
All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and regulatory regulations of the City of Mississauga Building Department.
These notes are to be read in conjunction with all drawings and specifications.

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect before proceeding.

No.	Date	Revision	D'wn	Ch'd
1.	FEB-12	ISSUED FOR PERMIT	NR	SS

Registered Firm: Soscia Engineering Ltd.
Firm BCIN: 29353

I have reviewed and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Ontario Building Code. I am qualified, and the firm is registered, in the appropriate classes / categories.

Designer: Sandro Soscia, P. Eng.
Designer BCIN: 19599



SOSCIA ENGINEERING LTD.

27 Baylre Road
Unit 1, Suite 101.
Vaughan, Ontario,
L4L 8E3

Tel: (905) 856-7737
Fax: (905) 856-7338
Web Site: www.sosciaeng.ca

Project:
INTERIOR RESTORATIONS & RELOCATION FOR: HERITAGE HOUSE

2285 BRITANNIA ROAD WEST
MISSISSAUGA, ON.

Sheet 110:
CROSS-SECTION, GENERAL NOTES

Scale: NOTED Date: JAN 2011 D'wg. no. 12-019
Drawn: H.R. Checked: SS A4 of 4

Appendix 'C'



Image 1

Appendix 'D'

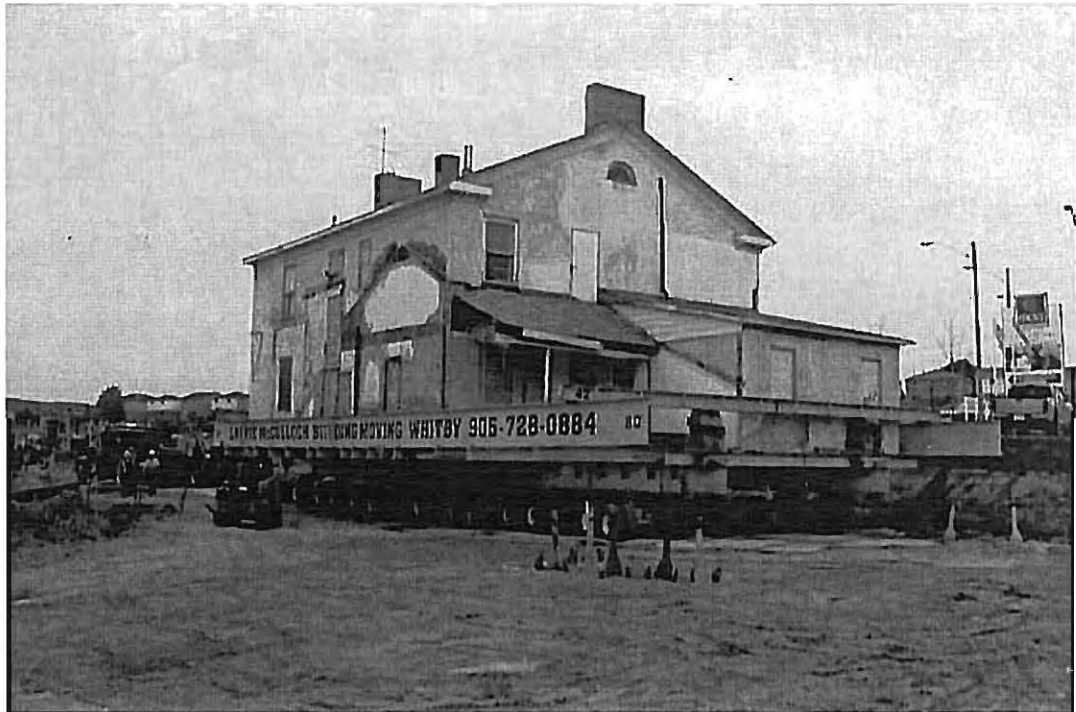


image 2

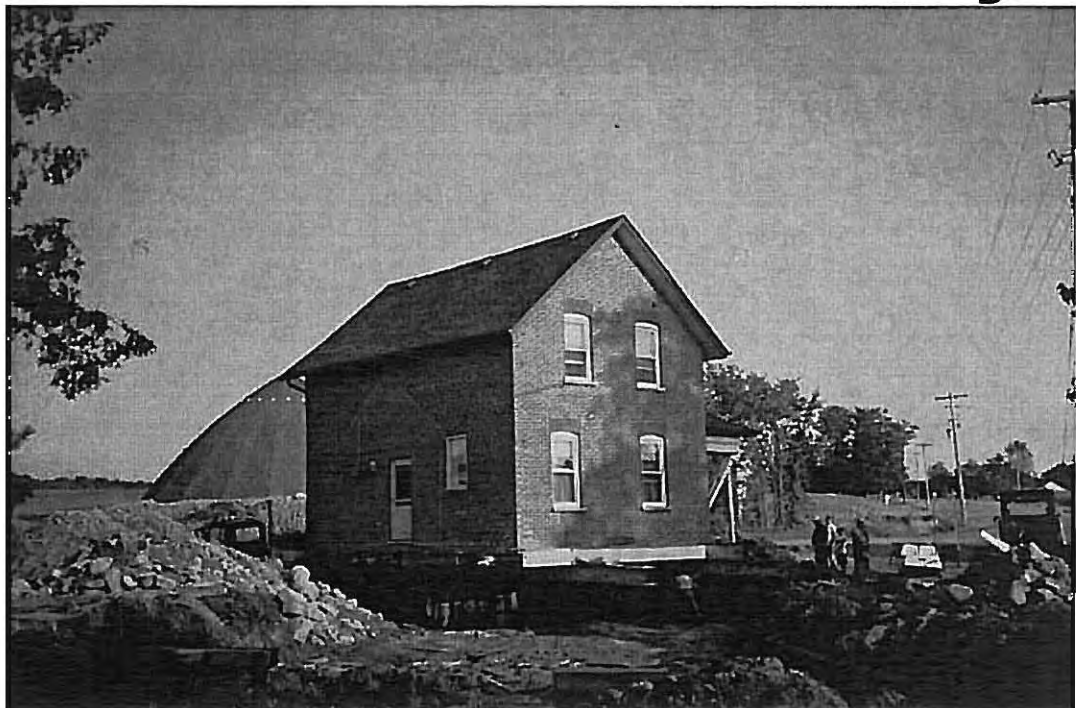


Image 3

Appendix 'E'

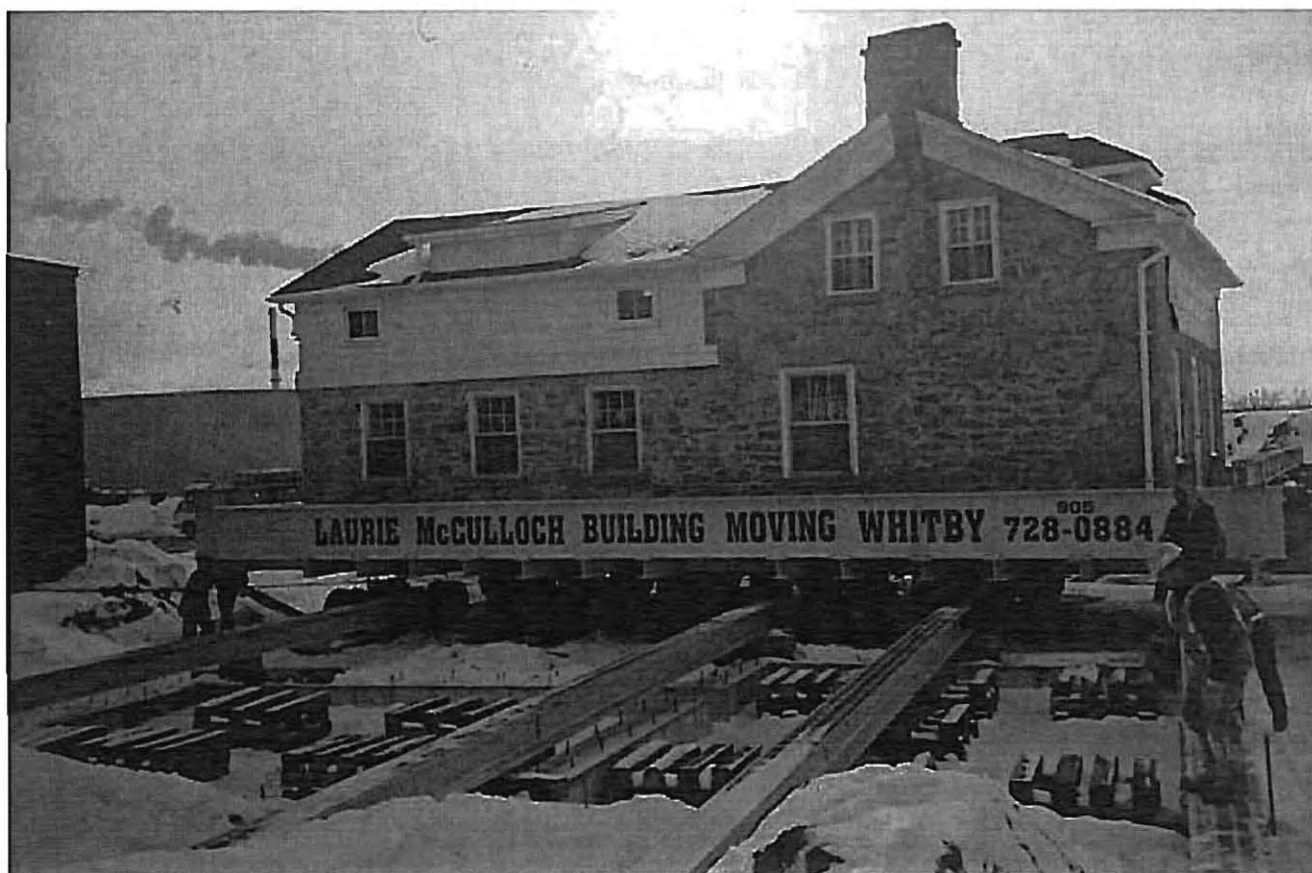


Image 4

Appendix 'F'

Laurie McCulloch Building Moving

960 Taunton Rd E
Whitby, ON L1R 3L8
Phone: (905) 728-0884
Fax: (905) 743-0528
mccullochmovers@aol.com

April 23, 2012

Greg Dell & Associates
3464 Semenyk Court Suite 100
Mississauga, ON. L5C 4P8

Phone 905 615-0614
Fax 905 615-8903
Email gdell@twxnet.com

RE: 2285 Britannia Road

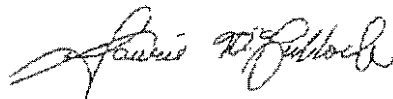
Methodology

First we will install shoring and bracing needed to support the damaged corner, floor and walls.

Two longitudinal beams are placed under building to support the load at 16' centres and will rest on a series of cribbing piles. Additional cross loading beams make up the balance of the framework. The steel framework is shimmed tight to the building and jacked free to allow removal of the basement walls. The building is rolled off the foundation onto dollies. A bolster beam is attached to the main beams to attach the pull truck. This forms a three point load system to allow the building to travel to the new location on site.

The wheels and bolster removed and the building is rolled over the existing foundation and fastened down.

Yours truly,



Laurie McCulloch Building Moving



Appendix 'G'



Seberras Professional Services Ltd.

P.O. Box 673
St. George, Ontario N0E 1N0

Phone: 519 448-3365
Fax: 519 448-4801
Email: dseberras@hotmail.com

May 6, 2012

TO: The Building Department, City of Mississauga

CC: Greg Dell & Associates

FROM: David Seberras P.Eng. BCIN: 30361

RE: 2285 Britannia Road
Methodology- House Relocation

We have reviewed the proposed Methodology as well as having visited the site, with respect to the proposed remedial work and relocation. We have worked with Laurie McCulloch for the past 16 years, and have successfully completed dozens of projects, relocating structures. Our review has confirmed that the proposed relocation, meets with our approval.



Appendix 'H'

THIS CONTRACT TO BE COMPLETED BY THE OWNER OR OWNER'S AUTHORIZED AGENT, AND SIGNED BY ALL CONSULTANTS RETAINED FOR GENERAL REVIEW.

***General Specifications:**

[illegible]

From: DOD General
To: 9056156903
11/19/2012 11:56
#212 P.001/001



Seberras Professional Services Ltd.

P.O. Box 673
St. George, Ontario N0E 1N0

Phone: 519 448-3565
Fax: 519 448-4801
Email: dseberras@hotmail.com

May 10, 2012

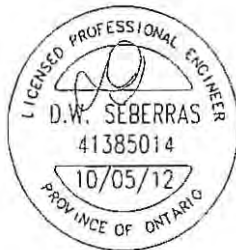
TO: The Building Department
City of Mississauga

CC: Greg Dell

FROM: David Seberras P.Eng. BCIN: 30361

RE: 2285 Britannia Street, Mississauga

Attached please find a Commitment to Review Form. I will be on site during the relocation of the building. I have worked closely with McCulloch Movers during the past few years, when we were first introduced to this project. I have been on site numerous times and as recently as early this week and will work with McCulloch Movers during the relocation process.



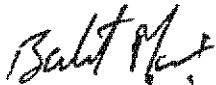
Jasrico Financial Inc.
39 Rollingwood Drive
Brampton ON
L6Y 4Z7

August 30th 2012
City of Mississauga
Heritage Planner
Paula Wubbenhorst
300 City Centre Drive
Mississauga Ontario
L5B 3C1

RE: Dowling House, Heritage Building

Please accept this letter as evidence of Jasrico Financial Inc's agreement with all conditions required to be met prior to the relocation of the Dowling House as set out in the Corporation of the City of Mississauga's corporate report on the request to relocate a Designated House; Dowling House, 2285 Britannia Road West (Ward 11) dated, June 29th 2011 from the Commissioner of Community Services, including the terms related to the de-designation of the Dowling House for the duration of its move and its redesignation following its relocation.

Yours truly,

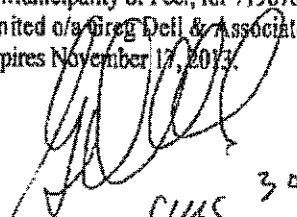


Jasrico Financial Inc.

"I have the authority to bind Jasrico Financial Inc.

WITNESS:

Gregory Henry Dell, a Commissioner, etc.,
Regional Municipality of Peel, for 719070
Ontario Limited o/a Greg Dell & Associates.
Expires November 17, 2013.



AUG 30, 2012

Appendix 1'

SOSCIA ENGINEERING LTD.

PROFESSIONAL ENGINEERS & PROJECT MANAGERS

May 7, 2012.
12-019 (Heritage Home)

City of Mississauga
300 City Centre Drive
Mississauga, On.
L5B 3C1

Re: 2285 Britannia Rd West
MISSISSAUGA, ONTARIO
HERRITAGE HOUSE RELOCATION

Dear Sir,

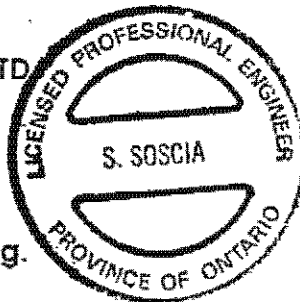
We are writing to advise that Soscia Engineering Ltd. have reviewed the structural framing proposed for the relocation of the heritage home at 2285 Britannia Road West in the City of Mississauga.

More particularly, we have reviewed the structural steel members framed to carry the dwelling to it final destination on the same subject property. The framing meets the requirement of Part 4 of the Ontario Building Code.

Should you require more information please contact me.

Yours Truly,
SOSCIA ENGINEERING LTD.


Mr. Sandro Soscia, P. Eng.



c.c. Greg Dell & Associates
3464 Semenyk Court Suite 100
Mississauga, ON, L5C 4P8

Appendix 'J'

SOSCIA ENGINEERING LTD.

PROFESSIONAL ENGINEERS & PROJECT MANAGERS

May 15, 2012.
12-019 (Foundation Cert.)

City of Mississauga
300 City Centre Drive
Mississauga, On.
L5B 3C1

**Re: 2285 Britannia Rd West
MISSISSAUGA, ONTARIO
HERITAGE HOME FOUNDATION CERTIFICATION**

Dear Sir,

We are writing to advise the City of Mississauga Chief Building Official that Soscia Engineering Ltd. have reviewed the new foundations at 2285 constructed as part of the heritage house relocation. More particularly, the footings and foundation walls were placed on suitable bearing material, the width and depth of the foundations were completed in conformance with the permit drawings and the walls were constructed in accordance with the OBC requirements.

The new foundations are adequate and have gained sufficient strength to receive the placement of the heritage home.

Should you require more information please contact me.

Yours Truly,
SOSCIA ENGINEERING LTD.



Mr. Sandro Soscia, P. Eng.

C.C. Greg Dell & Associates
3464 Semenyk Court Suite 100
Mississauga, ON. L5C 4P8

Appendix 'K'

JASRICO FINANCIAL INC.

2285 BRITANNIA RD WEST
MISSISSAUGA, ON L5M2G6

PH: 905-821-3355

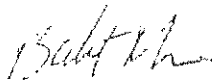
FAX: 905-821-3039

To: City of Mississauga

Re: 2285 Britannia Rd. W.
SP061222 W 10

Please be advised we have no objection to the passing of the heritage by-law as amended to facilitate to re-location as shown on the site plan and approved by committee of adjustment and council

Yours Truly



Jasrico Financial Inc.
Baljit Mann



CERTIFIED A TRUE COPY

CRYSTAL GREEN, CITY CLERK
CITY OF MISSISSAUGA

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER 0249-2010

A By-law to designate the Dowling House
located at 2285 Britannia Road West
as being of cultural heritage value or interest

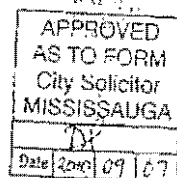
WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of cultural heritage value or interest;

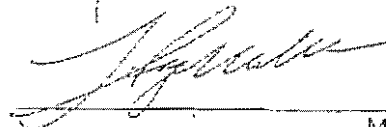
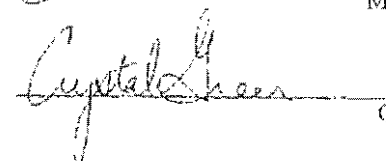
AND WHEREAS Notice of Intention to designate the Dowling House located at 2285 Britannia Road West, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

NOW THEREFORE the Council of The Corporation of the City of Mississauga hereby ENACTS as follows:

1. That the property, including all the buildings and structures thereon, known as the Dowling House located at what is municipally known as 2285 Britannia Road West, in the City of Mississauga, and legally described in Schedule 'A' attached hereto, is hereby designated as being of cultural heritage value or interest under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended.
2. That the reasons for designating the property known as the Dowling House located at 2285 Britannia Road West, in the City of Mississauga, under section 1 of this By-law, are duly set out in Schedule 'B'.
3. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
4. That Schedules 'A' and 'B' form an integral part of this by-law.
5. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 2285 Britannia Road West as described in Schedule 'A' in the proper land registry office.

ENACTED AND PASSED this 15th day of September, 2010.



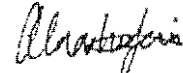

MAYOR

CLERK

SCHEDULE 'A' TO BY-LAW 0249-2010

Summary: Part of Lot 6, Concession 5, West of Hurontario Street
(To be designated under the Ontario Heritage Act)

(Ward 11, City Zone 46E, in the vicinity of Mississauga Road and Erin Mills Parkway)

Legal Description: In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto, County of Peel), Province of Ontario and being composed of part of Lot 6, Concession 5, West of Hurontario Street, of the said Township, designated as Parts 1, 2 and 3 on Plan 43R-33434.



Alnashir Jeraj
Ontario Land Surveyor

DESIGNATION STATEMENT

Dowling House, 2285 Britannia Road West

Description of Property

The Dowling House is a one-and-a-half storey centre-gable farmhouse, with an addition, on the north side of Britannia Road West, about halfway between Erin Mills Parkway and the Canadian Pacific Rail line.

Statement of Cultural Heritage Value or Interest

The Dowling House has historical/associative value due to its association with early Streetsville politicians, including Streetsville's first mayor Frank Dowling.

The Dowling House has historical/associative value as it yields information about late nineteenth and early twentieth century farming.

The Dowling House has physical value as it is a rare surviving farmhouse in Mississauga.

Description of Heritage Attributes

Key attributes that reflect the Dowling House's value in its association with early Streetsville politicians, including Streetsville's first mayor, Frank Dowling:

- Its location, near to the Streetsville core

Key attributes that reflect the Dowling House's value as a source of information on late nineteenth and early twentieth century farming:

- The late nineteenth century farmhouse characteristics
 - Its shape and form, including rectilinear footprint, its steeply pitched and centrally placed pointed gable dormers on each face
 - Its original window and door openings, their size, shape, form and corresponding brick voussoir headers
 - Its original window surrounds and sills
 - The transom above the door
 - Its Credit Valley stone foundation
 - Its brick veneer
 - The decorative brick diamond pattern on the south face
 - The roof form and pitch
- Its generous setback from the road
- Its location near the rail junction, for which it was originally named

Key attributes that reflect the Dowling House's value as a rare surviving farmhouse in Mississauga:

- Its shape and form, including rectilinear footprint, its steeply pitched and centrally placed pointed gable dormers on each face
- Its original window and door openings, their size, shape, form and corresponding brick voussoir headers
- Its original window surrounds and sills
- The transom above the door
- Its Credit Valley stone foundation
- Its brick veneer
- The decorative brick diamond pattern on the south face
- The roof form and pitch
- Its generous setback from the road
- Its location near the rail junction, for which it was originally named

Appendix 'L'

Heritage Experience

- 2011 **14424 Bayview Avenue , Aurora**
- Heritage house
 - existing record drawings
- 2010 **15086-15088 Yonge St.**
- two semidetached residences
 - existing record drawings and proposal for adaptive re-use
- 2010 **243 Perth Ave, Toronto**
- Methodist Church
 - record drawings ,
 - adaptive reuse & addition – residential condominium (40 units)
 - construction to commence Fall 2012
- 2009 **608 Spadina Road**
- residence & Monastery
 - renovation, restoration & addition adaptive reuse – residential condominium (6 units)
 - in collaboration with MW Hall Corporation
 - construction completed 2012
- 2009 **385 King Road, Richmond Hill**
- heritage house
 - existing record drawings and reconstruction at new site,
 - in collaboration with MW Hall Corporation
 - construction completed 2012
- 2009 **12933 Bathurst, Richmond Hill**
- heritage house
 - existing record drawings and reconstruction at new site,
 - in collaboration with MW Hall Corporation
 - construction completed 2012
- 2009 **ROM**
- building science review and envelope consultation for rain dance and deterioration mitigation
 - mitigation completed 2010
- 2006 **Jonathon Gowland House, Markham**
- heritage house
 - existing record drawings
 - relocation, restoration and addition plans
 - construction to commence 2013

- 2008 **9 Bernard Ave, Toronto**
- heritage house
 - existing record drawings
 - renovation, restoration and addition
 - construction completed 2011
- 2008 **95 Bedford Ave, Toronto**
- heritage house
 - renovation & restoration
 - construction completed 2009
- 2008 **6 Meredith Crescent, Rosedale, Toronto**
- heritage house – semidetached
 - addition
 - construction completed 2009
- 2008 **30 McLaughlin Road South, Brampton**
- Heritage house
 - existing record drawings
 - in collaboration with MW Hall Corporation
- 2006 **20 Victoria Street, Toronto**
- Office Tower
 - Window replacements

Appendix 'M'

Chris Mace
IMS Contractors
Curriculum Vitae
March 2012

Address: **IMS Contractors**
539 Kingston Road West
Ajax, Ontario, L1S 6M1

Phone 905-231-2300 x202
e-mail cmace@imscontractors.com

Chris Mace has been in the construction industry for most of his working life. The following is a brief career history and accomplishments.

At age 17, Chris started his apprenticeship in carpentry in Vancouver building custom homes under renowned Japanese builder, Joseph Tusimuri.

These homes were built in the Horseshoe Valley overlooking the inlet and marina known as cliff hanging homes. The projects involved mountain rigging to hoist equipment, rock blasting for foundations and custom forming. The finishes of these homes were completed in tradition teak balloon framing using peg and dowel construction with exposed woodwork.

During this time Chris obtained his underwater welding license and spent weekends diving for grappled logs and shoring up the ferry docks in Vancouver Harbour.

At age 21, Chris moved back to Toronto and worked for Crown Steel as a drafting apprentice, working in commercial kitchen designs. During this time, he was part of the team responsible for the design of the commercial kitchen for the future **CN Tower** tender. In addition, Chris was involved in the field work and installation process for the remodeling of the **Royal York Hotel** and **Sutton Place Hotel**, gaining experience to follow design through to installation. During this time, he was introduced to estimating at a very basic level doing take offs on stainless metal and mechanical equipment.

At age 23, Chris resumed his passion for woodworking and set up a small shop in Brooklin, Ontario, building kitchen cabinets, custom stairs and specializing in exotic woods. During this time Chris restored sail boats as a hobby and refurbished a classic R33 that is still racing in Germany today.

At age 25, he started building custom homes and remodeling historical homes in the Whitby area. Chris worked on moving three existing homes built in the early 1900's to a new site, then called Pearson Lanes, whereby the project linked seven houses and converted them into retail boutiques in keeping with the requirements of the historical society and downtown merchants association.

To further progress his professional growth, Chris started a small weekend class at Henry Build-All (a retail lumber yard in Courtice), teaching contractors how to build stairs and basic carpentry for two years. He later returned to college to obtain my certificate in carpentry and studied for Quantities Surveying and Estimating.

At age 30, Chris was hired by Cloke Kirby Construction as a junior estimator and worked on projects ranging up to ten million dollars. On a special projects team, he implemented developing computer closings using spreadsheets in Quattro Pro, which revolutionized the close bid tendering process and increased Cloke Kirby's retention on award of tenders.

At age of 33, Chris was hired by E.G.M. Cape as a Senior Estimator, tendering and project managing large projects. Cape specialized in building commercial building, sewage treatment plants and institution work.

During this time, Chris taught Project Management and Estimating at the Toronto Construction Association and Ontario Construction Association, using Project Management software for Contractors and Property Managers in the evenings and special sessions on weekends.

At age 38, Chris was hired by Ellis Don Construction as Chief Estimator bidding on special projects for projects ten million dollars and under. E.D. wanted to compete in this division to develop a new vertical of business. This project was developed during a major recession and had its challenges as contractors were under bidding in order to obtain work flow. Chris was in charge of the restoration of the **Heintzman House** as Junior Project Manager overseeing the restoration aspect for a two year period.

At age 40, he bought a small property management company owned by MICC Insurance Underwriters that worked with financial lenders to oversee commercial and residential buildings. Within three years, the business developed into the largest of its kind, specializing in retro-fitting buildings throughout Canada.

In 2003, Chris was hired as a consultant to develop the install program for Home Depot Commercial Direct, screening contractors for compliances and skill sets within the commercial and residential industries.

Two years later Chris started a company, today known as IMS Contractors supported by Rona, specializing in custom renovations and commercial buildings throughout the GTA. One of the key projects being the restoration to an existing dwelling built in 1886. IMS Contractors were mandated to build an addition onto the back of the existing building and incorporate a 'New meets Old' style consisting of six high end condo apartments. This retro-fit and new build included re-bricking, matching brick, cleaning, pointing and stone restoration.

While at IMS Contractors, Chris have been teaching Estimating, Project Management and Construction Law at the Rona University courses ranging from 35 to 165 students at a time. These courses target the small to medium contractor that would typically purchase product from Rona and has been a mechanism for IMS recruiting of key, qualified skilled trades people.

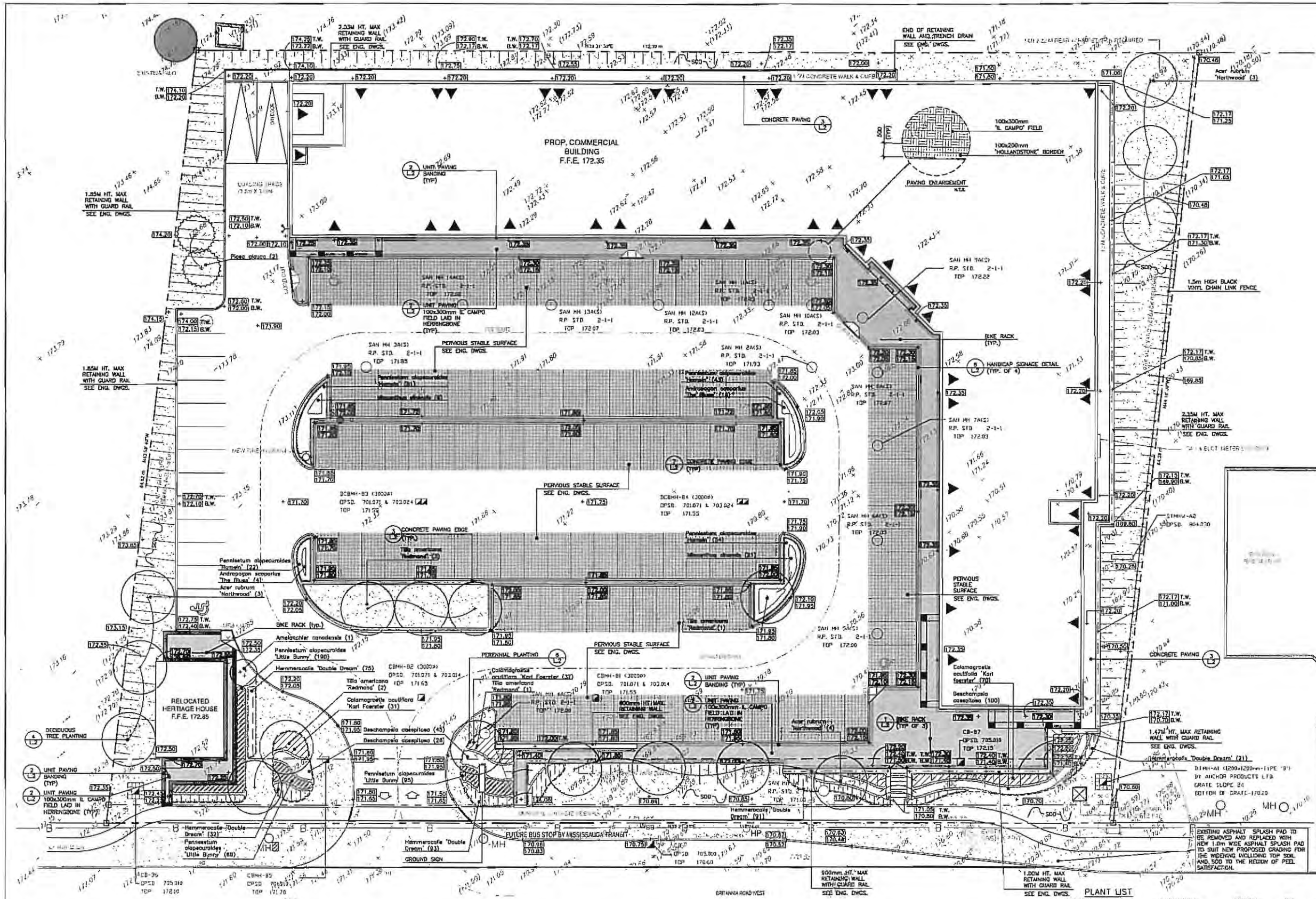
Appendix 'N'

Construction Timetable
Dowling House
2285 Britannia Road, Mississauga

Task Name	Start	Finish
Site mobilization	Week one start	Week one complete
Rough grade	Week two Start	Week two
Excavate for foundation	Week two	Week two complete
Form footings	Week three Start	Week three
Place and finish	Week three	Week three
Install dowels and epoxy rebar	Week three	week three complete
Form walls	Week Four start	Week Fourteen
Redi mix	Week fifteen	Week Fifteen
Strip forms	Week six	Week six Complete
Install rubble veneer	Week Seven start	Week Seven complete
rough in for drains	Week Eight start	Week Eight complete
Install wire mesh	Week Nine start	Week nine
Install styrofoam	Week nine	week nine
place and finish	Week ten	Week ten complete
excavate site services	Week Eleven start	week Eleven
install duct bank	Week Eleven	Week Eleven complete
move building to new location	Week Twelve start	Week Fourteen complete
Block up foundation to underside of building	Week Fifteen start	Week Fifteen
Install sill plate	Week fifteen	Week Fifteen complete
remove cribbing and structural	Week sixteen start	Week sisteen complete
blockin cavities	Week seventeen start	Week seveteen
Install cavity rebar	Week seventeen start	Week seventeen complete
install cavity rubble stone	week eighteen start	Week Eighteen
Install temporay hydro	Week Eighteen	Week Eighteen complete
Install new ballon framing	Week Eighteen Start	Week twenty complete

install structural steel	Week Eighteen	Week Eighteen
mill new wood siding	Week eighteen	
Install new windows to match	week eighteen	week eighteen complete
paint exterior (milk paint)	week nineteen start	Week Twenty two
Roofing	Week nineteen	Weeke twenty Two
Flashings	week nineteen start	Week nineteen
install wood soffit and Facia	week nineteen	Week twenty four complete
install new rain water management system	week twenty two start	Week twenty two
gutters	week twenty two start	Week twenty two
downspout	week twenty two start	Week twenty two
rough in mechanicals	Week nineteen start	week nineteen
HVAC	week nineteen	week nineteen
Plumbing	week nineteen	week nineteen
security system	week nineteen	week nineteen
data	week nineteen start	week nineteen
electrical	Week Nineteen	Weeke nineteen complete
Insulate and Vapour barrier	Week twenty start	week twenty
Drywall		
tape and finish	week twenty	week twenty
prime	Week twenty	Week Twenty complete
Install temporay stairs	Week Eighteen	Week eighteen complete
frame fake chimineys	Week twenty three start	week twenty three
veneer chimineys	Week twenty three start	week twenty three
Cap chimineys	week twenty three	week twenty three
Demobilize	Week twenty four	Week twenty four

Appendix 'O'



OWNER'S NOTE

We agree to implement the approved site and landscape plans within 18 months after the execution of the Site Plan. Underwriting and will retain the Landscape Architect to make periodic site inspections. Upon completion of the works we will forward to the City of Mississauga a copy of the Completion Notification Certificate from the Landscape Architect and the applicable inspection fee.

Any revision to the site and landscape plans will be submitted to the Planning and Building Department, City of Mississauga for review and approval, prior to the commencement of the works.

We hereby authorize the City, its authorized agents, or employees to enter upon our land to carry out inspections from time to time and agree to indemnify the City and its authorized agents and save them harmless from any and all claims arising out of the exercise by the City, its authorized agents or employees of the rights hereby given to them. We undertake to notify the City forthwith of any change of ownership of the said lands.

Signature of Owner: _____
Name of Owner: _____
Address: _____
Date: _____

GRADING NOTE:

I hereby certify that these landscape plans conform to the City Grading and Drainage Plan for this application.

Signature of Landscape Architect: *Jim Reicht*
Date: NOVEMBER 28, 2008

NOTE:

- BENCH TO BE GROUND MOUNTED CHIPPENDALE DESIGN BENCH MODEL # 117-60 BY DUMOR, INC. (800-598-4018)
- CONTRACTOR TO MAKE GOOD ALL DAMAGE TO ANY EXISTING OR ADJACENT CONDITIONS/STRUCTURES DURING CONSTRUCTION TO THE SATISFACTION AND ACCEPTANCE OF THE CONSULTANT.

ISSUE	DATE	REMARKS
5	OCT 03, 2012	RESUBMITTAL FOR SPA
4	JUNE 11, 2012	SUBMIT FOR SPA
3	DEC 10, 2008	REVISION AS PER COMMENT
2	OCT 23, 2008	REVISION AS PER COMMENT
1	JUNE 10, 2008	1ST SUBMISSION

Project Name:
2271 & 2285 BRITANNIA ROAD WEST
City of Mississauga, Ontario
No. SP 06/222 W11

Drawing Title: LANDSCAPE PLAN		
Drawn: KH	Design: TR	Date: 5/28/08
Checked: TR	Apprvd: TR	Scale: 1:200
CADD File: 081042	Dwg. No.: L1 of 2	

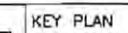
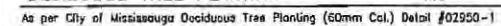
PLANTING NOTES:

- All plant material is to meet the standards as outlined in the Canadian Standards for Nursery Stock, current edition.
- For all contractor purchased materials plant size will be as measured on site. Nursery worksheets will not be acceptable for determination of plant sizes.
- Protect plant material from frost, excessive heat, wind and sun during transportation.
- Warranty period for all planting is one year from substantial completion. Warranty replacements of all plant material will be undertaken by the contractor as requested by the landscape architect at any time during the warranty period.
- For burlapped root balls, cut away top one third of wrapping and wire basket without damaging root ball. Do not pull burlap or rope from under root ball. For potted plants remove entire container.

- Backfill soil in 150mm lifts. Tamp each lift to eliminate air pockets. When two thirds of depth of planting pit has been backfilled, fill remaining space with water. After water has penetrated into soil, backfill to finish grade.
- Shrubs shown in groups are to be planted in continuous plant beds as shown on planting detail.
- Plant material installed following last drop in the fall will be accepted after the start of the next growing season provided that acceptance conditions are fulfilled.
- Final landscape work inspection will be undertaken by City of Mississauga. Any work that is rejected will be corrected in a timely manner at contractor's expense.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
TREES				
Acer rubrum 'Northwood'	Hardy Maple	10	10mm	W.B.
Ampelopsis quinquefolia	Canadian Vitis	1	70 cm Ht	W.B.
Prunella americana	Black Cherry	2	10mm	W.B.
Prunella americana	Black Cherry	2	10mm	W.B.
PERENNIALS				
Hamamelis 'Double Dream'	Double Yellow Balm	175	1 ga	Perennial
GRASSES				
Andropogon scoparius 'The Blues'	Little Bluestem	20	1 ga	Perennial
Liatris pycnostachya 'Karl Foerster'	Karl Foerster Liatris	150	1 ga	Perennial
Desmodium illinoense	Wild Indigo	125	1 ga	Perennial
Desmodium illinoense	Wild Indigo	27	1 ga	Perennial
Desmodium illinoense	Wild Indigo	175	1 ga	Perennial
Desmodium illinoense	Wild Indigo	325	1 ga	Perennial

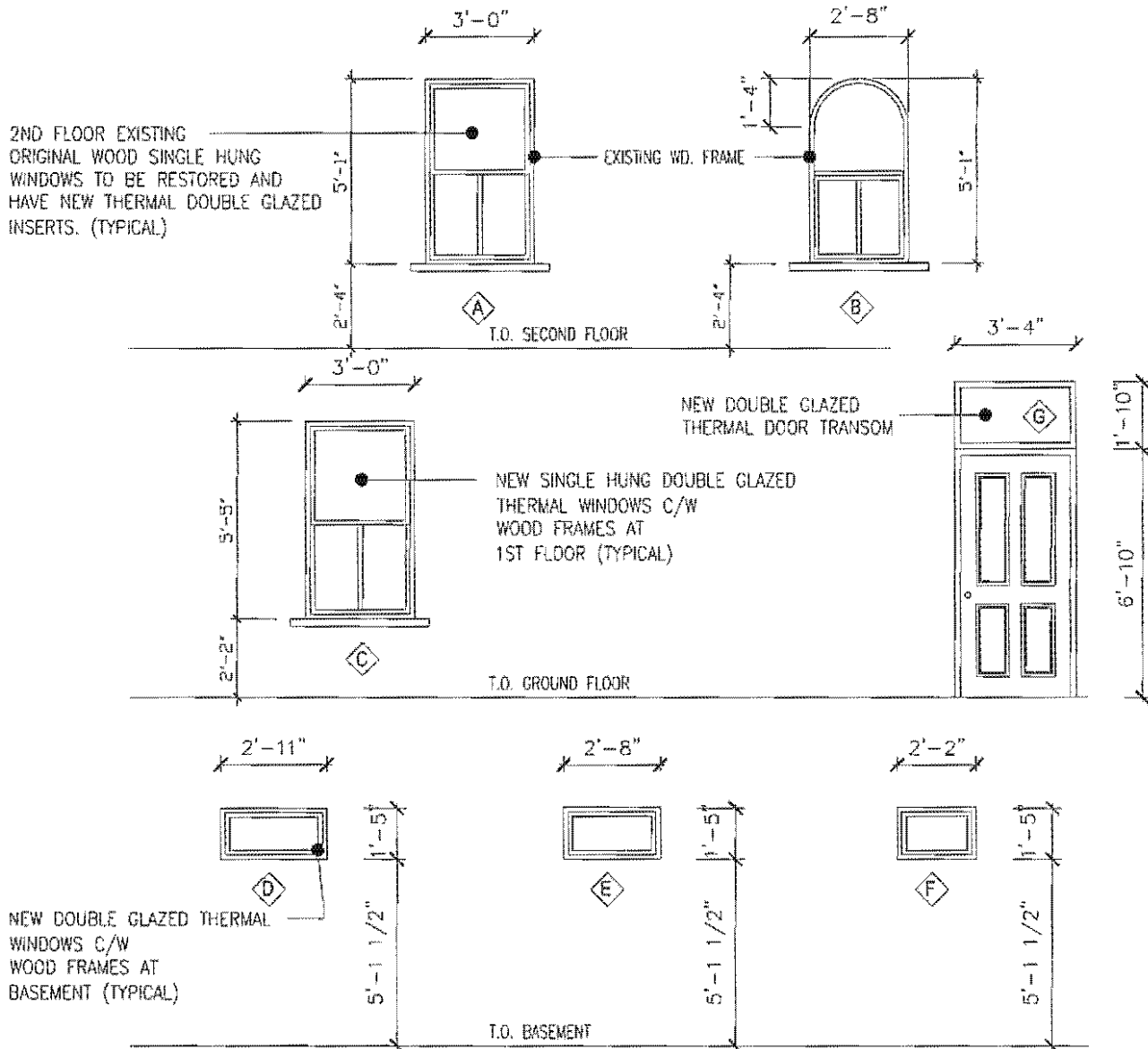


L2 of 2

Appendix 'P'

WINDOW SCHEDULE

WINDOW		FRAME		
WIN. #	IMPERIAL SIZE	LOCATION	MATERIAL	FINISH
A	3'-0" X 5'-1" (EXISTING)	2ND FLOOR	WD.	PAINT
B	2'-8" X 5'-1" (EXISTING)	2ND FLOOR	WD.	PAINT
C	3'-0" X 5'-1" (NEW)	1ST FLOOR	WD.	PAINT
D	2'-11" X 1'-5" (NEW)	BASEMENT	WD.	PAINT
E	2'-8" X 1'-7" (NEW)	BASEMENT	WD.	PAINT
F	2'-2" X 1'-6" (NEW)	BASEMENT	WD.	PAINT
G	1'-10" X 3'-4" (NEW)	1ST FLOOR DOOR TRANSOM	WD.	PAINT



caricari lee architects

111 Adelaide Avenue
Toronto, ON M5H 2A8

T: 416.967.9673
F: 416.967.9671
E: info@caricari-lee.com

Britannia Road -Heritage House
2285 Britannia Road West, Brampton, ON

Drawing Title:

WINDOW SCHEDULE

Date: 15 NOV 2012

Revision Date:

Scale: NTS

Drawn By: DD

Project No: 7031

REV:

SKA-001

PRODUCT FEATURES



Double / Single Hung

STYLES

~~Double Hung, Single Hung, Radius Top and Cottage options.~~

STANDARD FEATURES

- Natural, clear Douglas Fir interior (no visible finger joints)
- Frame construction designed for 4 9/16" (116 mm) jamb
- Low E insulated glazing with 1/2" (12 mm) airspace
- ~~Extruded aluminum cladding in a variety of standard colors, primed wood or clear fir exterior~~
- Insect screens
- Non-clad windows are supplied with linen, bronze or sandstone screens at no additional charge. Screen-frame color is matched to exterior finish on metal clad units.

HARDWARE

Hardware and hardware finishes are dependent on hardware choices.

GLAZING

Heat-Smart® and optional Heat-Smart® X, StormForce™.

SIMULATED DIVIDED LITES (SDL)

SDL — 3/4" (19 mm), 1 1/8" (29 mm), 2" (50 mm).

CASING

2" (50 mm), 3 1/2" (89 mm) and 5 1/2" (140 mm) wood. 2" (50 mm) and 3 1/2" (89 mm) metal. Adams and Williamsburg options also available.

~~METAL CLAD COLOR SPECTRUM~~

~~Standard and Architectural Palette colors.~~

LEGEND: ● — STANDARD ○ — OPTIONAL

	Double/Single Hung		Double/Single Hung
Hardware Styles		Variables	
Sash Lock	●	Function:	
Sash/Lift	○	Use for Egress	●
Finish Options		Available with Screen	● ¹
Linen	●	Concealed Hardware	
Sandstone	●	Durability:	
Bronze	●	Low Maintenance	
Black	●	Metal Clad Exterior	● ¹
Oil Rubbed Bronze	○	Clear Douglas Fir Exterior Finish	○
Antique Brass	○	Clear Mahogany Exterior Finish	○
Bright Brass	○	Primed Exterior Finish	○
Brushed Chrome	○	Cyprium Collection	
		Performance:	
		Heat-Smart®	●
		Heat-Smart® X	○
		Heat-Smart® T	
		Heat-Smart® XT	
		Tranquility®	
		StormForce™	○
		Appearance:	
		SDL	○

1 - Various standard and architectural metal clad colors

SPECIFICATIONS

STANDARDS

Most units have been tested by an independent laboratory for air and water infiltration, structural performance and thermal performance requirements.

FRAME AND SASH

Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All exterior components are factory primed; minor scratches or abrasions are not considered defects.

ALTERNATE SPECIES

The entire Loewen product line is also available in optional Mahogany (*Swietenia macrophylla*) or optional FSC® chain of custody certified Douglas Fir (SW-COC-001739).

PRESERVATIVE TREATED

All wood parts are dipped in approved preservative.

GLAZING

A sash integrated wood stop combined with glazing materials ensures a positive seal.

INSULATING GLASS

Available in 1/8" (3 mm) double glass configuration with 1/2" (12 mm) airspace.

HEAT-SMART® SYSTEMS

Heat-Smart® best describes the benefits of the product that incorporates Low E coating and argon gas. Heat-Smart® systems help reduce heating and cooling costs, providing superior energy efficiency.

SIMULATED DIVIDED LITES (SDL)

Standard SDL comes with airspace grilles. Grille bars are permanently applied to the interior and exterior.

Specifications and technical information are subject to change without notice. Metric and imperial measurements are converted accurately. However, in some cases, industry conventions cause a 1 mm variance. (Example: 3/4" is shown as 20 mm for all glass measurements since this is the industry standard.)

~~METAL CLADDING~~

~~Heavy-duty extruded aluminum exterior metal cladding is available in Standard and Architectural Palette colors. Interior of window remains a natural wood finish as a standard. Metal clad units are supplied ready to install complete with nailing flange.~~

HARDWARE

Hardware is standard in bronze, linen, sandstone or black. Optional sash lifts are available at an additional charge. Operable sash comes complete with single-handle tilt latch feature to allow for inward tilting of sash for easy cleaning.

WEATHERSTRIP

Flexible weatherstrip ensures a positive weather seal.

SCREEN

Standard screens have a bronze, linen or sandstone aluminum frame, screened with anti-glare fiberglass cloth. Screen-frame color is matched to exterior finish on metal clad units. High Transparency mesh, full screens and half screens available.

EGRESS

Consult local building codes for confirmation of size requirements for your area. Consult your Authorized Loewen Dealer for more details.



Double/Single Hung Windows

Loewen

115



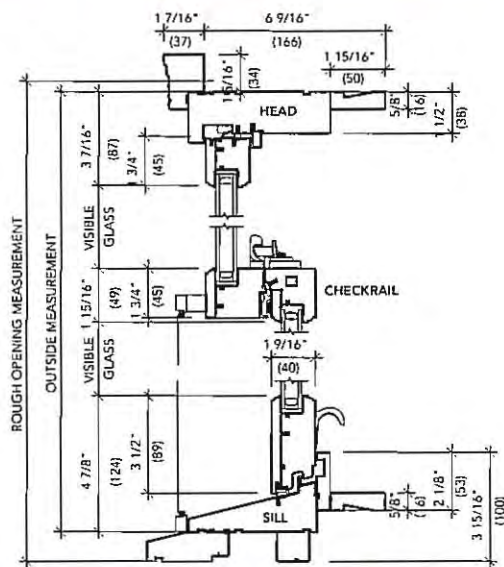
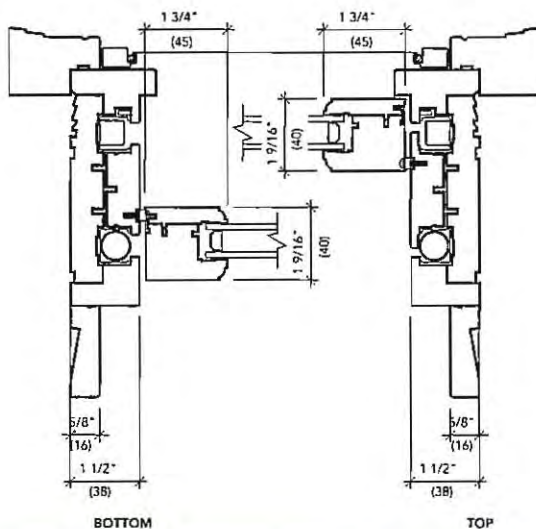
Visit the **Loewen Photo Gallery** online at www.loewen.com for a large collection of Loewen product and elevation photography.

Numerous custom window configurations opportunities exist — please contact your Authorized Loewen Dealer

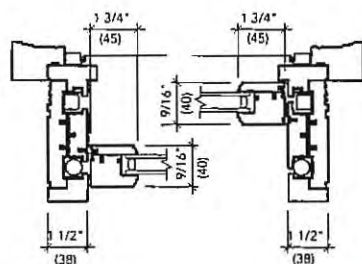
www.loewen.com

DOUBLE/SINGLE HUNG WINDOW DETAILS – SINGLE HUNG

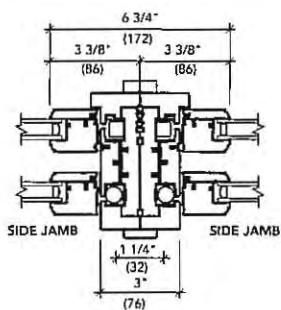
HEAD AND SILL DETAILS



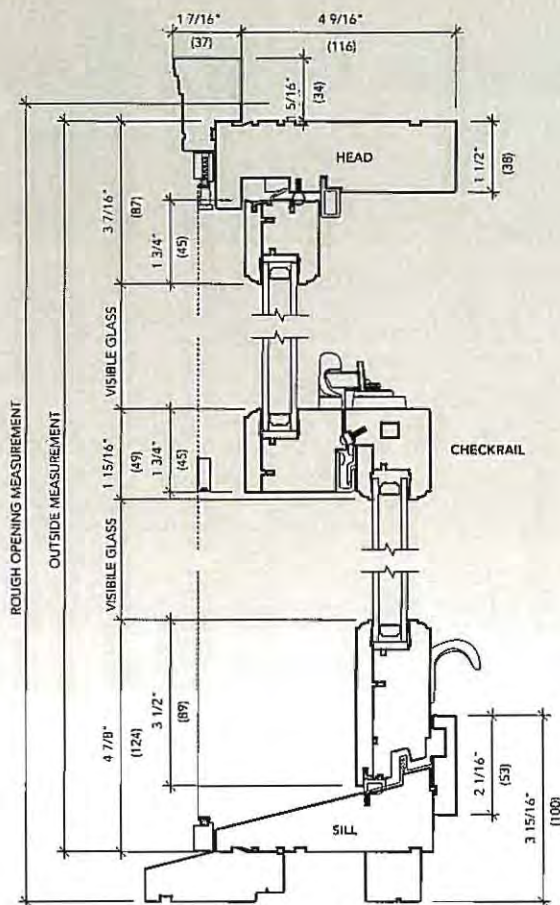
PLAN VIEW



WOOD SINGLE
4 9/16" (116 mm)



WOOD



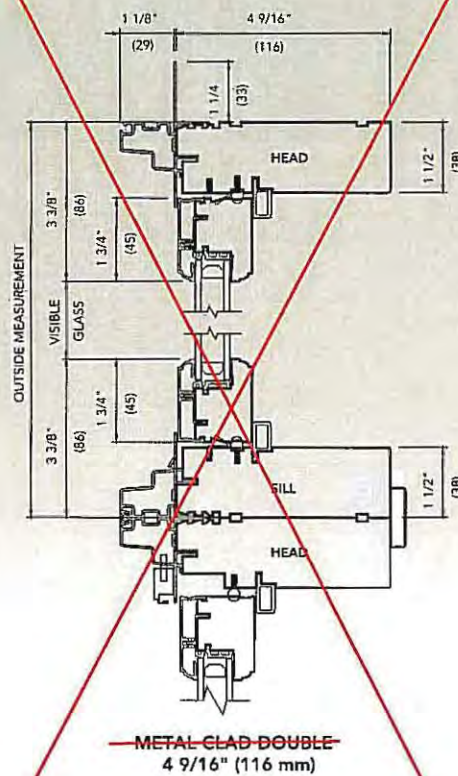
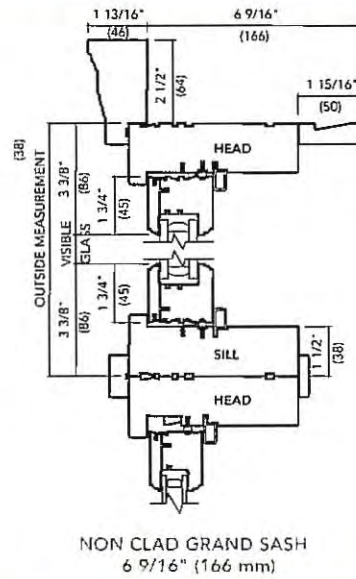
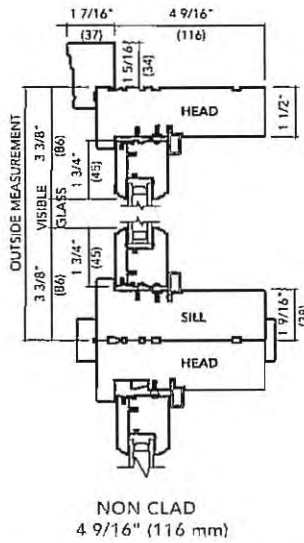
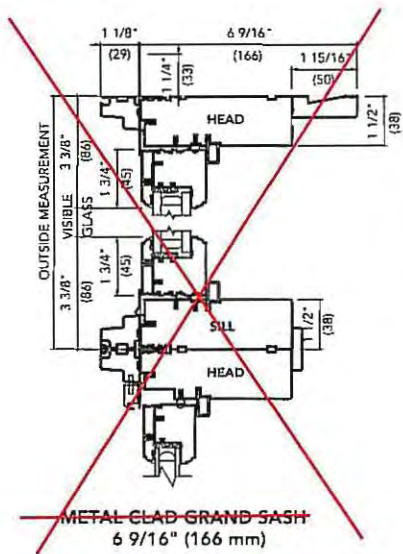
WOOD SINGLE
4 9/16" (116 mm)

Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

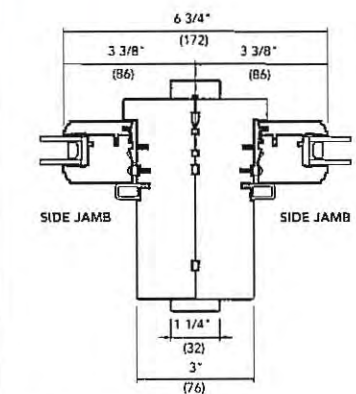
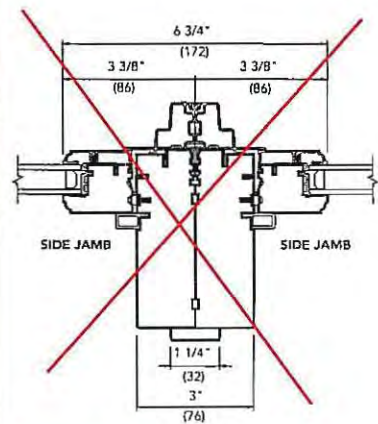
Loewen

DOUBLE/SINGLE HUNG TRANSOM DETAILS

HEAD AND SILL DETAILS



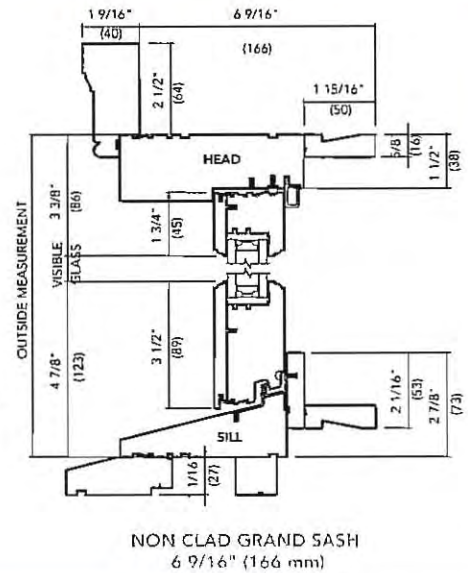
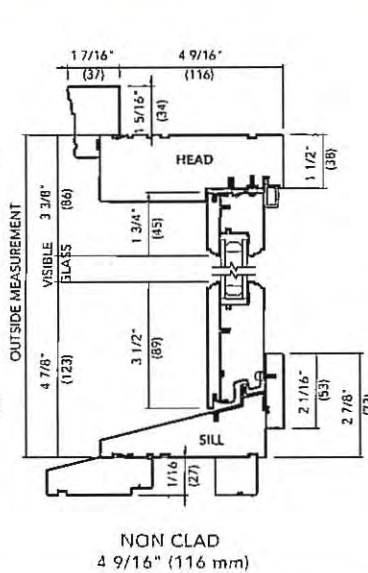
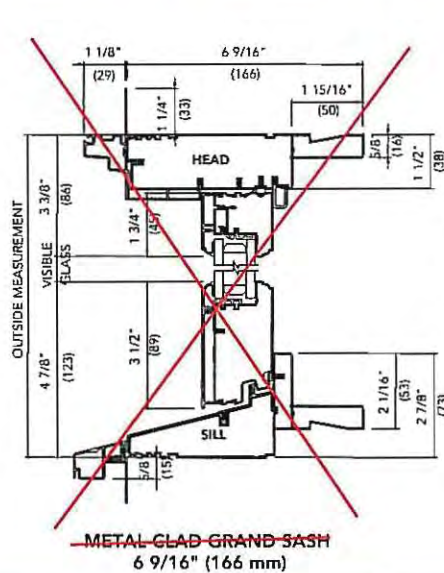
PLAN VIEW



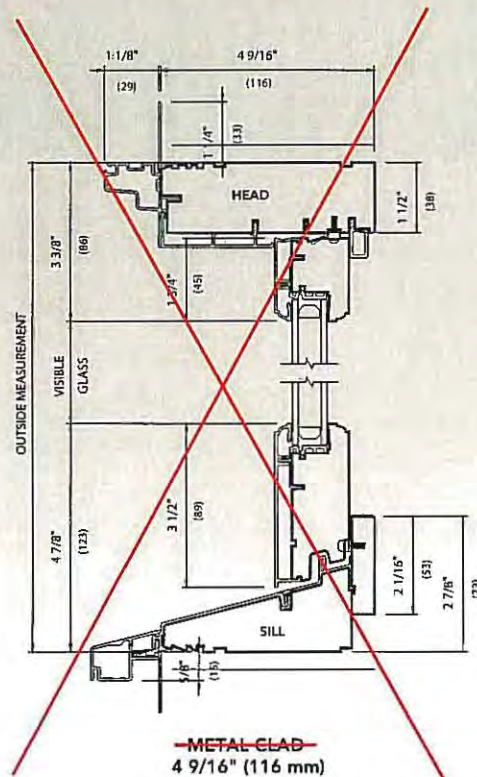
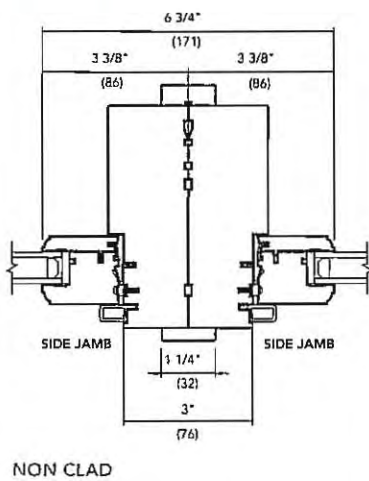
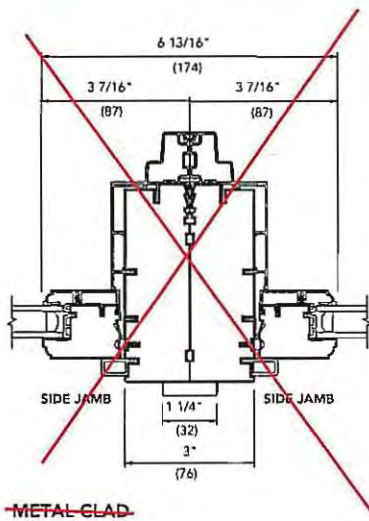
Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

DOUBLE/SINGLE HUNG TRANSOM DETAILS

HEAD AND SILL DETAILS



PLAN VIEW



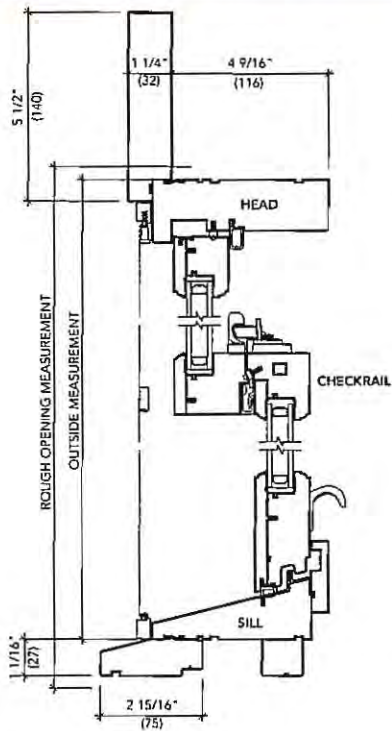
Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

Loewen

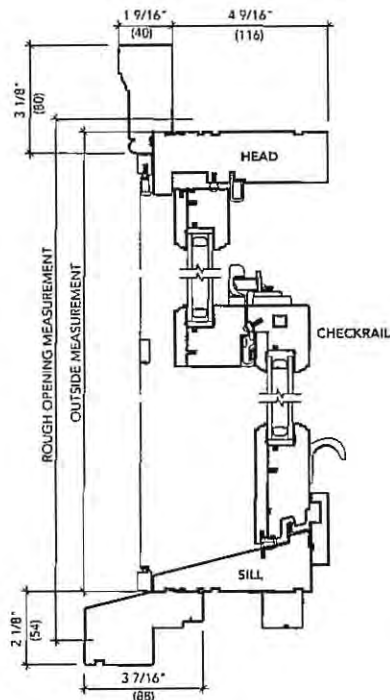
137

DOUBLE/SINGLE HUNG WINDOW DETAILS

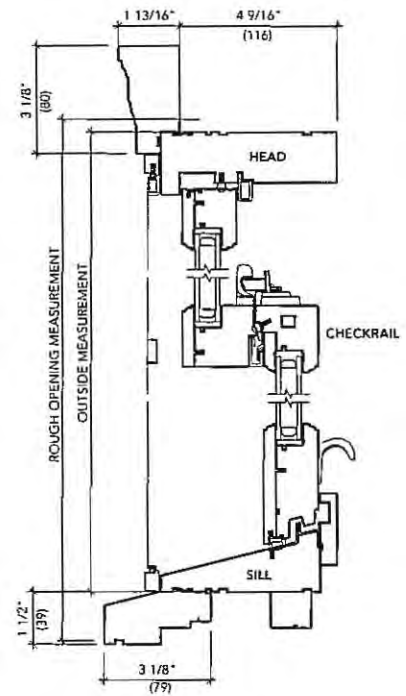
CASING OPTIONS - 4 9/16" (116 MM) JAMB



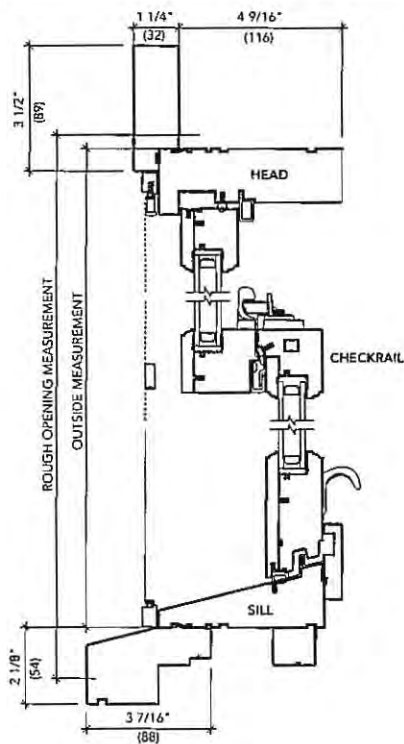
5 1/2" FLAT CASING
WITH STANDARD SILL NOSING



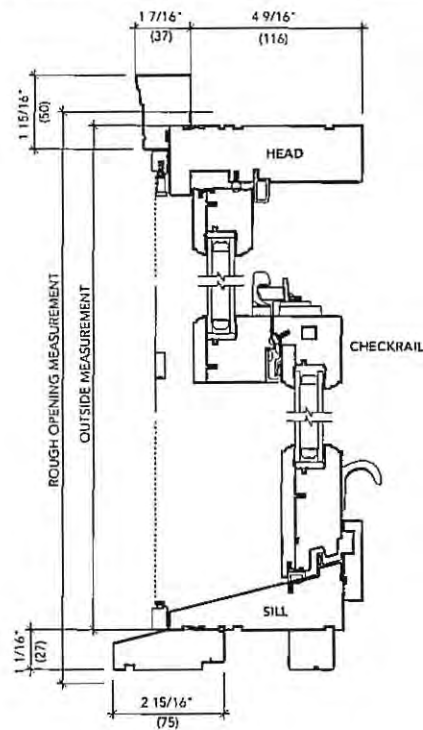
WILLIAMSBURG CASING
WITH HERITAGE SILL NOSING



ADAMS CASING
WITH BC SILL NOSING



3 1/2" FLAT CASING
WITH HERITAGE SILL NOSING

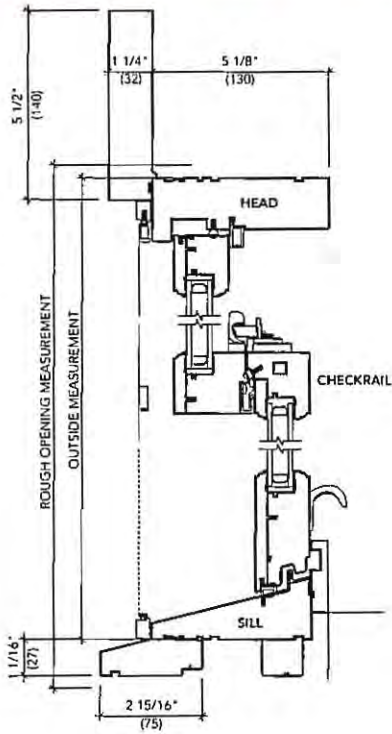


2" CASING
WITH STANDARD SILL NOSING

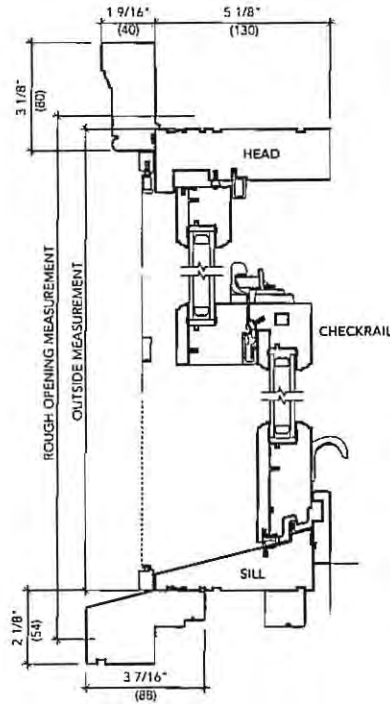
Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

DOUBLE/SINGLE HUNG WINDOW DETAILS

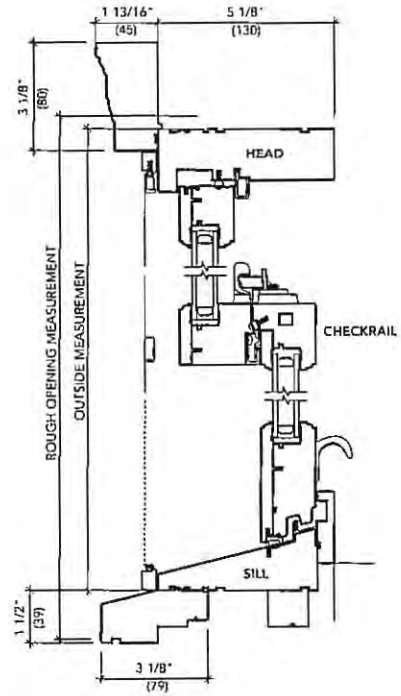
CASING OPTIONS - 5 1/8" (130 MM) JAMB



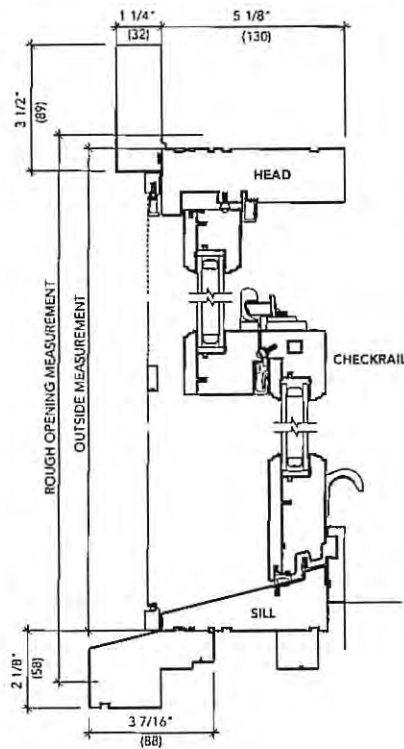
5 1/2" FLAT CASING
WITH STANDARD SILL NOSING



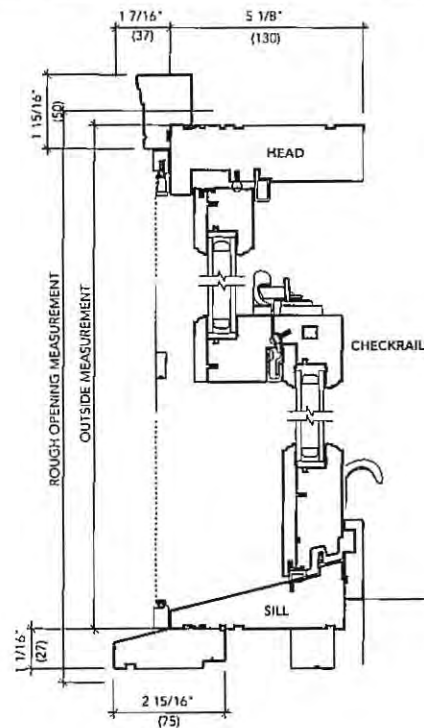
WILLIAMSBURG CASING
WITH HERITAGE SILL NOSING



ADAMS CASING
WITH BC SILL NOSING



3 1/2" FLAT CASING
WITH HERITAGE SILL NOSING



2" CASING
WITH STANDARD SILL NOSING

Note: • Other jamb widths available.
• All dimensions to have +/- 1/16" (2 mm) tolerance.

CONSERVATION PLAN

DOWLING HOUSE
2285 Britannia Road, West
Mississauga
Ontario

25 June 2011

prepared by



www.mwhallcorp.com

1.0 PRESENT OWNER CONTACT INFORMATION

Jasrico Financial Inc., c/o Mr. Baljit Mann
39 Rollingwood Drive
Brampton, Ontario L6Y 4Z7
Tel: 416 617 3343

2.0 INTRODUCTION

Subsequent to the Heritage Impact Statement prepared 15 March 2008 for this property, commercial zoning has been approved and a new retail commercial centre is nearing construction. Properties to the north and west are being redeveloped as industrial use. Immediately to the east is a fire station. The existing house, known as 'The Dowling House', has been designated as a heritage building by the City of Mississauga. In previous meetings dating to 2008 with City staff, the former agricultural residence was planned to be retained and adaptively reused for commercial purposes as a signature component, setting the architectural character of a new retail centre designed by MW HALL CORPORATION + Caricari Lee, architects. The remaining non-heritage structures, as well as non-heritage additions to the heritage house on the site would be removed in the process of constructing the new centre. The property owner is awaiting final site plan approval for this project and wishes to begin construction this year.

This past August 2010 the building was severely damaged. An 'Unsafe Order' was issued August 25, 2010 by City of Mississauga Building Division to "provide and maintain no access into and around the building." An independent structural engineering report was prepared for the owner by Structural Inspections Ltd. dated 18 August 2010, concluding that the house "...cannot be repaired". City of Mississauga also commissioned a report of the damaged structure by Shoalts Bros. Construction Ltd., dated 2 November 2010, recommending that "...with a small amount of proper shoring and hoarding work it can be stabilized indefinitely." Shoalts also noted that the brick veneer now partially removed had exposed the original wood siding of the house and further stated that **"...restoring the house to its previous condition is not the same as restoring the house to a desirable, useable condition, nor is it restoring the house to some previous point in its history."** The future use of the building would dictate the actual course of work to be undertaken, and the details of the work to be done..."

A site meeting was conducted 22 September 2010 with owner representatives and City of Mississauga staff to review the damage and to begin to assess how to

address this changed condition to the property vis a vis the planned redevelopment of the property. While no conclusions were made at that meeting, it was clear from the damage to the building that the brick veneer of the house was added over existing original wood siding and was already unstable because it was not properly tied to the existing structure, which exacerbated the damage to the structure. A portion of the rubble stone foundation was also destroyed. The house is presently fenced/hoarded to protect the public and has been braced to prevent further damage/collapse, as reviewed by city consultant, Mark Shoalts.

A further site meeting was conducted 21 April 2011 with owner representatives, Mississauga staff and consultants. At this date, the building was adequately braced for entry, and the fencing/hoarding revised. Further, the owner had a contractor remove the existing brick as directed by Council, and a non-heritage porch which had been added by the present owner [see 1903 photograph in appendix] when the property was purchased. The original wood siding is now generally accessible for review, except for where the existing rear addition remains. It was generally determined by a house moving company [Laurie McCulloch] that the house could be further braced and safely moved to the preferred site at the southwest corner of the property.

The purpose of this report is to provide a reasoned approach to conservation of this heritage resource on the property, in accord with conservation principles and guidelines according to Parks Canada – Standards and Guidelines for the Conservation of Built Heritage Properties, in general accord with recommendations of the Heritage Committee and Staff of the City of Mississauga, and given all recent understanding of the present condition of the building.

Parks Canada Standards refer to three general options/approaches to retention of a heritage property:

Preservation, Rehabilitation, or Restoration.

Initial concepts for retention/restoration of the Dowling House were to restore the existing structure in its present location and adaptively reuse it as an integrated part of a planned commercial development. However, as a result of further investigation of the property and further consideration relative to the planned retail use of the site, it has been determined that the most appropriate approach to the present condition of the property is to relocate the original house building to the southwest corner of the property as a stand-alone heritage building. Further, relocation of the building on the property would provide greater prominence of the Dowling House by moving it closer to

Britannia Road, making it more available to public view and use as a separate, highly identifiable retail facility with unique architectural character and heritage significance to motorists and pedestrians along Britannia, as well as those attending the larger retail facilities to the rear of the site. The general consensus of the owner and the consultant team, and possibly all attending the site to date, is that the optimum approach to preservation of the Dowling House is to relocate the building at the southwest corner of the property in its original orientation to Britannia Road, restore the exterior wood siding, windows and trims, and to renovate the interior of the building to bring it to present day building codes for commercial use within the heritage building. The addition of some green space around the house in this location would further help to retain some of its original 'farm house' image as viewed from Britannia Road, as a landmark structure at the entry to the new retail plaza. As a 'wood' structure, with a scale and form similar to, but still different from the retail plaza, it would stand alone as a unique place. The new retail plaza buildings are designed as a frame of similarly scaled buildings to provide a sympathetic transition for the heritage house while separating it from the new, large box commercial development to the north.

According to established heritage preservation standards, restoration is the approach when "strong associative or symbolic heritage values have been obscured and can be revealed through removals, repairs and replacements..." In the instance of the Dowling House, the brick veneer was added after over the original wood siding, and has since been removed making the original wood siding visible. Further, a key element of the designation is because it was the birthplace of Frank Dowling, first mayor of Streetsville in 1962. Following his birth at this site, apparently the family moved elsewhere. Informal information has indicated that the house did not have the brick veneer at the time of Frank Dowling's birth in the house, and when it was a farm at that time.

Original development plans prepared for the project called for retention of the house in its present location and integration into the planned retail center. In the interim, site regrading has occurred by another development company to the north, west and east sides of the property for new industrial development, revising the surrounding grades relative to this retail property and creating a situation where extensive retaining walls would be required to accommodate the new retail center as well as the heritage house for the planned development. Therefore, the site grading and servicing consultant, Skira and Associates, strongly recommended that the grades of the entire site be brought in conformance with the new development to the north, west and east of the property, requiring a change in grade for the heritage house. In

discussions with the owner of the property and the consultant team it was determined that, because the house would have to be temporarily removed from its existing foundation to accommodate the regrading, at least temporary moving of the house to the southwest corner of the property would allow for this regrading to be accomplished, and that permanent relocation of the house to this area would make it more visible as a stand-alone heritage property. A revision has been made to the Site Plan and submitted to Mississauga Planning Department for approval reflecting this change in site plan location of the heritage house, with it still located on the original property.

Damage to the house opened up the wall construction to indicate clearly that the brick veneer which had been added over the original wood siding was unstable, there is no insulation in the walls, there is no vapour barrier between the back side of the original wood siding, and the structural framing, and the original wood siding is clearly displayed as the original facing of the house, visible in the 1903 photograph. Existing mechanical and electrical systems must be totally replaced. Given this information, it is clear that, in order to make the building usable for any adaptive reuse, the size of the framing system needs to be addressed to provide proper insulation, a vapour barrier system should be added, extensive restoration of the wood siding and trims is to be provided, a new roof is required, and complete replacement of mechanical and electrical systems is required. Further, the lower portions of most of the existing windows are not original, and those that do exist are not thermal windows.

Clearly, present information indicates that retention of the Dowling House as a heritage property is not a simple, straightforward renovation/restoration project. The present status of the site plan, the existing house and the surrounding recent development indicate that there are **four possible options** for development of this property relative to the designated heritage house:

CONSERVATION PLAN OPTIONS:

- 1 Typically preferred as a first consideration in heritage preservation, the preferred option is to retain the existing house in its existing location and restore it. The initial plan for the plaza and the heritage house was to retain the heritage house in its present location with the assumption that the existing brick façade would remain in place. However, subsequent review of the building indicated that the brick veneer be removed, and that the original wood siding be retained and restored. To restore the house to its

original condition requires reconstruction of the existing damage, and refurbishment of the existing wood exterior for its long term conservation.

Given subsequent development to the north and west, the grades of surrounding properties have been revised substantially and large box buildings are being planned/developed for this portion of the property. If the heritage house were to be retained in its present locations, extensive retaining walls would be required to provide accessibility to both the retained heritage house and plaza to address the revised grades now surrounding the heritage house and the planned plaza if the grade immediately adjacent to the heritage house were to be retained. Fire separation of the wood structure from its proximity to the other buildings in the retail plaza would mandate the addition of a more extensive fire protection system. The house could, conceivably, be temporarily removed, site regarded, and then reinstalled on new foundations in its present location, but the other issues noted relative to this option would still remain to be addressed. This option is not recommended, and would be opposed by the owner of the property, due to substantial increased costs to implement the entire project, and complications due to the relationship of a wood structure so close to the remainder of the plaza.

- 2 A Second option is to relocate the existing original house from its present location to the southwest corner of the property, on a new properly constructed foundation with substantial restoration of the exterior of the house, and complete reconstruction of the interior to bring it to present building code standards for commercial use. An assessment would be made regarding the possible reuse of existing plank subflooring and timber basement framing, supplemented with new construction materials where required to make the interior spaces usable. Required restoration would be performed to address repairs to the damaged building, damage that has occurred due to improper maintenance over the past century or more, provision of required insulation and vapour barrier and windows, and restoration of the existing wood exterior siding and trims to allow the building to be maintained and conserved properly over time. Mechanical and electrical systems would require replacement. A new concrete foundation would be provided at the new location on the property, and exposed portions of the foundation would have the existing Credit Valley

stone applied. This option is preferred by the consultant team as well as the owner.

- 3 A third option is to donate the house in its entirety to some other owner or the City of Mississauga for relocation to some new, as yet undetermined site. Or, the existing structure could be systematically dismantled, retaining all heritage exterior elements, to be donated for use elsewhere. This option is not recommended, and would likely be opposed by the City.
- 4 A fourth option would be to utilize the existing documented plans, updated with recent information regarding the original wood siding, and provide this data in a public archive. The building would then be demolished, and an information plaque could be added in the public right of way denoting the former house and its heritage significance to the City of Mississauga. This option is not recommended, and would be opposed by the City.

Given the planned redevelopment of the property, and the present condition of the heritage house, the consultant team and the property owner have reached the conclusion that the optimum approach for the project and for the designated heritage building is **Option 2: retain the building on the original property, but relocate it to the southwest corner of the remaining parcel of original property, and restore the building in this new location to its original form and finish.**

Following is a further description of this Conservation Plan. In the process of this work, the building will be brought to meet today's Ontario Building Code with a medium and long term conservation plan.

3.0 DOCUMENTATION OF RESOURCE AND OUTLINE OF PROPOSED DEVELOPMENT

Detailed documentation of the existing building has been completed by MW HALL CORPORATION + Caricari Lee, architects, including measured record drawings of the exterior elevations, floor plans, and photographs of the heritage building. These documents were submitted as part of a Supplemental Heritage Impact Statement, and are available for archival purposes. A 1903 photograph, included in the original Heritage Impact Statement, clearly shows the house with original wood siding, the original configuration, and with windows and doors essentially as indicated in the measured record drawings. Following relocation of the building, and prior to restoration, further documentation will be done by MW HALL CORPORATION + Caricari Lee, architects, and a determination made as to how to best retain/restore/maintain the exterior wood

siding and trims in their original configuration. As a result of this reporting, a more specific plan of restoration/rehabilitation will be provided to the construction contractor selected to perform the work.

Schedule 'B' to City of Mississauga By-Law 0249-2010, the official designation of the heritage property, provides:

- Description of Property
- Statement of Cultural Heritage Value or Interest
- Description of Heritage Attributes.

Rehabilitation/Restoration of the building will retain the elements of the building which are of Cultural Heritage Value, and those listed in the Description of Heritage Attributes to the maximum extent possible. The purpose of this Conservation Plan is to establish the most appropriate manner in which the Heritage Attributes of the Dowling House at 2285 Britannia Road are to be retained and restored. The Conservation Plan involves:

- Short Term Plan, to address shoring/preservation of endangered heritage assets and to relocate the building to its new location on the property.
- Medium Term Plan, to address how to best conserve/restore/reuse/maintain the heritage assets and to incorporate them into a sound structure on the site.
- Long Term Plan for monitoring/addressing appropriate maintenance of the heritage resources and attributes, post development for long term conservation.

4.0 SHORT TERM CONSERVATION PLAN

The Short Term Conservation Plan should be implemented as soon as possible. This will involve installation of bracing in preparation for relocation, and moving the house from its present foundation to its planned new location, and to establish it on a newly constructed foundation. The property is presently made generally safe from further damage by the addition of temporary bracing and has been fenced off to prevent entry. A meeting was conducted on site with Laurie McCulloch, building relocation contractor, IMS Contractors, a company familiar with heritage building restoration, plus City of Mississauga Heritage Coordinator Elaine Eigl, Mark Shoalts,

consultant to City of Mississauga, the property owner, and Mark Hall, Heritage Preservation Architect. All involved felt that the house could be moved immediately, once proper preparation is made by the relocation contractor to brace the building for relocation, once approval has been received from City Council to relocate the house, and once the required heritage permits are received for alteration and repairs.

According to the Designation Statement, heritage building components which must be considered for retention and restoration, include the following:

- Its shape and form, including rectilinear footprint, its steeply pitched roof and centrally placed pointed gable dormers on each face.
- Its original window and door openings, their size, shape, form. [the Designation Statement also includes ' brick voussoir headers', however as building reverts to earlier original, intact wood siding, we would work with the original wood framed openings]
- Its window surrounds and sills, reverting to wood façade
- The transom above the door
- Credit Valley Stone foundation
- [Brick veneer is listed, but has been determined to be a more modern addition over the original wood siding]
- [Decorative brick diamond pattern in south face is listed, but we would be restoring the original wood façade, so this should be documented only]
- The roof form and pitch
- Setback from road [but in the new planned location with greater visibility]
- Location near the rail junction, for which it was originally named.

Heritage significant exterior materials to be carefully retained include the original wood siding, trims, and the remaining original windows, if salvageable. As the original windows are not thermal windows, and there are excellent available suppliers of windows which replicate the original heritage fabric, it may be appropriate to use the existing windows as a template for replica windows, with trims, and the use of SDL mullion and muntin bars [with mandatory spacer bars] to replicate the original

fenestration. A determination of whether to reuse the existing gable end windows will be made by the preservation architect.

From the original 1907 photograph, there is apparently a chimney at the front of the house, in the projecting through the roof in back of the front wall. Further study is to be made to determine from existing roof framing the size and exact location of this chimney, and to have it reconstructed as part of the restoration process.

5.0 MEDIUM TERM CONSERVATION PLAN

The Medium Term Conservation Plan will be implemented once approval has been received to relocate the house, and once heritage and building permits are in place. It is our understanding that, based upon this revised Conservation Plan, staff will work to expedite the report and the permits as quickly as possible. Work as follows will then begin:

- 1) Photograph the existing building with the rear addition removed, completion of masonry removal and to establish the original façade elements in place, including trims existing and missing, sills, and corner trim for the siding.
- 2) Provide an updated record set of drawings for the house showing the original wood siding and trims, as available.
- 3) Confirm location of all existing exterior siding, windows, and trims.
- 4) Revise the existing Record Drawings of the house to reflect the original wood siding, details, and chimney indicated in the available 1907 photograph of the house.
- 5) MW HALL CORPORATION+Caricari Lee Architects to prepare construction permit drawings and specifications for renovation of the heritage house and obtain building permit, incorporating heritage elements retained. Research to determine the original chimney shown in the 1903 photograph of the building, and restore this feature to the house
- 6) Construct a new basement/foundation for the heritage house in the new location, designed to accept the support platform steel.
- 7) Work with McCulloch Movers to get the house moved
- 8) Contractor to restore the house on the southwest corner of the site, with retention of as much of the original wood siding, wood trims, sills, as available for reuse. [This siding will likely require refurbishment and perhaps treatment for long term preservation, and the work can be redone prior to initiation of reconstruction.

Replication will be required for those elements of siding and trims and other wood elements of the exterior which are beyond repair/restoration for reuse.] The following is a list of restoration elements:

- a. Restore damaged wall, including replication of damaged siding
- b. Construct interior wall to meet OBC, including Tyvek, 2" steel studs, isocynaric insulation, moisture barrier, gyp interior and trims.
- c. Construct new stair to basement and second floor
- d. Add 2 pc. bath to either main or second floor [location to be determined]
- e. Provide new front and rear entry doors with security, compatible with heritage building
- f. Provide new mechanical (plumbing, HVAC) and electrical systems for commercial/retail store use.
- g. Finish and paint exterior with 'milk paint' per heritage colours
- h. Provide new cedar shake roof and period correct rainwear, likely lead coated copper
- i. Reconstruct heritage masonry chimney at front and rear of house.
- j. Salvage and install veneer at exposed basement walls, utilizing the existing Credit Valley stone from existing foundation location.
- k. install landscape and walks for heritage house

9) Where existing windows are determined by heritage architect to not be original to the house, provide replicated wood windows with thermopane configuration, and replica wood doors based upon available historic photographs [including the original 1907 photograph] compared against existing original windows, and information about buildings constructed in the original era of the house. Many of the original windows no longer exist.

6.0 LONG TERM CONSERVATION PLAN

The relocated and restored house, while meeting present Ontario Building Code standards, will be incorporating a number of heritage materials which will require special attention to conservation and maintenance that preserves the original materials as well as the overall property and site. Particularly regarding the finishing of wood materials, any maintenance must maintain the original character defining elements of these materials as well as their preservation. The preservation architect [MW HALL

CORPORATION] is to provide specifications for finishing, maintenance and repair of heritage elements to be retained by property owners. The specifications for maintenance of the heritage building will become part of the agreement between property owner and the city, and shall be noted on title documents. Further, the new retail center, including the heritage house, will be professionally managed, and exterior maintenance, and repair of all structures and site work will be maintained to the highest standards. However, the heritage property will be provided special attention as a result of the interests in the property by the City of Mississauga.

The reconstructed/restored heritage building will be a standalone property as an adaptive reuse building within the new retail center, in the prominent location at southwest corner of the property. Specifications for signage will be established by the preservation architect, in association with City staff, and will be controlled in keeping with its status as a heritage property and the character defining elements of the building. A heritage easement will be prepared by City of Mississauga for the property in favour of the City of Mississauga. In exchange for the commitment to the heritage easement, a tax break / incentive to the owners should be established to provide for the added burden of conservation costs and to assure active participation by the property owner. The owner would be required to obtain approval from the Heritage Coordinator of the City of Mississauga to make any changes to the façade of the building for any reason. Further, with this façade easement, the property will be required to be maintained under the cognizance of the Heritage Coordinator.

It would be appropriate to provide an information plaque on the property, either on the heritage building, or on the property adjacent to the house, describing the fact that it is a heritage property, and the history of the property. The reconstructed property will be maintained as a designated historic building in the City of Mississauga.

END OF REPORT

APPENDIX

Site Plan showing planned development with Heritage House

Record drawings of Dowling House, DRAFT identification of heritage elements to be conserved.

Demolition Plan, dated 25 March 2010

Ground Floor Demolition, dated 25 March 2010

Original perspective rendering of planned development

Structural Investigations Report, Damage to Heritage Home, 18 August 2010

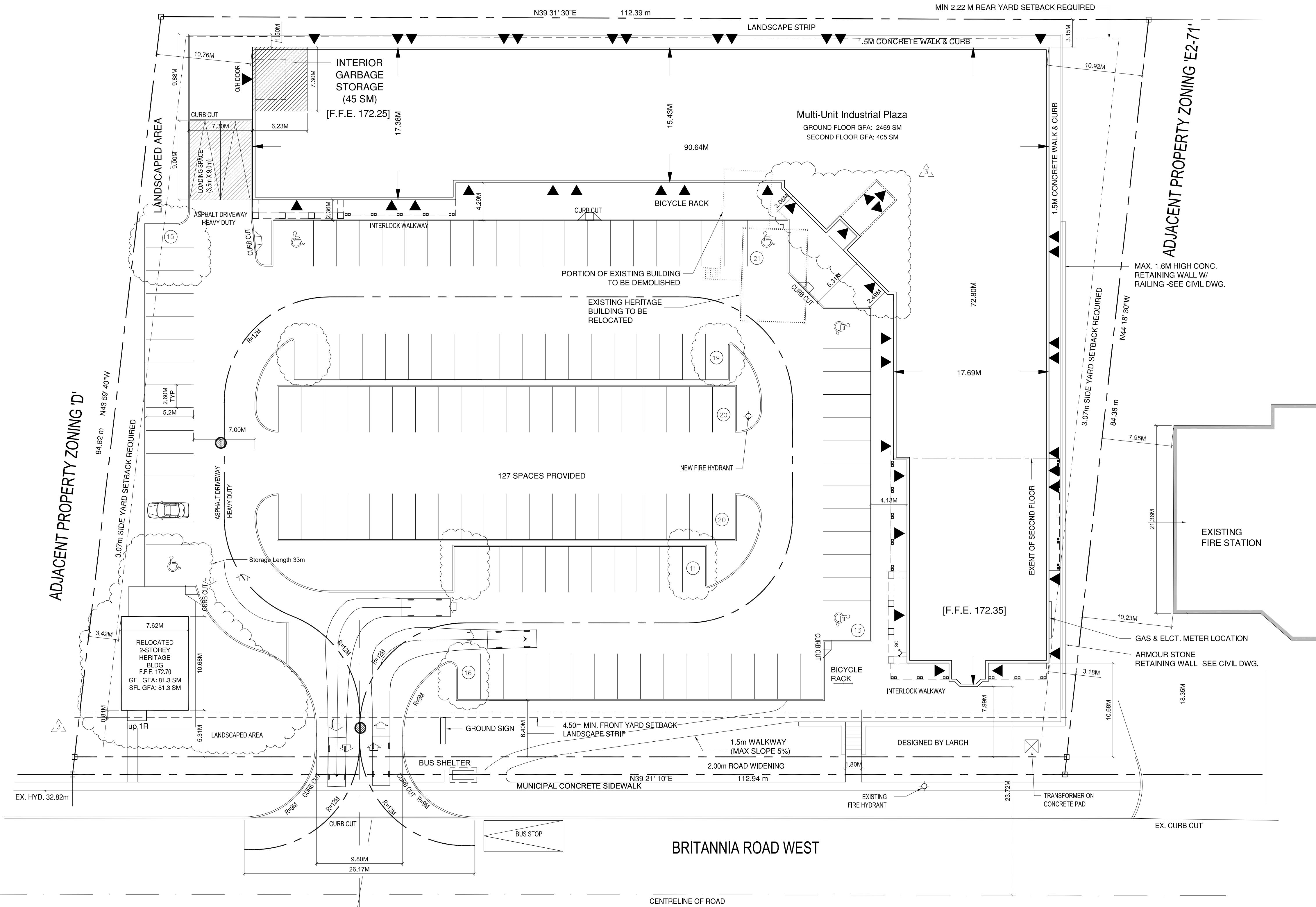
Shoalts Bros. Const. Ltd Report, 2285 Britannia Rd.W., Mississauga, September 27, 2010

Building Relocation Contract Proposal, Laurie McCulloch Building Moving, 7 April 2011

Photographs of Dowling House as of 22 April 2011

Mark Hall, Curriculum Vitae

ADJACENT PROPERTY ZONING 'D'



BRITANNIA ROAD WEST

CENTRELINE OF ROAD

ADJACENT PROPERTY ZONING 'D-1'

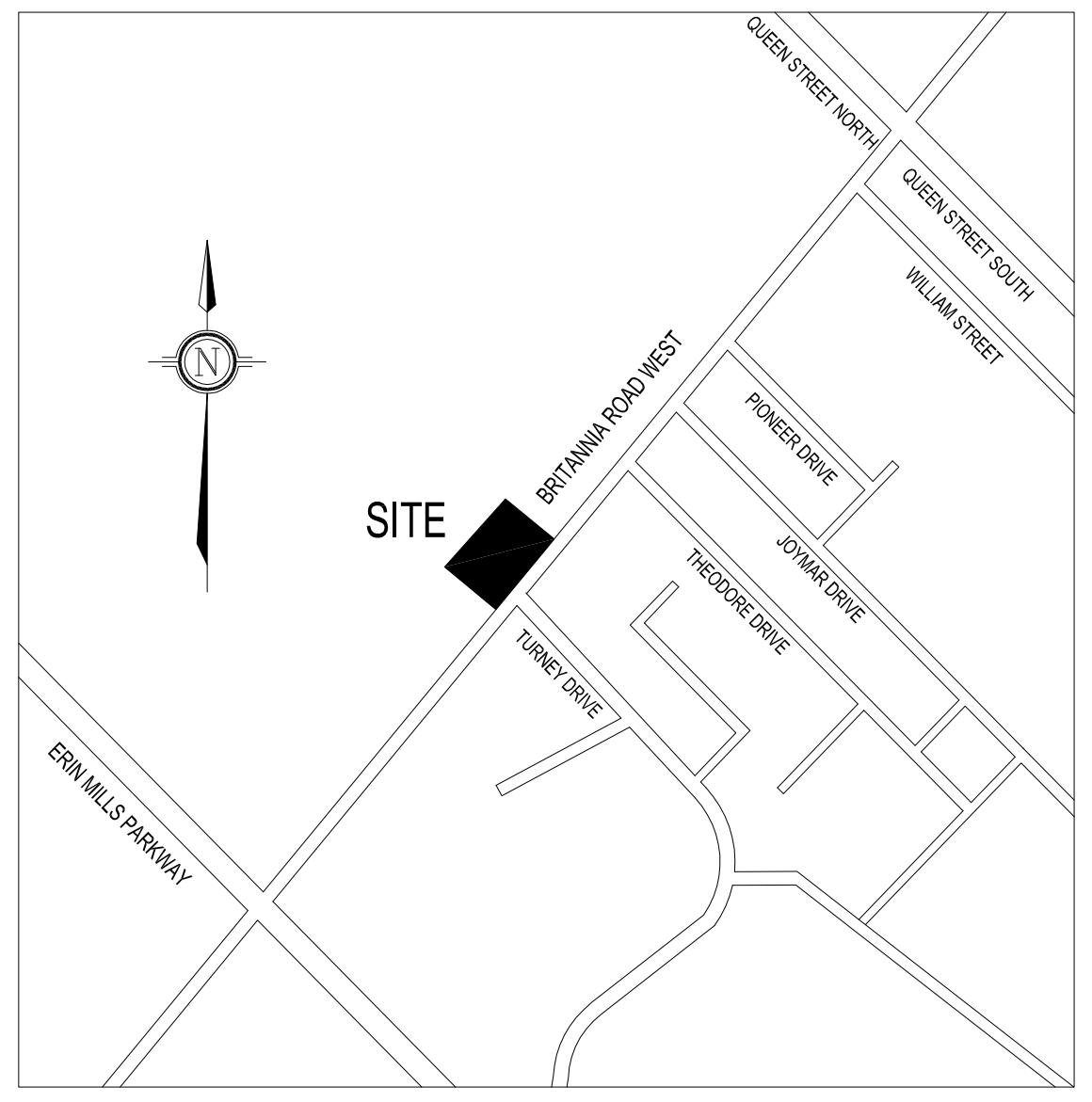
ADJACENT PROPERTY ZONING 'R3' & 'RM2-43'

FOR GRADING REFER TO SITE & GRADING PLAN
(DRAWING 205-M123 PREPARED BY SKIRA &
ASSOCIATES LIMITED)

LEGEND

- LS LIGHT STANDARD
- ▲ ENTRANCE / EXIT
- ▽ OVERHEAD DOOR
- ⊙ CATCH BASIN
- SC SIAMESE CONNECTION
- HEAVY-DUTY ASPHALT

KEY PLAN



SITE STATISTICS

OWNER:		JASRICO FINANCIAL INC.	
APPLICANT:		GREG DELL & ASSOCIATES 75 BRISTOL ROAD, EAST MISSISSAUGA, ON L4Z 3P2 TEL: 905-615-0614 FAX: 905-615-8903 CEL: 647-298-0614 E-MAIL: gregdell@bellnet.ca	
SITE PLAN APPLICATION NUMBER:		SP 06/222 W11 (related file numbers OPA/OZ 04/030, OPA/OZ 06/022)	
EXISTING ZONING:		E2-89 EXISTING	
MUNICIPAL ADDRESS:		2285 BRITANNIA ROAD WEST, MISSISSAUGA	
LEGAL DESCRIPTION:		PART OF LOT 6, CONFESSION 5 WEST OF HURONTARIO STREET, CITY OF MISSISSAUGA	
SITE AREA:		0.97 HA	
NET SITE AREA (AFTER LAND DEDICATION):		0.86 HA	
BUILDING AREAS:		BUILDING AREA RETAIL GFA OFFICE GFA GLA	
NEW RETAIL PLAZA:		2469 SM 2469 SM 0 SM 2320.5 SM	
GROUND FLOOR:		405 SM 0 SM 405 SM 345 SM	
SECOND FLOOR:		2674 SM 2469 SM 405 SM 2665.5 SM	
TOTAL:		51.3 SM 51.3 SM 81.3 SM 81.3 SM	
RENOVATED HERITAGE HOUSE:		81.3 SM 0 SM 81.3 SM 81.3 SM	
GROUND FLOOR:		162.6 SM 0 SM 162.6 SM 162.6 SM	
SECOND FLOOR:		162.6 SM 0 SM 162.6 SM 162.6 SM	
TOTAL:		162.6 SM 0 SM 162.6 SM 162.6 SM	
PARKING REQUIRED:		RETAIL PARKING @ 5.4/100 SM OF GLA (2320.5 SM) 125 CARS	
OFFICE PARKING @ 3.2/100 SM OF GLA (567.6 SM) 18 CARS		TOTAL PARKING REQUIRED: 143 CARS	
PARKING PROVIDED:		STANDARD SPACES (@ 2.6 M x 5.2 M) 130 CARS	
HO SPACES (@ 4.4 M x 5.2 M) 9 CARS		TOTAL PROVIDED: 139 CARS	
LOADING SPACES REQUIRED: 1 SPACE (@ 3.5 M x 9 M)		LOADING SPACES PROVIDED: 1 SPACE (@ 3.5 M x 9 M)	
SETBACKS:		REQUIRED: PROVIDED:	
FRONT YARD (BRITANNIA ROAD): MIN. 4.50 M		5.31 M	
REAR YARD: MIN. 2.22 M		3.15 M	
SIDE YARD (NORTH): MIN. 3.07 M		3.16 M	
SIDE YARD (SOUTH): MIN. 3.07 M		10.76 M	
PAVED AREA:		3908 SM (40.2%)	
LANDSCAPED OPEN SPACE: 5 M REQUIRED		6.4M PROVIDED 31.7%	
COVERAGE: 2585 SM (26.6%)		31.3%	
FLOOR AREA RATIO:		31.3%	
DECLARATION:		I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER (SP 06/222 W11)	
ARCHITECT'S SIGNATURE:		MARK W. HALL CORPORATION	
STANDARD MUNICIPAL NOTES:		ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES	
THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT		AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE	
ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK		ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE	
ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO ISSUANCE OF BUILDING PERMITS		ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT	
FIRE ROUTES SHALL BE DESIGNATED AS PER BYLAW 1036-81 AS AMENDED PRIOR TO OCCUPANCY OF BUILDING		ALL FIRE ACCESS ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIALS SUCH AS ASPHALT, CONCRETE, OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD NOT LESS THAN 11,363 KG PER AXLE AND HAVE A CHANGE OF GRADIENT OF NOT MORE THAN 1 IN 12.5 (8%) OVER A MINIMUM DISTANCE OF 15M	
GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE		PARKING SPACES RESERVED FOR THE PERSONS WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANT'S EXPENSE, IN ACCORDANCE WITH THE APPLICABLE BY-LAW	
THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS		ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES	

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DATE	REVISION
02 OCT 08	GENERAL REVISIONS
20 NOV 08	GENERAL REVISIONS
07 JUN 11	GENERAL REVISIONS

07 JUN 11	RE-ISSUED FOR SPA
12 DEC 08	RE-ISSUED FOR SPA
27 OCT 08	ISSUED FOR REVIEW
10 OCT 08	ISSUED FOR REVIEW
02 APR 08	ISSUED FOR SPA
DATE	ISSUE

ARCHITECTS:
MW HALL CORPORATION

Toronto Office:
2 CROYDON ROAD
TORONTO, ON M6C 1S7
TEL: 416-920-8105
FAX: 416-901-0530



SITE PLAN APPLICATION No.: SP 06/222 W11	
OWNER: Jarisco Financial Inc.	
APPLICANT: GREG DELL & ASSOCIATES 75 Bristol Road, East Mississauga, ON L4Z 3P2 TEL: 905-615-0614 FAX: 905-615-8903 E-MAIL: gregdell@bellnet.ca	
PROJECT NAME: Multi-Unit Industrial Plaza 2271 & 2285 Britannia Road West Mississauga, ON	
DRAWING TITLE: SITE PLAN	
SP 06/222 W11	

TRUE NORTH		BUILDING NORTH	
SCALE: 1:250		REVISION NO.	
PROJECT NO. 07031		DWG. NO.	
DATE: MARCH 2008		DRAWN: JCDD	
CHECKED: MWH		A100	



HERITAGE HOUSE RECORD DRAWINGS

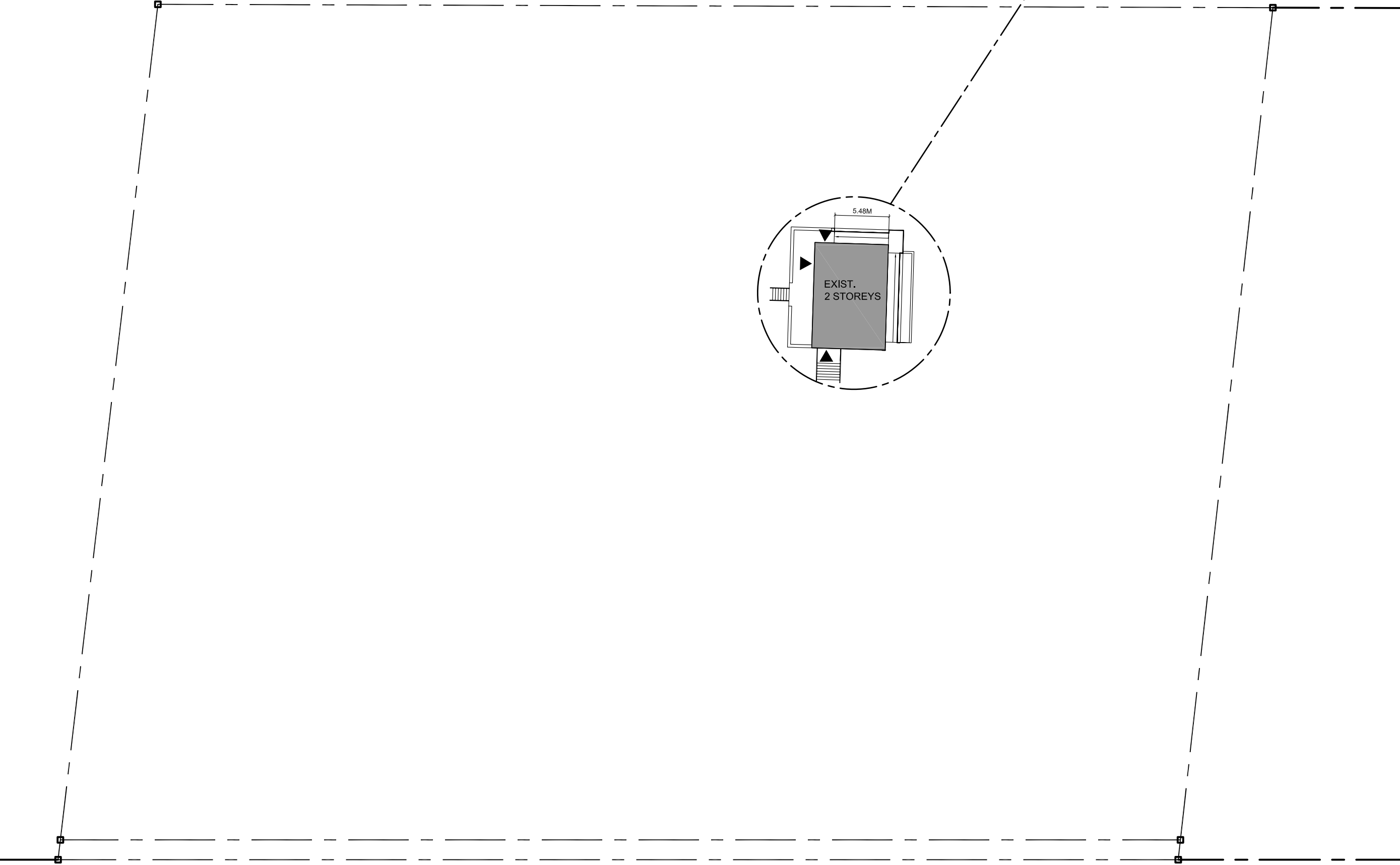
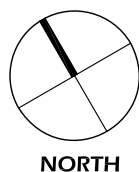
2285 BRITANNIA ROAD
MISSISSAUGA, ONTARIO



1

LOCATION MAP

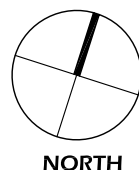
SCALE: N.T.S



2

SITE PLAN

SCALE: 1/32" = 1'-0"



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DATE	REVISION

DATE

ISSUE

ARCHITECTS:

MW HALL CORPORATION

Toronto Office:
2 CROYDON ROAD
TORONTO, ON M6C 1S7

TEL: 416-920-8105
FAX: 416-901-0830



caricari lee architects

2 Croydon Road
Toronto, ON M6C 1S7
T: 416.962.9620
F: 416.901.0830
E: info@caricari.com

PROJECT NAME:

Heritage House
RECORD DRAWINGS
MWH Britannia Road

PROJECT LOCATION:

2285 Britannia Road West
Mississauga, ON

DRAWING TITLE:

LOCATION MAP
SITE PLAN

SCALE

AS SHOWN

PROJECT NO. 07031

DATE SEP. 2010

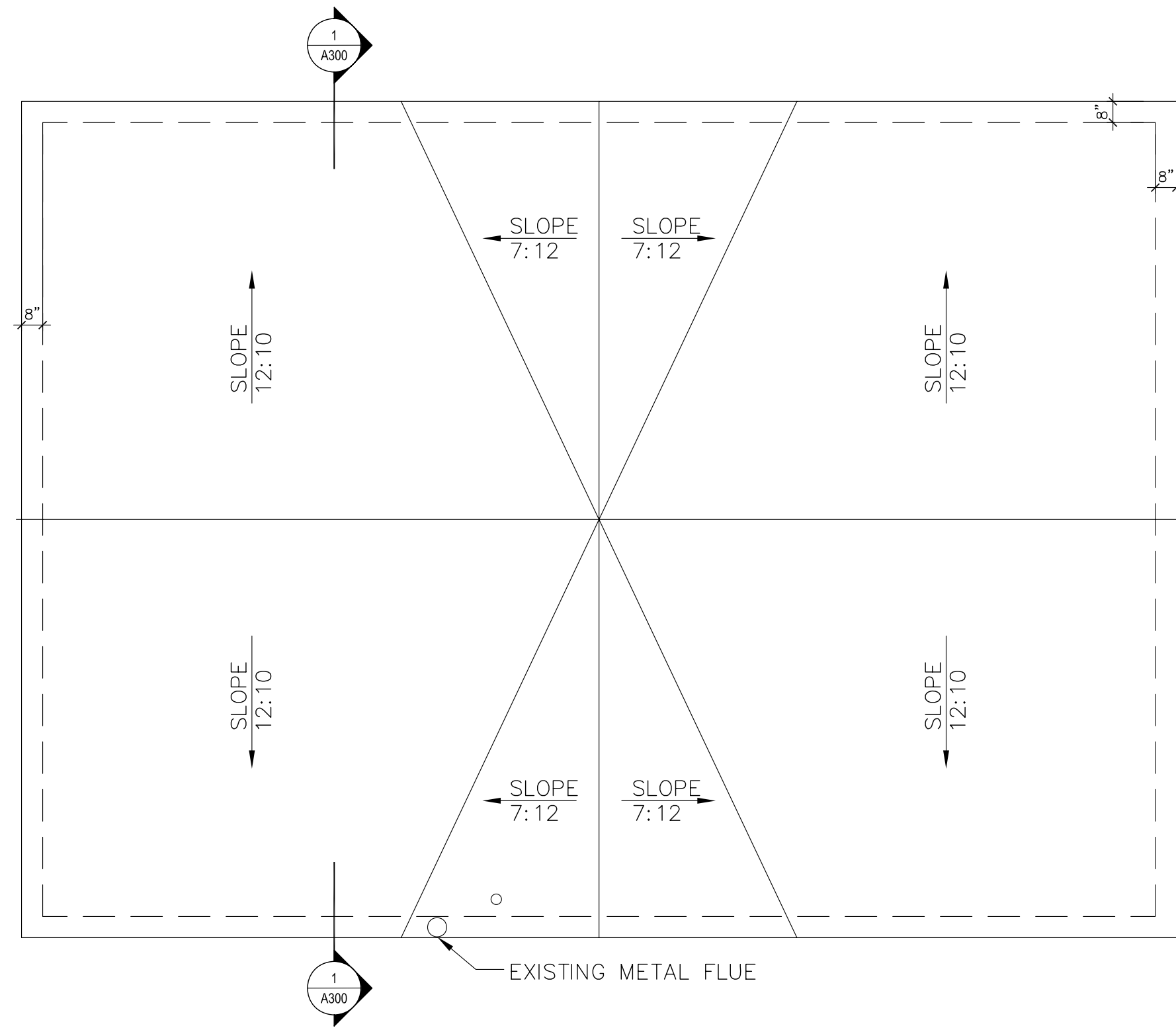
DRAWN HC

CHECKED MWH

REVISION NO.

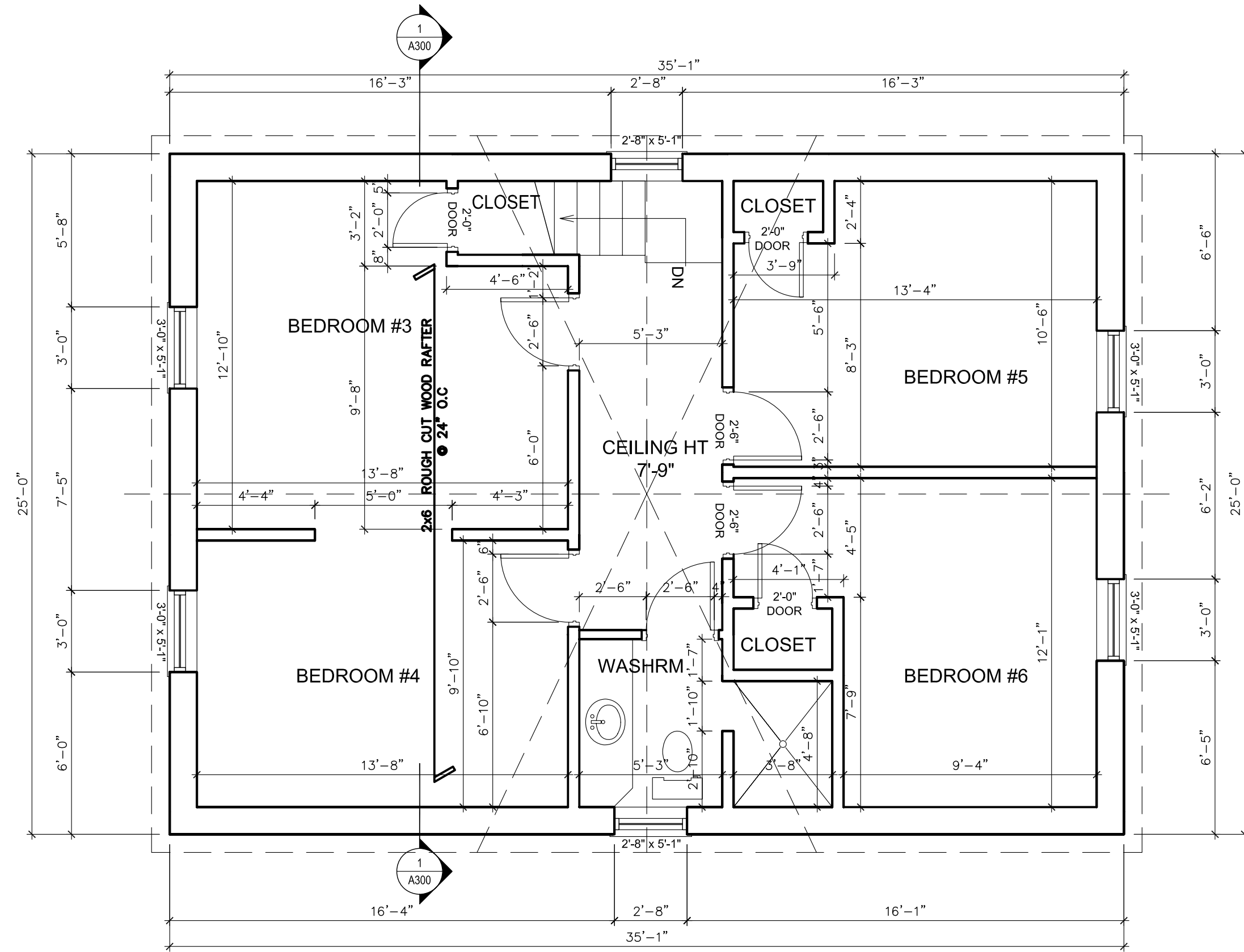
DWG. NO.

A001



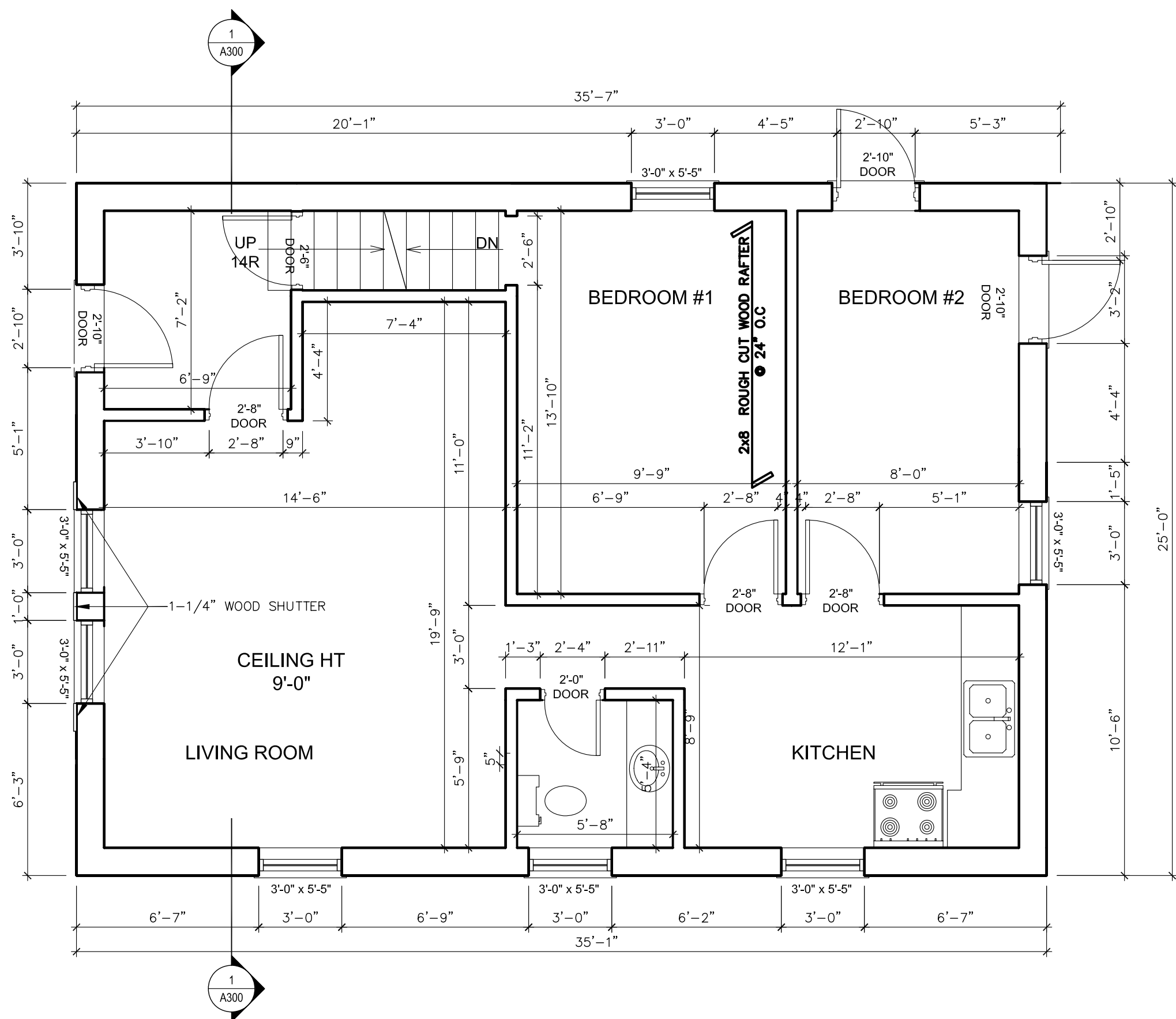
4 ROOF PLAN

SCALE: 1/4" = 1'-0"



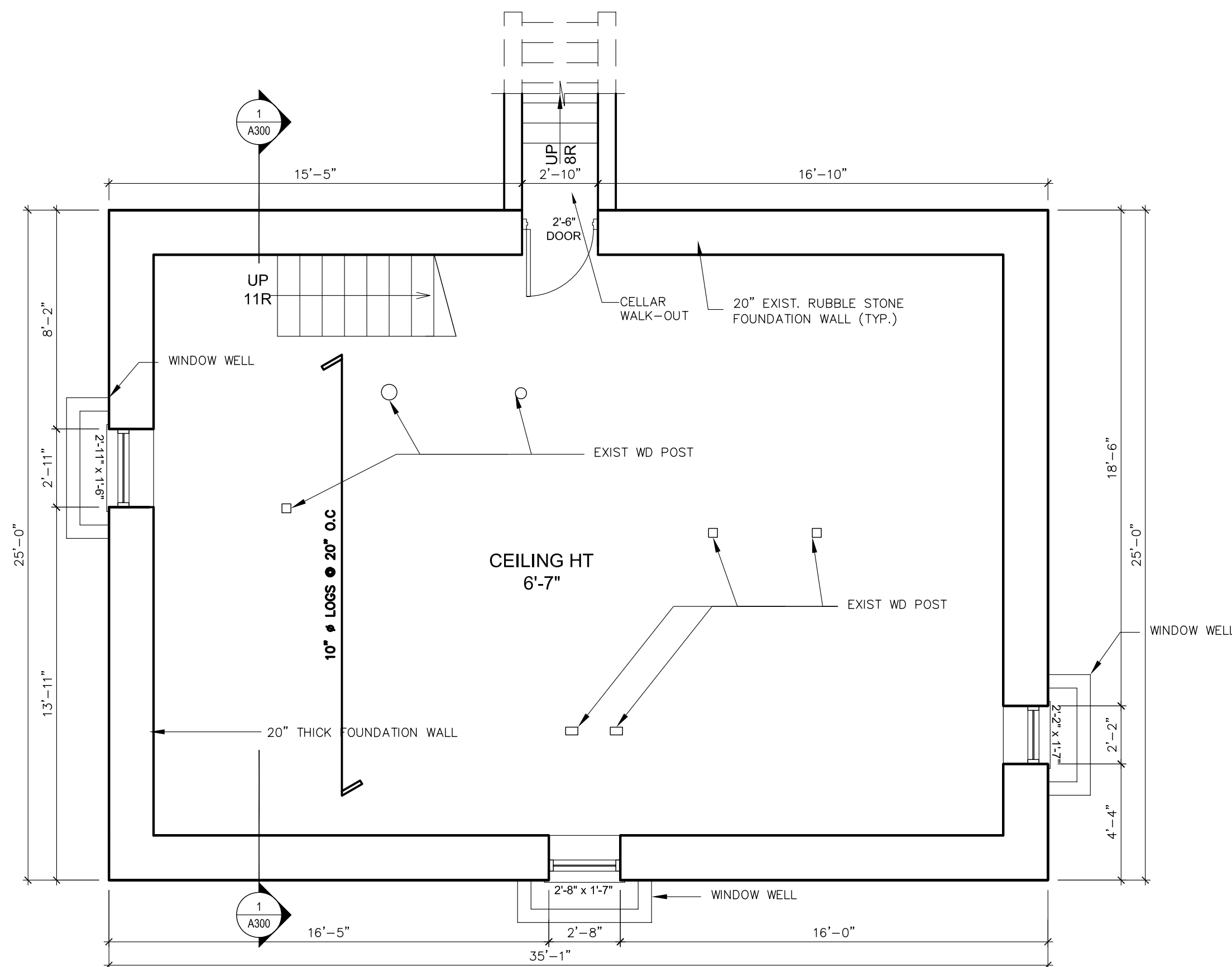
3 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Toronto Office:
2 CROYDON ROAD
TORONTO, ON M6C 1S7
TEL: 416-920-8105
FAX: 416-901-0830

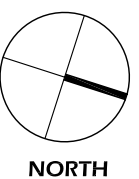
ONTARIO ASSOCIATION
OF
ARCHITECTS
MARK W. HALL
LICENCE
4383

caricari lee architects
2 Croydon Road
Toronto, ON M6C 1S7
T: 416.962.9620
F: 416.901.0830
E: info@caricari-lee.com

PROJECT NAME:
**Heritage House
RECORD DRAWINGS
MWH Britannia Road**

PROJECT LOCATION:
**2285 Briatannia Road West
Mississauga, ON**

DRAWING TITLE:
FLOOR PLANS



SCALE: 1/4" = 1'-0"	REVISION NO.
PROJECT NO. 07031	DWG. NO.
DATE: SEP. 2010	
DRAWN: HC	
CHECKED: MWH	

A100

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DATE	REVISION

--	--

ARCHITECTS:
MW HALL CORPORATION

Toronto Office:

TEL: 416-920-8105
FAX: 416-901-0830

MARK W. HALL
LICENCE
1999

4303

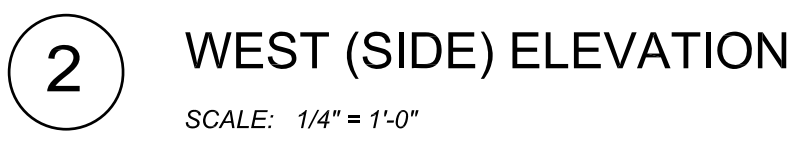
2 croydon road
toronto, on, m6c 1s7
t: 416.962.9670

t: 416.961.0030
e: info@caricarilee.com

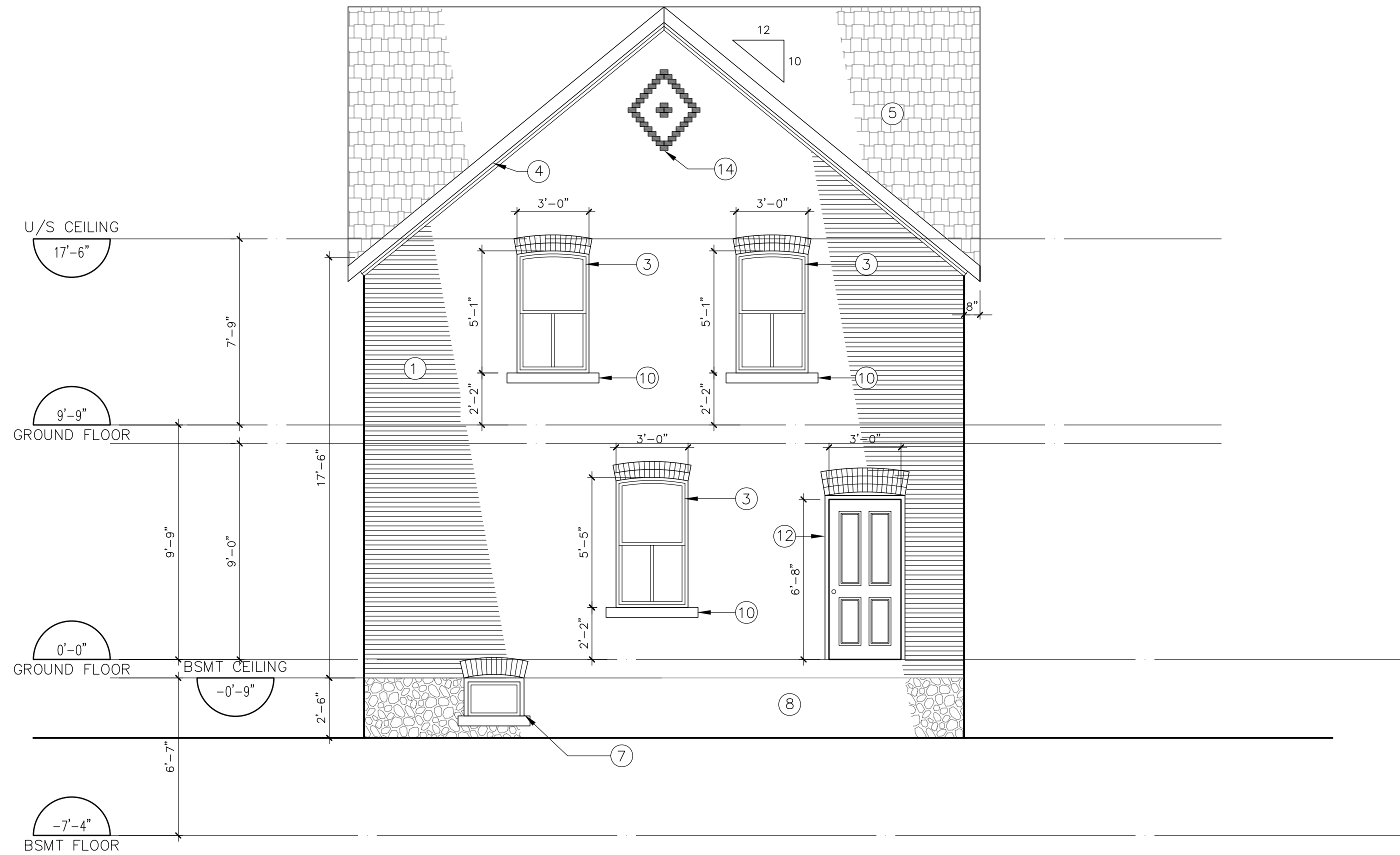
Heritage House
RECORD DRAWINGS
MWH Britannia Road

DRAWING TITLE:

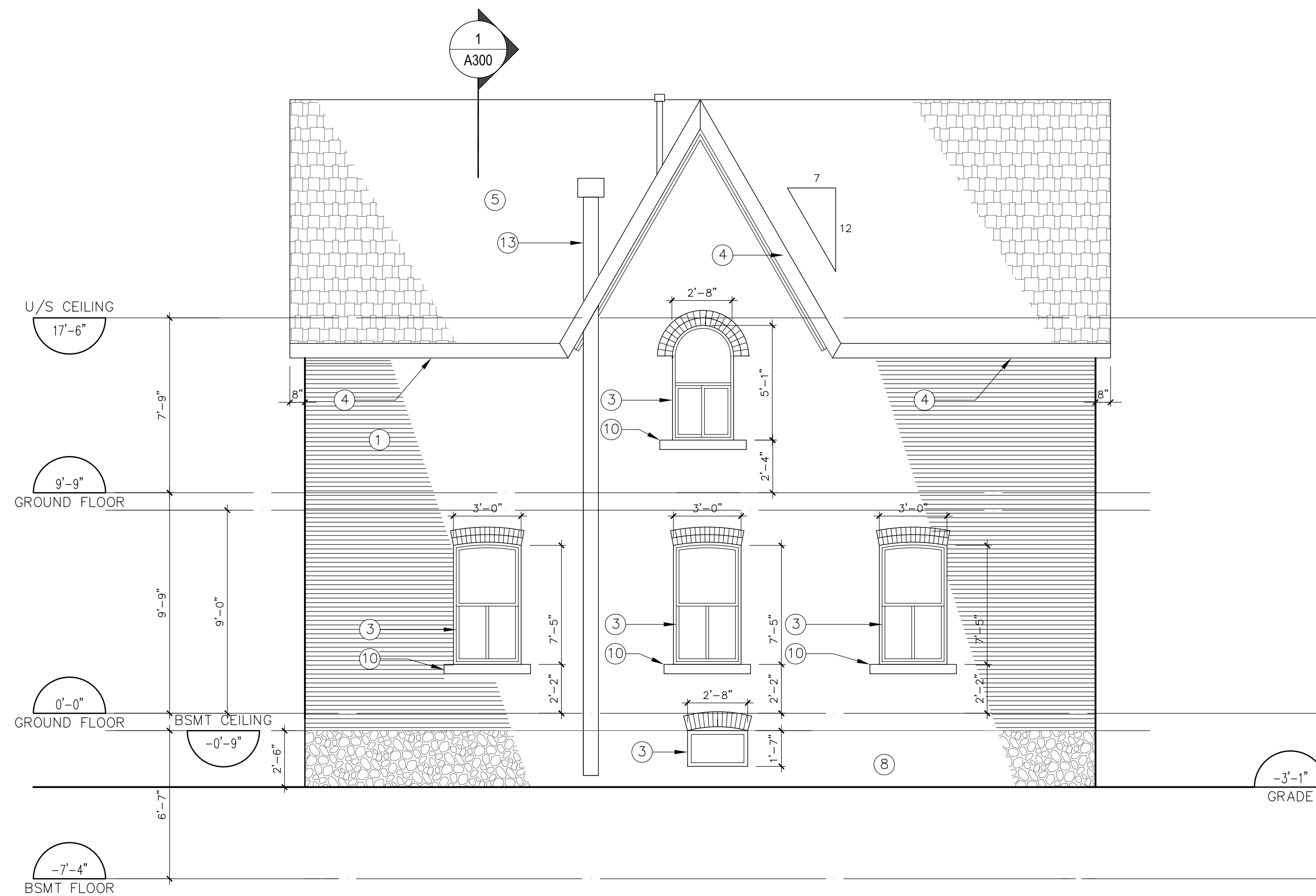
ELEVATIONS



- LEGEND
- ① BRICK MASONRY
 - ② WOOD SHUTTERS
 - ③ WOOD WINDOWS
 - ④ 1x6 WOOD FASCIA
 - ⑤ ASPHALT SHINGLE ROOF
 - ⑥ CONC. DECK
 - ⑦ 2x4 WOOD TRIM
 - ⑧ RUBBLE STONE FOUNDATION WALL
 - ⑨ BRICK ARCH - TYP
 - ⑩ STONE SILL - TYP
 - ⑪ WOOD POST
 - ⑫ WOOD DOOR
 - ⑬ MTL FLUE



2 NORTH (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH (REAR) ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND	
1	BRICK MASONRY
2	WOOD SHUTTERS
3	WOOD WINDOWS
4	1x6 WOOD FASCIA
5	ASPHALT SHINGLE ROOF
6	CONC. DECK
7	2x4 WOOD TRIM
8	RUBBLE STONE FOUNDATION WALL
9	BRICK ARCH - TYP
10	STONE SILL - TYP
11	WOOD POST
12	WOOD DOOR
13	MTL FLUE

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DATE	REVISION

DATE	ISSUE

ARCHITECTS:

MW HALL CORPORATION

Toronto Office:
2 CROYDON ROAD
TORONTO, ON M6C 1S7
TEL: 416-920-8105
FAX: 416-901-0830



PROJECT NAME:
**Heritage House
RECORD DRAWINGS
MWH Britannia Road**

PROJECT LOCATION:
**2285 Briatannia Road West
Missassauga, ON**

DRAWING TITLE:
ELEVATIONS

SCALE	3/16" = 1'-0"	REVISION NO.	
PROJECT NO.	07031	DWG NO.	A201
DATE	SEP 2010		
DRAWN	HC		
CHECKED	MWH		

Structural Inspections Limited . . . *ESTABLISHED 1973*

547 MAIN ST. EAST, UNIT 22
MILTON, ONTARIO
L9T 3J2

TEL: (905) 693-1864
(888) 388-5041
FAX: (905) 693-1896

August 18, 2010

Jasrico Financial Inc.
2285 Britannia Rd West
Mississauga, ON
L5M 2G6

CONTRACT: 7959: Ontario Motor Mart
2285 Britannia Rd West
REPORT: E10-08034: DAMAGE TO HERITAGE HOME

As requested by Mr. Baljit Mann the writer visited the above site on 17 August, 2010 to inspect the damage to the heritage home caused by the impact of a gravel truck which backed up into the south west corner of the building (photo 1).

Description of Structure

The house was originally a two storey frame building on a field stone foundation. We understand the present brick veneer was added in the 1950's. The veneer does not appear to have been fastened to the original sheathing with brick ties. Additions have been added to the rear of the building.

Description of Damage

The truck struck the south west corner. The large timber sill beam was snapped and the corner of the field stone foundation was pushed inward (photo 2). The next timber beam to the north has dropped. The brick veneer on the south wall from the corner to the west window and the west wall at the corner has collapsed (photo 3 & 4). Stepped diagonal cracking in the veneer extends from the collapsed areas to the second storey windows (photo 3 & 4). The door and one window were shattered. Brick has fallen from the arches above the second storey windows.

continued ...

CONTRACT: 7959: Ontario Motor Mart
2285 Britannia Rd West
REPORT: E10-08034: DAMAGE TO HERITAGE HOME

/2

The plaster work on the interior is badly cracked in the area of the masonry veneer collapse.

Comments

- 1) The quality of wood in the ground floor framing is generally in good condition.
- 2) The field stone foundation is in poor condition along the south wall even were not damaged by impact.
- 3) The brick veneer is not tied to the original wood sheathing.
- 4) The damage while localized is extensive and would require specialized knowledge and technique to remedy.

Remediation

Should remediation be considered, the following procedure would have to be followed:

- 1) Remove all damaged veneer, interior finishes and sawdust insulation
- 2) Replace damaged rim beam and jack up south west corner
- 3) Install steel beams to support and lift structure
- 4) Rebuild foundations
- 5) Lower home and replace veneer using brick ties
- 6) Replace damaged window sills, arches, doors, etc
- 7) Insulate and replace interior dry wall

Conclusion

Given the extent of the remedial work required it is unlikely that repair is economically justified unless a cultural grant could be obtained.

R.W. Featherstone, P.Eng.
President

RWF/ bff



CONTRACT: 7959: ONTARIO MOTOR MART
2285 BRITANNIA RD WEST
REPORT: E10-08034: DAMAGE TO HERITAGE HOME



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

Structural Inspections Limited . . . ESTABLISHED 1973

547 MAIN ST. EAST, UNIT 22
MILTON, ONTARIO
L9T 3J2

TEL: (905) 693-1864
(888) 388-5041
FAX: (905) 693-1896

August 18, 2010

JASRICO FINANCIAL INC
2285 BRITANNIA RD WEST
MISSISSAUGA, ON
L5M 2G6

CONTRACT 7959: ONTARIO MOTOR MART
2285 BRITANNIA RD WEST, MISSISSAUGA, ON

INVOICE E10-08015

DAMAGE TO HERITAGE HOME

REPORT

DATE	REPORT	BY	HOURS	RATE	TOT-HRS	ITEM	QUANT	RATE	TOT-ITEM
18-Aug-10	E10-08034	RWF	4	\$ 165.00	\$ 660.00	TRAVEL, SITE VISIT & REPORT			
						KMs	54	\$ 0.50	\$ 27.00

SUB TOTAL \$ 687.00

H.S.T. \$ 89.31

INVOICE TOTAL \$ 776.31

GST NO. 105047450

PLEASE QUOTE INVOICE NO. ON PAYMENT - THANKYOU

2% PER MONTH WILL BE CHARGED ON OVERDUE ACCOUNTS

SHOALTS
BROS. CONST. LTD.

P.O.Box 218, Fenwick, ON L0S 1C0 P 905-892-2110 F 905-892-2133
e-mail: shoalts@iaw.on.ca

November 2, 2010

Penny Young | Sr. Heritage Coordinator (A)
Culture Division | Heritage Planning
City of Mississauga, Heritage Planning
201 City Centre Drive, 9th Floor
Mississauga, ON L5B 3A3

Re: 2285 Britannia Rd. W. Mississauga

Dear Ms. Young:

Further to our emailed correspondence and telephone conversation regarding the feasibility of shoring and hoarding the Dowling House for the winter, the work would be relative straightforward and could easily stabilize the building for several months. As stated in my report, the existing framing is dimensional lumber and the shoring and hoarding (which can be parts of the same construction) would be constructed of similar materials. There has been damage to the foundation however for temporary support wood sills can be placed to support the balloon studs. As I indicated in my report, the loose and hanging brick must be removed, however the balance of the brick can remain in place until the final course of action has been determined.

In your email you indicated that there have been statements made concerning the possibility of termite infestation and damage in the structure. The building has a fairly high foundation wall with very little wood in proximity to grade, so is not a prime candidate for termite infestation, however I was not inside the house and cannot confirm or deny the presence of termites. Nothing that I saw indicated such a possibility but it cannot be ruled out without further investigation.

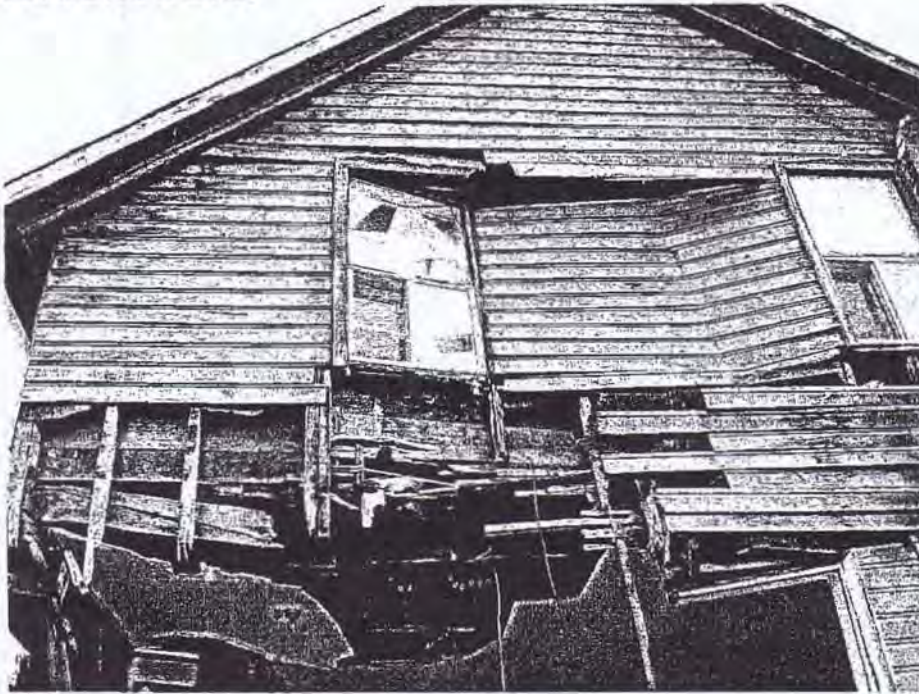
I do not believe that the building is in imminent danger of collapse and with a small amount of proper shoring and hoarding work it can be stabilized indefinitely. Should you require anything further, please do not hesitate to contact me.

Sincerely,

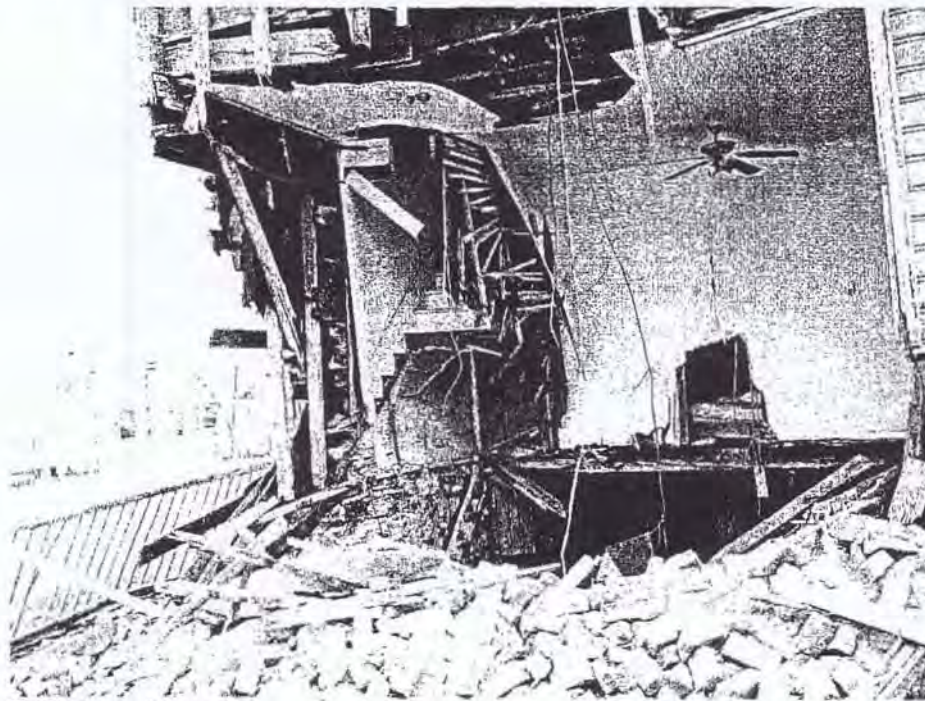


Mark Shoalts, P.Eng., CAHP

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BROS. CONST. LTD.



E) Second floor joists and exterior wall damage.



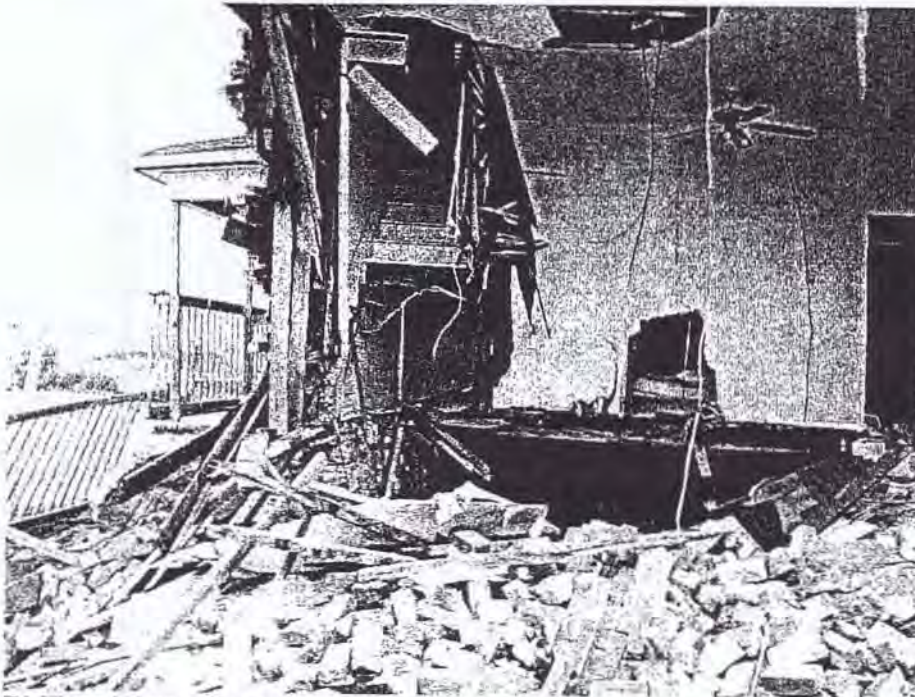
F) Stairs collapsed.

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C) Foundation damage.

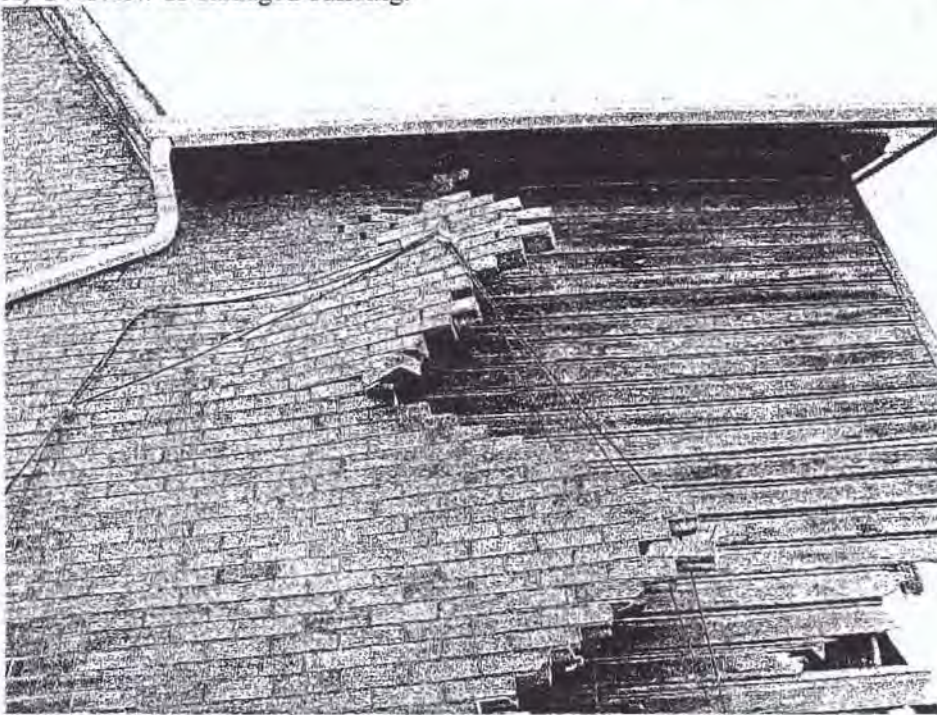


D) Floor joists collapsed.

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A) Overview of damaged building.



B) Brick in danger of falling.

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replaced by drywall already. The windows can be repaired or replicated; the interior trims including the stairs may be salvageable or could be reproduced. The brick veneer has sustained extensive damage and would certainly require additional bricks if it were reinstated. It would also require some retrofit ties to ensure the stability of the balance of undisturbed brick. Because it is a later addition, and because of the poor detailing at the window sills that would require remediation, it may be preferable to simply remove the brick from the complete house and restore the wood finishes. The siding is an unusual profile but it could be replicated by a specialty millwork shop. In our estimation, restoring the building to the condition that it was in immediately prior to the damage inflicted on it could be done for a budget of \$95,000.00 exclusive of taxes, design fees, and permits. The cost of removing the brick veneer and restoring the wood finishes would likely be comparable to the cost of restoring the brick, however the brick would require additional remedial work at each of the openings to correct the deficiencies in watertightness, and there should be remedial work done on the brick tie system, the total of which would likely exceed the cost of restoring the wood finishes. It must be pointed out that restoring the house to its previous condition is not the same as restoring the house to a desirable, useable condition, nor is it restoring it accurately to some previous point in its history. The future use of the building would dictate the actual course of work to be undertaken, and the details of the work to be done and the budget costs for the same are beyond the scope of this report.

I trust that this is satisfactory, please do not hesitate to contact me should you have any questions.

Sincerely,



Mark Shoalts, P.Eng., CAHP
Shoalts Bros. Construction Limited

Seberras Professional Services Ltd.

P.O. Box 673
St. George, Ontario N0R 1N0

Phone: 519 448-3565
Fax: 519 448-4801
Email: dseberras@hotmail.com

March 6, 2011

TO: Laurie McCulloch

CC: Elaine Egl, Heritage Coordinator
Sean Rudden, B.Eng.
Mark Hall OAA, MRAIC, FAIA, RPP, CAHP

FROM: David Seberras P.Eng. Firm BCIN: 30361

RE: Heritage House 2285 Britannia Road, Mississauga

Laurie, as a follow up to our site visit last week, we have agreed to work on the structural stabilization of the damage heritage house. The following procedure is being proposed and I will supervise the work and issue a Letter of Conformance with respect to the structural integrity of the building. Shop drawings will be provided as the work progresses.

The proposed procedure is as follows:

- (i) Stabilize the loose brick and install vertical bracing near the edge of the existing brick
- (ii) Material that is currently in the basement will be removed and usable historic materials will be recovered
- (iii) The first floor will be restored, after all materials have been removed
- (iv) The historic materials that have been recovered will be used to the fullest extent, on the ground floor
- (v) Jack posts will be used to support and level the second floor, followed by the replacement of all damaged wall studs
- (vi) Plywood will be used to sheeted with one-half inch thick fir plywood, to provide structural integrity, with the clap board exterior being installed at a later date



Laurie McCulloch
Building Moving and Mechanical

960 Taunton Road
Whitby, Ontario
CANADA, L1R 3L8
(905) 728-0884
(905) 743-0528 FAX

Wednesday, April 25, 2007

Mark Hall
Fax 1-416-920-8105

GREG DELL
FAXED
7 APR 2007
905 615 8903

FEASIBILITY REPORT

RE: 2285 Britannia Road

Background

The building is a two storey 1860's brick veneer approx. size 25' 4" X 35' with a gable end height of 26' to be moved on site to a location of your choosing. The veneer was added in the 1950's and will be removed along with the side porch and rear addition.

Site Preparation

The rear portion of building is to be demolished and brick removed by us. The foundation will be exposed at the existing site and the new site dug down to footing level.

We will take care of demolition and excavation but trucking of brick rubble, addition debris and foundation material will be done and paid for by others.

Moving

A series of holes are placed around the perimeter of the existing foundation to allow the placement of steel framework.

Two longitudinal beams are placed under building to support the load at 16' centres and rest on a series of cribbing piles. The building is shimmed tight to the steel framework and jacked free to allow removal of the basement walls.

A bolster beam and a set of dollies are placed under the building in a three point load system to allow the building to travel to the new location on site.

The building is raised to its desired elevation and the wheels and bolster removed.

Foundation

We will prepare and build the new foundation consisting of a 13 course 12' block foundation including parge, tar, stone, footings and floor.

Cost

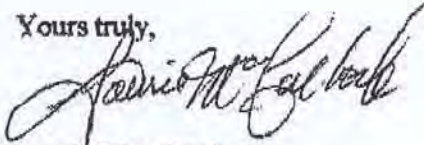
The cost for demolition, de-bricking, excavation, loading, relocation to new site and removing of equipment will be Eighty Thousand Dollars Plus GST.

The cost to design and build foundation will be Thirty Five Thousand Dollars + GST

This is payable in three draws. 50% Deposit when work commences, 25% when building is in new location and 25% when equipment is removed.

You are responsible for all necessary permits. I will provide Engineered drawings for the permits.

Yours truly,



Laurie McCulloch
Laurie McCulloch Building Moving

**Laurie McCulloch Building Moving
Historical Building Moves
Province of Ontario**

YEAR MOVED: CIRCA: DESCRIPTION:

Cullen Gardens & Miniature Village, Whitby

1986 Emporium	1867	Log Cabin
1987 Polly House	1807	Two Storey Frame
1988 Lynde House	1812	Two Storey Frame
1989 Langmaid House	1880	Two Storey Brick
1990 Anderson House	1885	Two Storey Frame
1991 O'Connors House	1890	Two Storey Brick
1992 Hastings House	1890	Two Storey Frame
1998/2004/2006 Pioneer Cabin	1860	Log Cabin
2001 Armstrong House	1860	One ½ Storey Brick

Markham Heritage Estates, Markham

1990 Pingle House	1890	Two Storey Frame
1991 Raymer House	1872	Two Storey Brick
1991 McQuay House	1853	One ½ Storey Brick
2003 Mustard House	1840	One ½ Storey Brick

Buttonville

1984 Brown House	1850	One ½ Storey Brick
1986 Stiver House	1880's	Two Storey Frame
1987 Calvert House	1876	Two Storey Frame
2003 Post Office	1890's	Two Storey Frame

Laurie McCulloch Building Moving Historical List cont...

Whitby

1988 Fothergill House	1870's	Two ½ Storey Brick
1990 Regency Cottage	1850's	One ½ Storey Brick
1999 Rowe House	1856	Two Storey Frame
2004 Station Gallery	1900's	Train Station

Mississauga

1989 Owen's Bayley House	1850's	One ½ Storey Brick
1989 Hwy 10 & Eglinton	1860's	Two Storey Brick
1996 McLure House	1830's	Two Storey Brick
1997 Davidson House	1830's	Two Storey Brick

Ajax

1992 Field House	1856	Two Storey Stucco
1999 McKay House	1854	Two Storey Stone

Newcastle

1975 Wright House	1880's	Two ½ Storey Brick
-------------------	--------	--------------------

Scarborough

1993 Pearse House	1869	Two Storey Brick
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Toronto

1993 Humewood Avenue House	1890's	Three Storey Brick
2004 Pease House	1843	Two Storey Brick
2006 Mount Sinai Façade	1920's	Two Storey Brick

Laurie McCulloch Building Moving Historical List cont...

Brantford

1993 Captain Joseph Thomas	1885	One Storey Frame
----------------------------	------	------------------

Westfield Heritage Village

1993 Bamberger House	1806	Two Storey Log
1999 Simcoe's Rangers Cabin	1790's	One ½ Log

Unionville

1987 United Church Manse	1860's	Two Storey Frame
--------------------------	--------	------------------

Scott Museum, Uxbridge

1987 Carmondy House	1860's	One ½ Storey Frame
1994 Quaker Meeting Hall	1860's	Tall Frame Hall
2002 Kydd House	1910	2 ½ Storey Brick

Gravenhurst

1993 Wanda 3	1918	94' long, 70 ton Boat moved 58 miles & launched
1994 Wanda 3	1918	

Bala

1994 St. Anne's Catholic Church	1890's - 1921	Tall Frame Hall
---------------------------------	---------------	-----------------

Laurie McCulloch Building Moving Historical List cont...**Markham**

1999 Armadale Free Methodist	1880	Frame Church
2006 Raymer-Robb House	1880's	Two Storey Brick

Woodbridge

2001 Humber Summit Church	1880	Brick Church
---------------------------	------	--------------

Caledon

2003 Caledon Town Hall	1890	Brick Town Hall
------------------------	------	-----------------

Mimico

2005 Train Station	1850	One Storey Frame
--------------------	------	------------------

Bradford

2006 Train Station	Early 1900's	130' Long Frame
--------------------	--------------	-----------------

Grey Roots, Owen Sound

2006 Rows House	1892	One ½ Storey Frame
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Laurie McCulloch Building Moving Historical List cont...**Newmarket**

1995 Dawson Manor	1830's	Two Storey Brick
1995 John Dawson House	1830's	Two Storey Frame
1997 Ballard House	1830's	Two Storey Brick
2002 Seneca Doanne House	1860's	One ½ Storey Frame
2003/2006 Hollingshead House	1850	One ½ Storey Frame

Marshville Heritage Village, Wainfleet

1995 Pioneer Home	1790	One Storey Stone
1996 Winger Tabernacle	1880's	One ½ Storey Frame
2004 Deans Garage	1910	Service Station
2004 Dean House	1910	Two Storey Stucco
2005 Minor House	1840	Two Storey Frame

Richmond Hill

1996 Russell House	1886	Two Storey Brick
2006 Munro House	1875	Two Storey Brick

Oakville

1997 the Parsonage on the Lake	1820's	Two Storey Brick
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Coboconk

1996 Train Station	1910	Two Storey Frame
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Port Perry

1997 Rodman Cabin	1810	Log Cabin
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TOPOGRAPHIC DETAIL OF
**PART OF LOT 6, CONCESSION 5
 WEST OF HURONTARIO STREET**
 (FORMERLY THE TOWNSHIP OF TORONTO, COUNTY OF PEEL)
 NOW IN THE CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1: 500

David B. Searles Surveying Ltd.
 ONTARIO LAND SURVEYORS

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

■	DENOTES	MONUMENT FOUND
□	DENOTES	MONUMENT SET
SB	DENOTES	STANDARD IRON BAR
SSB	DENOTES	SHORT STANDARD IRON BAR
S	DENOTES	IRON BAR
PN	DENOTES	5 mm # IRON BAR
WT	DENOTES	WITNESS
CU	DENOTES	ORIGIN UNKNOWN
MS	DENOTES	CITY OF MISSISSAUGA
CS	DENOTES	CHRISTOPHER PEAT O.L.S.
MM	DENOTES	MARSHALL MACLIN MONAGHAN LTD. O.L.S.
417	DENOTES	JOHN VAN NOSTRAND O.L.S.
R4	DENOTES	REPLACED WITH
CB	DENOTES	CATCH BASIN
MH	DENOTES	MAINTENANCE HOLE COVER
CL	DENOTES	CENTER LINE OF ROAD
TOS	DENOTES	TOP OF SLOPE
BOS	DENOTES	BOTTOM OF SLOPE
OHV	DENOTES	OVERHEAD HYDRO WIRE
INV	DENOTES	INVERT
CUT	DENOTES	CURB CUT
BC	DENOTES	BACK OF CONCRETE CURB
EP	DENOTES	EDGE OF PAVEMENT
CPHLS	DENOTES	CONCRETE POLE/HYDRO WITH LIGHT STANDARD
WPGD	DENOTES	WOOD POLE/HYDRO
Ø	DENOTES	DIAMETER
LS	DENOTES	LIGHT STANDARD
ANC	DENOTES	ANCHOR
OHV	DENOTES	OVERHEAD WIRE
BB	DENOTES	BELL BOX
WV	DENOTES	WATER VALVE
CPAD	DENOTES	CONCRETE PAD
PH	DENOTES	FIRE HYDRANT
○	DENOTES	DECIDUOUS TREE
✱	DENOTES	CONIFEROUS TREE
M	DENOTES	MEASURED
P	DENOTES	PLAN 43R-4970
P2	DENOTES	PLAN 43R-22354
P3	DENOTES	PLAN 43R-16221
	DENOTES	PLAN 43R-4909

DEMOLITION PLAN
 25 March 2010

© THIS PLAN IS PROTECTED BY COPYRIGHT
SURVEYORS' CERTIFICATE

I CERTIFY THAT :

1. THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS COMPLETED ON THE 14th DAY OF JUNE, 2004

DATE ALISTER SANKEY - ONTARIO LAND SURVEYOR

David B. Searles Surveying Ltd.

4284 VILLAGE CENTRE COURT, MISSISSAUGA, ONTARIO L4Z 1S2

TEL: 905-273-6840 FAX: 905-886-4410

E-MAIL: DBSOLS@ONABNL.COM

Computer Storage File No. Operator Date Plan Storage No. 113-0-04DWG

Plan Index No. 111

Existing Structures
to be removed

Existing Main
Heritage Building
to be protected and
retained.

BRITANNIA ROAD WEST

(ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 5 WEST OF HURONTARIO STREET)
 PIN 13129-0002(LT)

NOTE

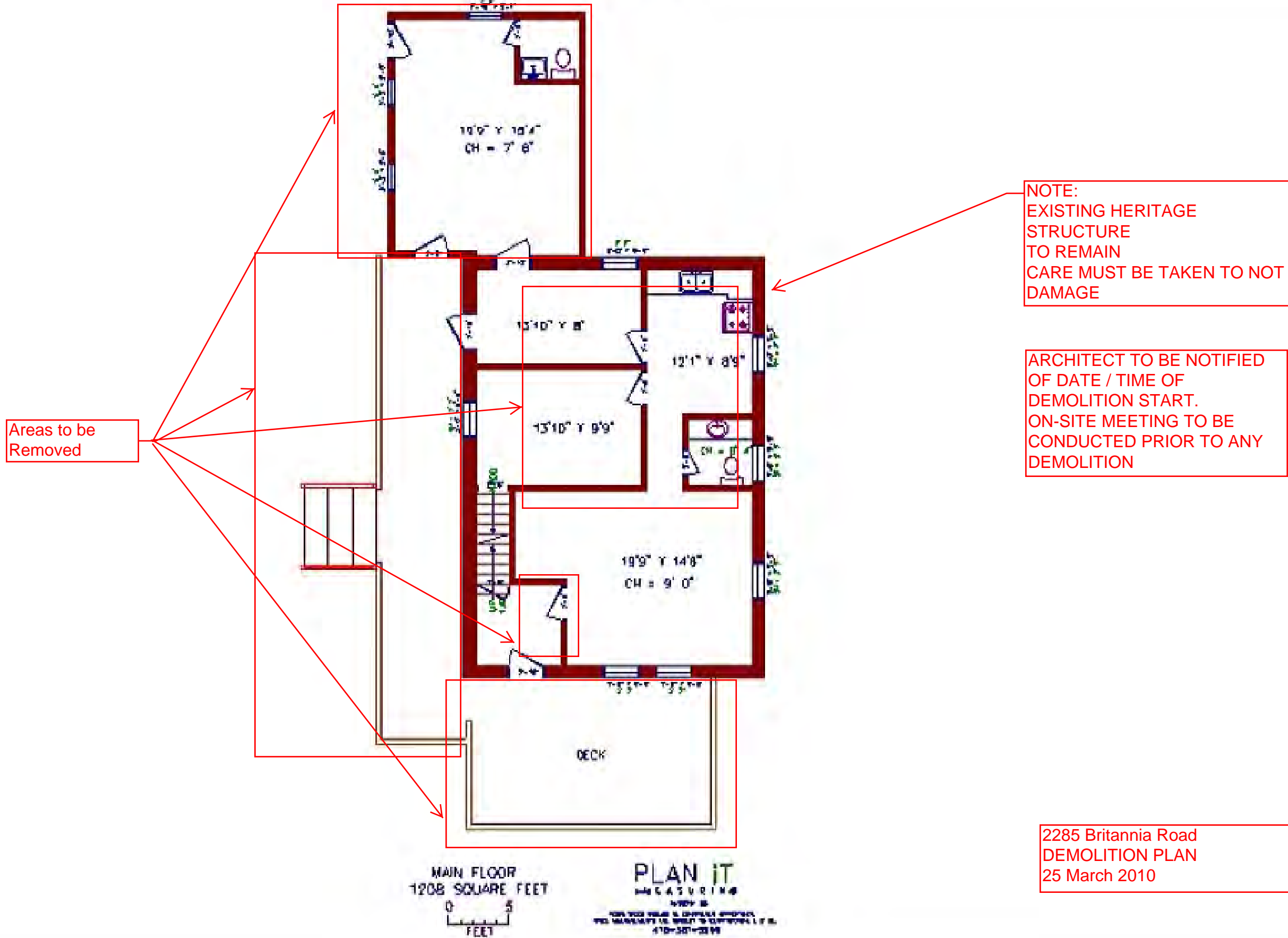
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT
 OF PART 1 AS SHOWN ON PLAN 43R-16221, HAVING A BEARING OF N39°31'30"E

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA
 BENCHMARK No. 075033020 LOCATED ON BRITANNIA ROAD WEST NORTH SIDE OF
 ROAD EAST OF INTERSECTION WITH THEODORE DRIVE. BENCHMARK IS A CONCRETE
 CYLINDER FLUSH WITH DRADE
 ELEVATION=169.302 metres

TO OBTAIN GEODETIC ELEVATIONS (1978 G.S.C. RE-ADJUSTMENT),
 SUBTRACT 0.121m FROM THE VALUES SHOWN HEREON.

2285 BRITANNIA ROAD W















Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers as consultant regarding historic properties of concern to municipalities in which they are working.

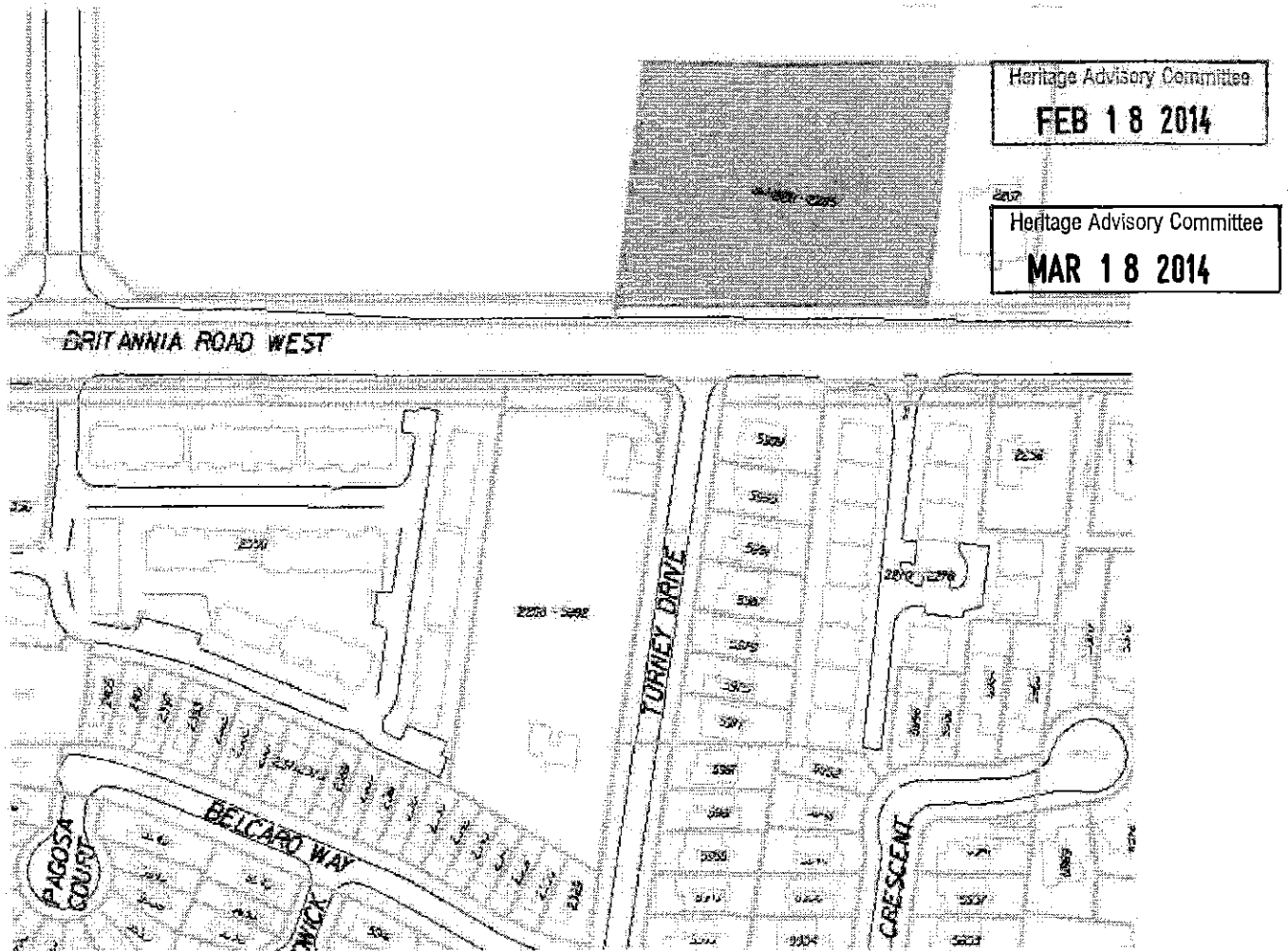
ARCHITECTURE

A licensed architect for over 30 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.

Item 2, Appendix 2
Heritage Advisory Committee
Agenda – February 18, 2014



2285 Britannia Road West, The Dowling property



Corporate Report

Clerk's Files

Originator's
Files

Heritage Advisory Committee

MAR 18 2014

DATE: February 20, 2014

TO: Chair and Members of the Heritage Advisory Committee
Meeting Date: March 18, 2014

FROM: Paul A. Mitcham, P. Eng. MBA
Commissioner of Community Services

SUBJECT: **Meadowvale Village Heritage Conservation District Plan Review
Ward 11**

- RECOMMENDATION:**
1. That the revised single application process to obtain heritage permits for heritage properties designated under Part IV, or located in heritage conservation districts designated under Part V of the *Ontario Heritage Act*, as amended (the "Act"), be approved, as set out in the Corporate Report dated February 20, 2014 from the Commissioner of Community Services, entitled "Meadowvale Village Heritage Conservation District Plan Review" ("the Corporate Report dated February 20, 2014");
 2. That By-law 215-07, being a by-law to create a single application process to obtain Heritage permits for heritage properties designated under Part IV, or located in heritage conservation districts designated under Part V of the *Ontario Heritage Act*, be repealed;
 3. That the boundary of the Meadowvale Village Heritage Conservation District be amended, as outlined in Appendix 1 attached to the Corporate Report dated February 20, 2014, and designated as a heritage conservation district in accordance with the Act (the "Meadowvale HCD");

4. That the Meadowvale Village Heritage Conservation District Plan 2014 (the “2014 Plan”), as outlined in Appendix 2 attached to the Corporate Report dated February 20, 2014, be approved;
5. That By-law 453-80 being a 1980 by-law to designate an area of the City as a heritage conservation district under Section 41.(1) of the *Ontario Heritage Act*, 1974, S.O. 1974, c.122, shall be deemed to be repealed on the date that Council’s decision in respect of the Meadowvale Village HCD Plan 2014 is final, save and except where any appeal is filed against the decision of Council with respect to the Meadowvale Village HCD Plan 2014 in which event By-law 453-80 and the 1980 Meadowvale Village HCD Plan shall continue to remain in effect and apply in respect of those matters and those lands that are the subject of any appeal or appeals until their final disposition and, thereafter By-law 453-80 and the 1980 Meadowvale Village HCD Plan shall be deemed repealed upon the final disposition of such appeal or appeals and when the new by-law designating the 2014 Meadowvale Village HCD as a heritage conservation district and adopting the 2014 Plan is in force; and
6. That all necessary by-laws be enacted.

**REPORT
HIGHLIGHTS:**

- A comprehensive review of the Meadowvale Village Heritage Conservation District Plan began in March 2012
- A draft of the proposed Meadowvale Village Heritage Conservation District Plan was presented to the Meadowvale Village HCD residents in May 2013
- In response to Council’s direction of June 19th, 2014, a Focus Group comprised of 14 Meadowvale Village HCD residents was established to review and provide recommendations on the draft HCD Plan
- A revised HCD Plan is proposed which will provide the policies and guidelines to manage change within the HCD and supports the community priorities
- Heritage By-law 215-07, a by-law to administer heritage planning processes, is proposed to be repealed and replaced to comply with the new permitting process outlined in the Plan.

BACKGROUND:

In 1980, the Meadowvale Village Heritage Conservation District (HCD) Plan was approved and became the first heritage district of its type in Ontario under the City of Mississauga's municipal By-law 453-80. The Plan was rather limited in terms of the ability to address and respond to changes within the district. In 2002, the City initiated a process to improve and update the original set of Design Guidelines for the Heritage Conservation District. The *Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District*, was adopted by Council in 2003.

In January 2012, Council recommended the study and comprehensive review of the Meadowvale Village HCD Plan. The purpose of the review was to ensure the HCD plan reflected the legislative requirements of the Ontario Heritage Act which was amended in 2005.

As part of the plan review process, a full cultural heritage assessment, documenting the pre-history, history and cultural landscape of the HCD was completed. The assessment articulates the heritage value of the HCD area in its entirety, and provides an analysis and inventory of the heritage attributes for each property within the HCD boundary.

A comprehensive community engagement program consisting of five community meetings between May 2012 to March 2013, and four Focus Group sessions between October 3, 2014 and November 14, 2014, was held in support of the plan. Fourteen volunteer residents from the HCD participated in the focus group discussion during which they were tasked to identify and rank the most pressing issues within the original draft plan, to discuss and provide recommended changes. A total of 15 issues were identified, each serving as a basis for discussion over the course of the four focus group sessions. Upon the conclusion of the process, consensus was achieved amongst the resident participants. Finally, on November 27, 2014, an open house was held inviting all district residents to view and comment on the revised draft plan policies and guidelines. A total of 15 residents attended. On February 13, 2014, an additional meeting was held to discuss the role of the design review committee.

Following the community engagement process, staff amended the original draft Plan's policies and guidelines. The revised draft Meadowvale Village HCD Plan, 2014 is provided as Appendix 2.

COMMENTS:

The purpose of an HCD Plan is to direct how change and conservation should be managed in the district. The draft plan aims to ensure all residents are subject to fair and uniform standards and expectations for living within an HCD. The extensive community consultation in support of the Plan was critical for arriving at a balance between the needs of residents and the importance of heritage conservation.

Among the most significant change to the HCD Plan is the introduction of a new classification system, policies, design guidelines and approval procedures related to property alterations within the HCD. Specifically, the Plan introduces two categories of alteration:

1. **Non-substantive Alterations** are alterations, minor in nature and will not alter the appearance of the property; and
2. **Substantive Alterations** are significant changes to the property which will alter its appearance, and typically includes major additions and new construction.

In the existing HCD Plan, all alterations to heritage properties are treated equally “substantive”. Consequently, an extensive and often timely approval process is required regardless of its overall impact to the property’s appearance. Given the questionable value of this approach, the new Plan proposes to simplify the approval process by eliminating the requirement for a heritage permit for all alterations deemed to be “non-substantive” in nature. (Non-substantive alterations are listed within the Plan to provide clarity to existing and prospective owners). Non-substantive alterations will only require “Clearance to Alter” approval from Heritage Planning staff which, in most cases, should be issued within one to two business days. Further, non-substantive alterations will no longer be required to be reviewed by the Meadowvale Village Design Review Committee and the Heritage Advisory Committee, nor approved by Council.

All property alterations deemed to be “substantive” in nature will continue be considered through the existing approval process, and will include the issuance of a heritage property permit. This approach is consistent with the approval process for any alteration to heritage designated properties throughout the City. Moreover, because most substantive property alterations will likely require both Site Plan approval and building permit(s), this level of oversight is appropriate

and consistent with the City's planning and building regulatory environment.

Substantive alterations will be considered by the Heritage Advisory Committee, and ultimately will require Council's approval. The role of the Meadowvale Village HCD Review Committee, a sub-committee of the HAC, was considered and discussed by focus group participants. While participants acknowledged the important role the Committee has played in protecting the District's heritage attributes, consensus was an alternative approach to community engagement is needed. It was agreed that the terms of reference for the City's Heritage Advisory Committee should be amended to secure a dedicated position for a resident of the district. Further, there was consensus the existing design review sub-committee would be eliminated in favour of a more formalized process, whereby a Sub-Committee of the HAC be created. The Meadowvale Village HCD Subcommittee will have scheduled meetings, supported by the City's Clerk's office to coordinate agendas, correspondence, and minutes. Recommendations from the Subcommittee will be forwarded to the HAC for recommendation to Council. This process will provide for direct consultation with representative Village residents and the opportunity to make deputations to the HAC when necessary. The establishment of the Subcommittee will follow the appointment of the HAC after the election of Council in the fall of 2014.

The zoning provisions with the HCD were also a major topic of discussion. Consensus was reached among focus group participants on zoning regulatory matters related to minimum lot size, maximum lot coverage, maximum gross floor area for structures and a maximum building height. The new zoning regulations will be incorporated in the City Zoning By-law to achieve the goals of the HCD Plan assuring a level of protection for the heritage attributes.

Implementing the revised HCD Plan, requires Heritage By-law 215-07, a by-law to administer heritage planning processes, be repealed and replaced. (Appendix 3) Furthermore, with the adoption of the revised Meadowvale Village Heritage Conservation District Plan, 2014, the former Plan adopted in 1980 will need to be repealed. In addition By-law 453-80 which is the 1980 by-law to designate the Heritage Conservation District needs to be repealed and replaced to reflect the new HCD boundary.

STRATEGIC PLAN: The Meadowvale Village HCD Plan, 2014, supports the third pillar of the City's Strategic Plan, completing our neighbourhoods and nurture villages.

FINANCIAL IMPACT: There is no financial impact.

CONCLUSION: In 1980 The Meadowvale Village Heritage Conservation District Plan was the first of its kind in Ontario. In 2012 a comprehensive review of the HCD Plan was launched. The revised Plan will enable appropriate change to occur within the district, while ensuring the heritage attributes both district and individual property wide are protected and conserved. The revised Plan policies will ensure both existing and future property owners are subject to fair and uniform standards and expectations for living within an HCD. The extensive community consultation in support of the Plan was critical for arriving at a balance between the needs of residents and the importance of heritage conservation.

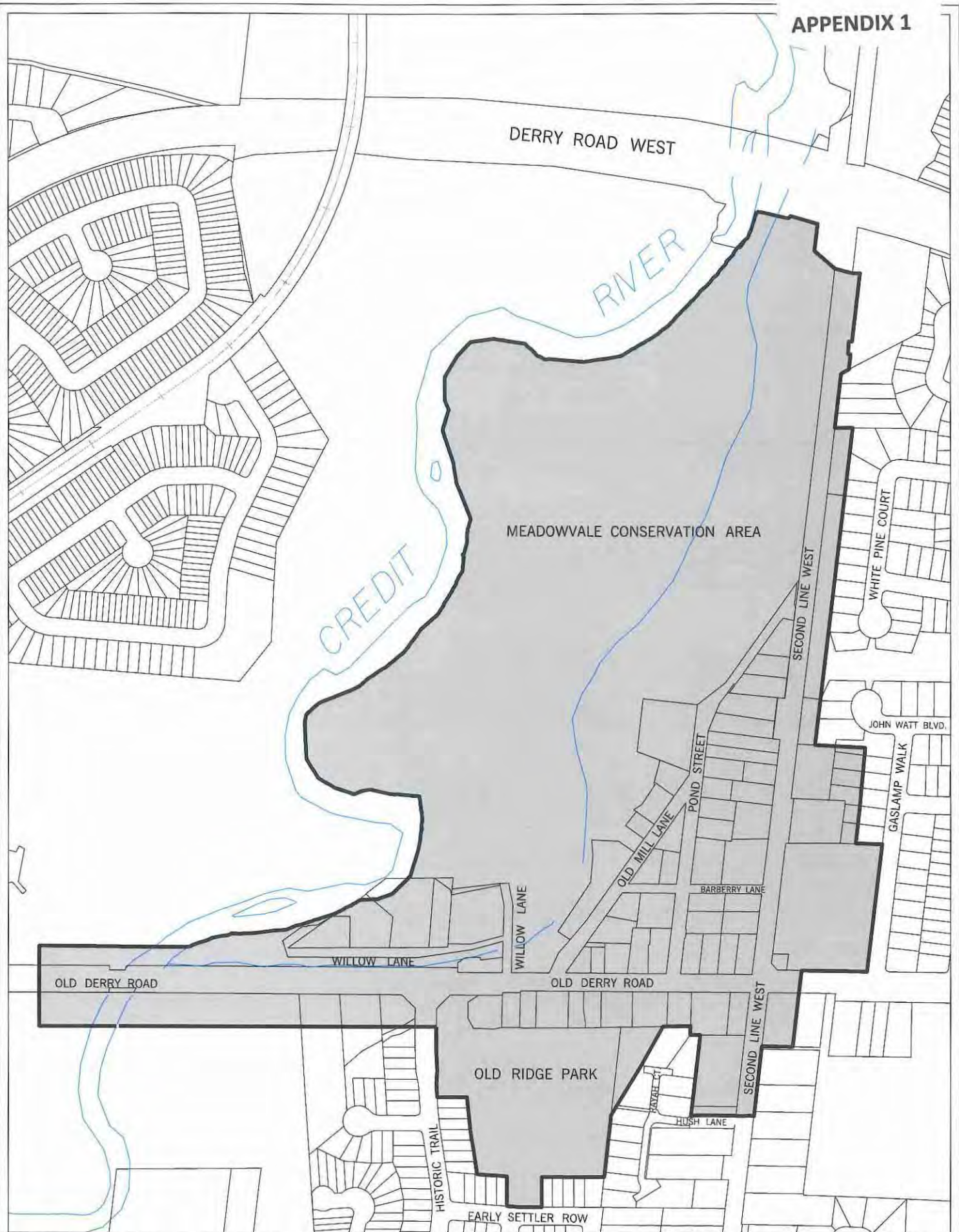
ATTACHMENTS:

- Appendix 1: Revised Meadowvale Village Heritage Conservation District Boundary Map
- Appendix 2: Meadowvale Village Heritage Conservation District Plan, 2014
- Appendix 3: Amendments to Heritage By-law 215-07



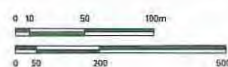
Paul A. Mitcham, P. Eng. MBA
Commissioner of Community Services

Prepared By: Mark Warrack, Cultural Planner, Culture Division



Schedule A - Meadowvale Village Heritage Conservation District Boundary

Legend
 HCD Boundary



MISSISSAUGA
 Leading today for tomorrow

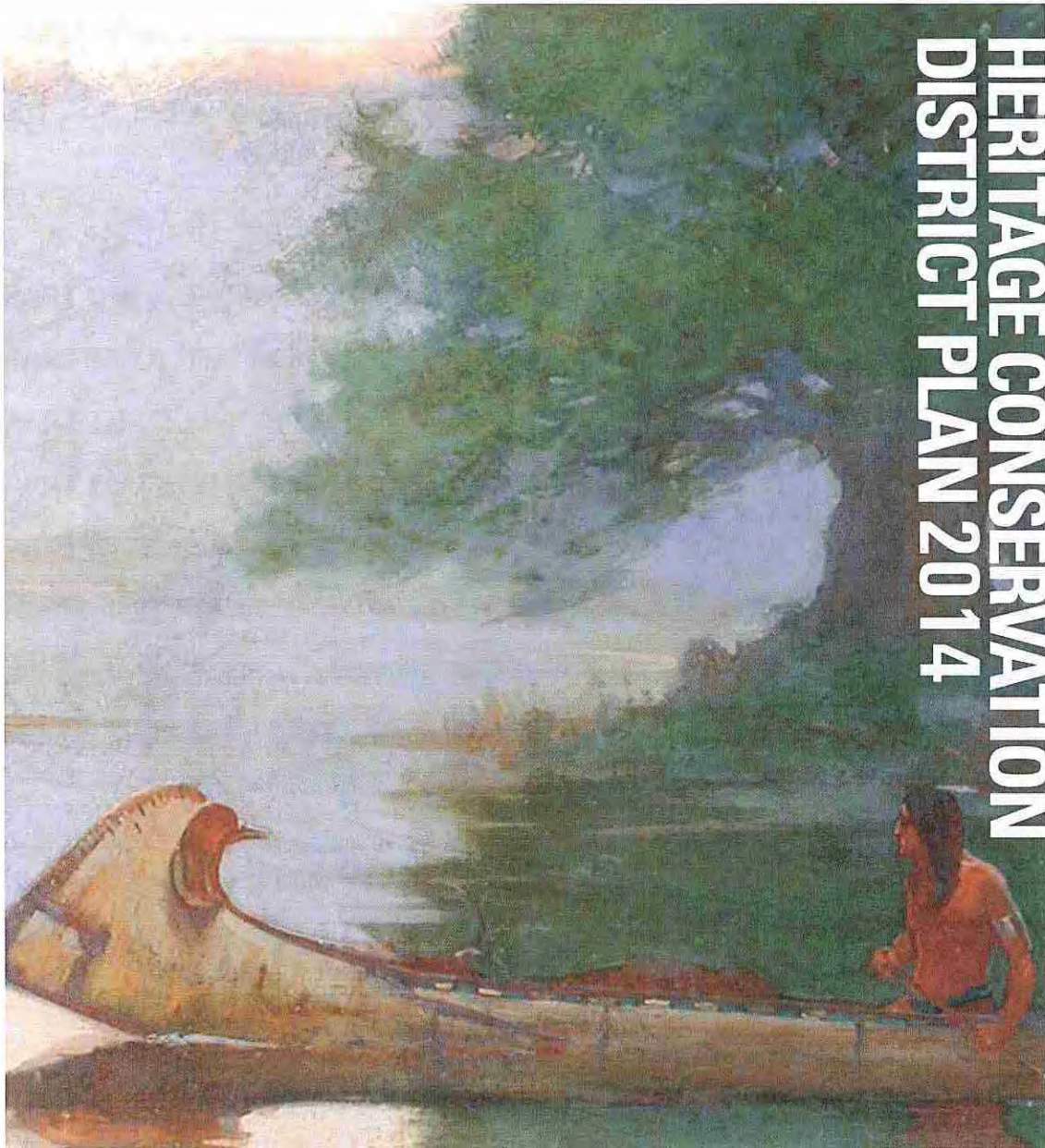
Produced by
 T&W, Geomatics

December 2013

CULTURE DIVISION

HERITAGE CONSERVATION DISTRICT PLAN 2014

PUBLIC ART + MUSEUMS AND HERITAGE + MEADOWVALE THEATRE + FILM + GRANTS + PROGRAMS



MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2014



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014



Funded in part by the Government of Ontario. The views expressed in this publication are the views of the City of Mississauga and do not necessarily reflect those of the Province



DRAFT – MEADOWVALE VILLAGE HCD PLAN, 2014

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PART TWO: THE HERITAGE CONSERVATION CONTEXT

PART THREE: THE POLICY

PART FOUR: IMPLEMENTATION

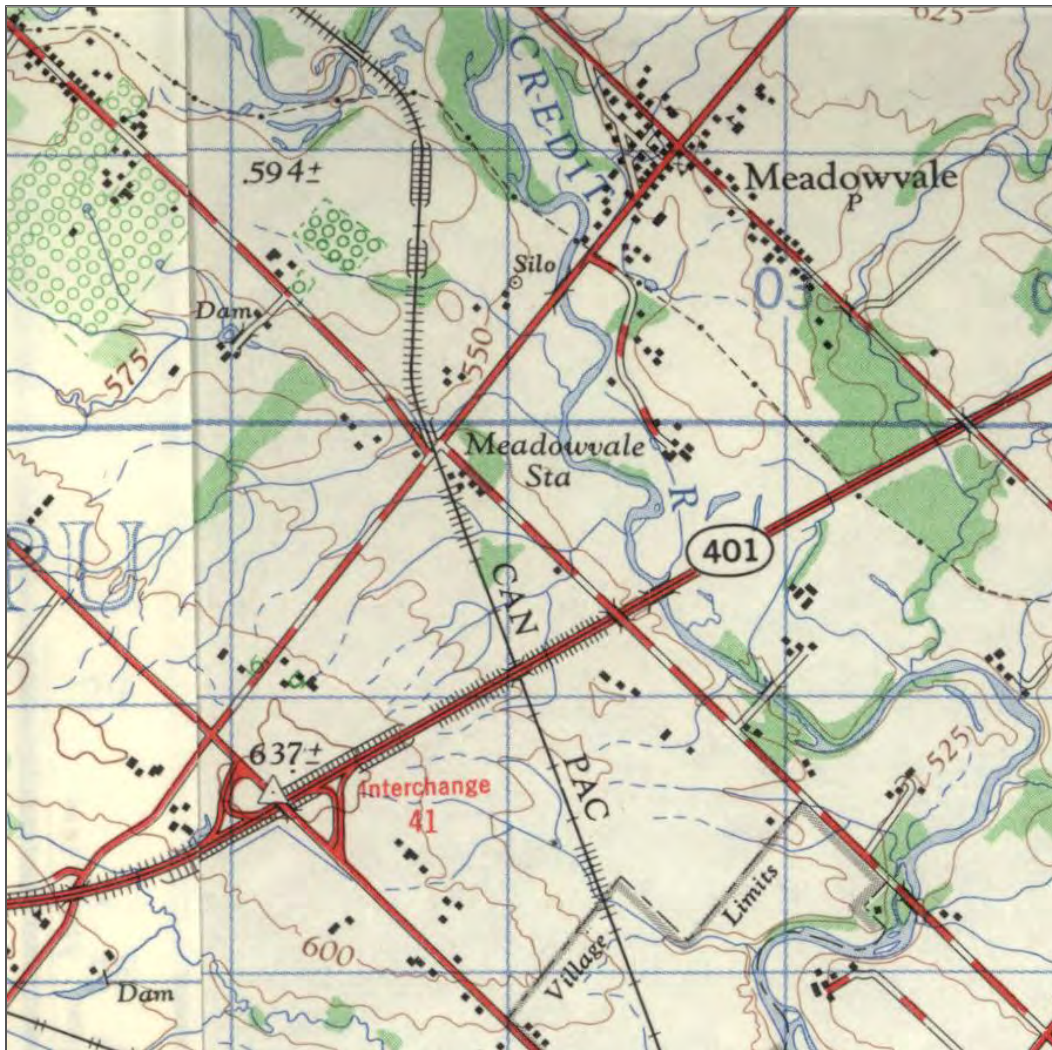
PART FIVE: GLOSSARY

Schedules:

Schedule A – Meadowvale Village Heritage Conservation District Boundary Map, 2014

Schedule B - Meadowvale Village Heritage Conservation District Plan, 2014: Property Inventory

Schedule C - Meadowvale Village Heritage Conservation District Plan, 2014: Cultural Heritage Assessment of Meadowvale Village and Area



Meadowvale Village and area, 1964 (Old Derry Road and Second Line West)

National Topographic Systems Maps 30 M/12



PART ONE: BACKGROUND

1.1 INTRODUCTION:

A Heritage Conservation District (HCD) is a defined area legally protected by a municipal by-law passed under Part V of the Ontario Heritage Act (OHA), by City Council. HCDs are designated because the area is considered to be historically or culturally significant and requires special care and attention in the planning process to ensure the significant cultural heritage attributes are conserved. Every property within the boundary of an HCD is subject to the HCD by-law.

Heritage Conservation Districts (HCDs) are an important and powerful part of the heritage planning framework serving to ensure culturally significant heritage **neighbourhoods and areas are protected. Protecting the City's significant** neighbourhoods enables residents to understand the importance of its cultural heritage and context within our growing city.

1.1.1 The HCD PLAN GOALS:

The purpose of an HCD Plan is to direct how change and conservation should be managed in the district. Specifically, the plan is intended to create a consistent, transparent and fair set of required procedures and policies within the HCD. The plan is intended to be used by professional consultants, Council and residents to guide decision making.

The policies and guidelines contained within respond to changes to the Ontario Heritage Act (OHA) in 2005 which established new requirements for heritage conservation districts. The 1980 HCD Plan had differing methodologies for the determination of what properties should be subject to demolition control and conservation. The original plan was broad in nature and, on occasion, has not met the expectations of residents and Council in providing clarity and transparency regarding development within their HCDs.

This document aims to ensure all residents are subject to fair and uniform standards and expectations for residing within an HCD. The HCD Plan offers clear objectives,



strong policies and an effective standard of conservation. This document, and its requirements, should be read and understood in its entirety.

1.2 PLANNING HISTORY:

1.2.1 The 1960s to 1980s

In the late 1960s, the residents of Meadowvale, a small community located in the north end of the Town of Mississauga, recognized the cultural heritage value of their village and sought ways to protect it from unsympathetic urban development. The residents formed a Residents' Association and began the process of seeking methods of heritage conservation. They began to refer to their community as Meadowvale Village, to distinguish it from the new and emerging 1970s development of Meadowvale further to the west.

In March 1975, the Ontario Heritage Act was adopted as the first province wide legislation to protect and preserve cultural heritage property. The Act provided municipalities with the authority to create heritage conservation districts. A heritage conservation district is defined as a cultural landscape with a defined geographical area, cohesive character comprising historic associations, road and lotting patterns, natural features, building types and styles, setting, open spaces and spatial relationships. Once a heritage conservation district has been established under by-law, all properties within an HCD are under the same heritage designation.

With the new legislative framework in place, by 1977, the City of Mississauga initiated a collaborative heritage planning process with the Meadowvale Village community to establish a heritage conservation district.

In 1980, the Meadowvale Village Heritage Conservation District (HCD) Plan was approved and became the first heritage district of its type in Ontario under the City of **Mississauga's municipal By-law 453-80**. *The Meadowvale Village Heritage Conservation District Plan* was created without the benefit of models or examples to build upon. For a number of years the Meadowvale Village HCD Plan became a model for other Ontario municipalities to follow. Since that time the number of heritage conservation districts in Ontario has grown to 111 at the time of this report.



1.2.2 The 2000s:

In 2002, the City of Mississauga initiated a process to improve and update the original set of Design Guidelines for the Heritage Conservation District. The 1980 Plan did contain guidelines, however, they were rather limited in terms of addressing and responding to changes within the Village. The *Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District*, was adopted by Mississauga City Council in 2003.

1.3 THE PLANNING FRAMEWORK

1.3.1 The Ontario Heritage Act (OHA)

The OHA enables a municipal government to designate an area as a heritage conservation district, and in so doing, requires Council to adopt a Plan for the district. Specifically, **Section 41(1)** states *"where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, the council of the municipality may by by-law designate... any defined area...as a heritage conservation district."* Whereas **Section 41.1(1)** states *"...a municipality shall adopt a heritage conservation district plan for each district..."*

a) Provincial Policy Statement

In addition to satisfying the requirements of the OHA, the HCD Plan must comply with the mandatory PPS requirement which states: *"significant cultural heritage resources shall be conserved, including the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained"*.

1.3.2 Official Plan

Pursuant to **Section 41(1)**, the City of Mississauga's Official Plan addresses the designation of Heritage Conservation Districts. Part 7, **Section 7.4.3.1** of the plan states *"Heritage conservation districts will be designated by the City in accordance with the Ontario Heritage Act and the following criteria: (a) most of the structures or heritage elements, in a grouping, that have a unique character and reflect some aspect of the heritage of the community or are of historic, architectural, natural, or cultural*



significance; or (b) an environment that should be preserved because of its cultural heritage, cultural landscape, or scenic significance.”

1.4 Conservation District Plan Review Process

While both the OHA and Official Plan are silent to heritage conservation district plan reviews, **the principle of “managing change”** in an HCD implies periodic reviews of a plan and associated guidelines is warranted. The City launched a review of both the 1980 Meadowvale Village Heritage Conservation District Plan and the corresponding 2003 *Conservation Principles and Design Guidelines for the Meadowvale Village Heritage Conservation District* was launched in 2012.

Section 40.(2) of the OHA establishes the scope of work required in support of establishing an HCD Plan, or in this case, a review, including:

- (a) examine the character and appearance of the area that is the subject of the study, including buildings, structures and other property features of the area, to determine if the area should be preserved as a heritage conservation district;*
- (b) examine and make recommendations as to the geographic boundaries of the area to be designated;*
- (c) consider and make recommendations as to the objectives of the designation and the content of the heritage conservation district plan required under section 41.1;*
- (d) make recommendations as to any changes that will be required to the municipality’s official plan and to any municipal by-laws, including any zoning by-laws. 2005, c. 6. s. 29.*

1.4.1 Background Studies:

Pursuant to **Section 40.(2)** of the OHA, the following studies are required as part of the review process:

a) Study Area Boundary:

Pursuant to **Section 40.1(1)** of the OHA, the study area boundary of the proposed district must be designated by by-law before the process of an HCD designation can begin. Furthermore, **Section 40.1(2)** provides Council the authority to set limitations



on development within the proposed district boundary for the period of one year during the review.

On November 28, 2012, By-law 0238-2012 was enacted by Council to define the study boundary. It refers to an expanded study area boundary including lands to the northwest and south of the current boundary to better reflect the planning context of today.

The study boundary was established in recognition of the change that has occurred since the original plan was adopted in 1980. The existing HCD boundary was originally defined close to the Village core. Thirty years later, the context of the HCD has changed dramatically. In 1980, Meadowvale Village was a small, rural community of several nineteenth and early twentieth century dwellings surrounded by agricultural lands. The manner in which the surrounding agricultural lands would develop over time was difficult to anticipate, as such the district boundary did not account for significant development.

b) **Property Inventory**

Pursuant to Section 41.1 (5) of the OHA, a description of the heritage attributes of the HCD and of properties in the district has been completed. Schedule B, contains a *Property Inventory* which identifies the background, history, current description, statement of significance and cultural heritage attributes for each property within the HCD. The document provides an overview of the cultural heritage significance of the **property and specific heritage attributes to be conserved. A property's heritage** attributes may change or alter and, therefore, the Schedule B, *Property Inventory* may be updated from time to time.

c) **Cultural Heritage Assessment**

Schedule B provides an assessment of the character defining elements within the Village and the manner by which they developed over time. This comprehensive research component was not completed for the 1980 HCD Plan, therefore, new information and data was uncovered on the Village and its cultural heritage complexities. This research will serve to inform the policies and guidelines.



d) **Stage 1 Archaeological Report**

A Stage 1 archaeological assessment was completed on the study area. Research concludes a high potential for archaeological resources within the boundary.

1.4.2 Drafting a District Plan:

Section 41.1(5) of the OHA sets out minimum requirements for the HCD Plan including:

- (a) a statement of the objectives to be achieved in designating the area as a heritage conservation district;*
- (b) a statement explaining the cultural heritage value or interest of the heritage conservation district;*
- (c) a description of the heritage attributes of the heritage conservation district and of properties in the district;*
- (d) policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and*
- (e) a description of the alterations or classes of alterations that are minor in nature and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42. 2005, c. 6, s. 31.*

1.4.3 Review of the HCD Plan - Community Engagement

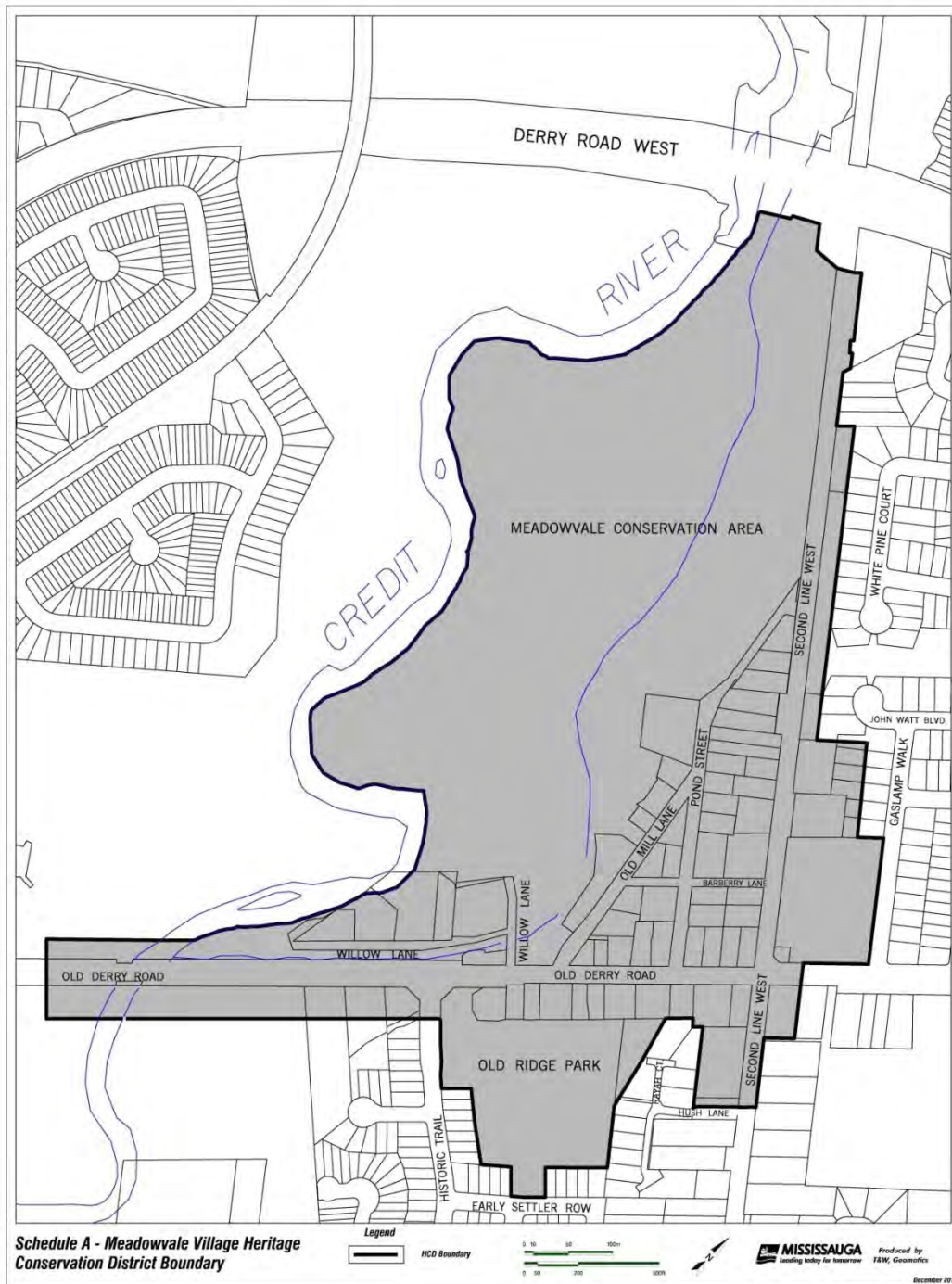
Engaging the community in the Plan review is an important component of the process. While **Section 41.1(6)** of the OHA establishes a minimum requirement of one public meeting and consultation with the Heritage Advisory Committee, this review process involved considerably more.

A total of five community meetings were conducted between May 2012 and May, 2013. Beginning in January 2013, the local Meadowvale Village HCD Review Committee commented on the early and conceptual draft Design Guidelines and Policies. On March 7, 2013 this Design Guidelines and Policies extract of the HCD Plan, along with potential **revisions to the City's Official Plan and zoning by-law**, were presented to Village residents. On April 23, 2012, the Meadowvale Village HCD Plan Review was presented **to the Heritage Advisory Committee. June 10, 2012, the "Proposed Amendments to Mississauga Official Plan and Zoning By-law 0225-2007 for the Meadowvale Village**



Neighbourhood Character Area, Public Meeting”, took place at the Planning and Development Committee.

At this point in the review process it was determined that further community input was required. A Focus Group, consisting of 14 Meadowvale Village HCD residents, held four meetings with Heritage Planning staff from October 3 to November 14, 2012. The Focus Group sought clarity and transparency in writing design guidelines and policies, including the relevant processes, to reach consensus on methods to conserve the **HCD’s** character.



Meadowvale Village HCD Boundary Map



PART TWO

HERITAGE CONSERVATION CONTEXT

2.1 Heritage Conservation District boundary

The HCD boundary provides the legal bounds to which the policies and guidelines contained herein will apply. The official Heritage Conservation District boundary is shown on Schedule A.

Beyond the Village proper, the boundary comprises the lands located northwest of the Village known as the Meadowvale Conservation Area and owned by Credit Valley Conservation. These lands were excluded from the 1980 district boundary. They formed part of the original Bristow Survey of 1856. **Mills and workers' houses once** stood on these lots. Later development saw the creation of Willow Lake, minor wheat farming and the associated recreational area.

To the south of the Village is Old Ridge Park. As recently as the 1970s, agricultural buildings stood on this site, which is now a public park. Given the historical association with these lands, and the significance of the ridge's topographical features, they have been included in the HCD boundary. Additionally, from 7079 Second Line West north to the termination of this road, a rural character with a soft shoulder and naturalised areas has been retained. Consequently, the east side of the roadway has been included within the Boundary.

2.2 Heritage Character Statement

The following Heritage Character Statement describes the aspects of the HCD which define the distinct architectural, historical, contextual and landscape characteristics of the area. The character statement supports the establishment of an HCD boundary which delineates the area of special character. Moreover, the statement provides important context for considering change within the HCD and should be considered when contemplating proposed substantive changes to any property, including public works, within the HCD plan.



CHARACTER

The Meadowvale Village Heritage Conservation District is characterized and defined by its inherent heritage value, size, shape, and form adjacent to the Credit River at the intersection of two roadways, Old Derry Road and Second Line West. The relationship of the historic village to the Credit River has not altered since its founding in the early nineteenth century.

The character of the Village is defined by the narrow roads, large diameter trees, open vegetation areas and lack of density in building form. Some of the traditional late nineteenth century landscaping, including simple picket fences have begun to be reintroduced.

Entry points into the village from the west and north have maintained a rural character. To the west there are farmlands on the south side of Old Derry Road, open green space **to the north, the metal c. 1948 Pratt (Parker, "camelback")** truss design bridge over the Credit River, all contributing to the agricultural past that surrounded the village for over a century. To the north, along Second Line West, the west side of the road retains a natural environment, reminiscent of the rural past, conserved as the Meadowvale Conservation Area. The late subdivision homes, of differing scale and form on the east side of Second Line West are mostly positioned high on the table lands above, retaining a naturalized road right-of-way at the street level, enhancing the former rural character.

BUILT FORM

The village survey plan with loting and road patterns has been retained since the 1856 Bristow Survey. The grid road pattern, aligning with the early established concession road and the inter-relationship of the loting pattern as it relates to the topography, the river valley and ridge, is distinct within Mississauga.

The variety of lot size, changed very little since the mid nineteenth century, and generally smaller structures on large lots has been protected and conserved by the **HCD's** heritage conservation district status since 1980. Low volume lot coverage and retention of large diameter trees are significant characteristics to be conserved. The positioning of varied modest size structures on the lot, which vary throughout the Village, is a characteristic of this rural community development over time as opposed to a more urban, standardized and conventional setback. The varied setbacks, providing



wide-ranging open vegetation areas and streetscapes, are an important aspect of the Village character.

STREETSCAPE

The Meadowvale Village HCD has maintained a pedestrian friendly scale, with the exception of Old Derry Road, whereby streets have a rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size. What was once a commercial core, along Old Derry Road supporting a mill-based village has now become mostly residential with a few reminiscent commercial buildings, creating a quieter version of an earlier era.

The narrow side streets retain an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and large diameter trees. In general, there are modest design and scale homes set on larger lots with soft naturalized vegetation. Historic photographs indicate that much of the vegetation in the area was cleared in the mid to late nineteenth century.

LANDSCAPE

The village is situated in the low river valley, bordered to the south and east by a shallow ridge that establishes the table lands above the floodplain. The location of the Village, adjacent to the Credit River, illustrates the dependency of the early settlers on the river for its resources of water, travel and natural open space of a meadow and vale. These same conditions are not found elsewhere in Mississauga. Native populations, prior to pre-contact with European settlement, inhabited the area for over 10,000 years. The **HCD's** property plan, street pattern and physical layout have changed very little, although the once rural village is now within an urban context of the larger City of Mississauga.

The Village and immediate area were farmed for both wood products (sawmill production) and mixed agrarian farming. **Today's public lands have become naturalized** with a good deal of mature tree growth of both native and non-native species. Private, residential lots also retain many large diameter trees and open vegetated areas that provide a generous spacing around buildings and frame residential lots.



Archaeological resources are a significant element of the cultural heritage resources within and around the village. There is a high potential for pre-contact archaeological resources and known historical resources within the village. The extant mill ruins, mill race and tail race, remnant mill pond, and other archaeological references, are to be conserved.

ARCHITECTURE

Meadowvale developed in the nineteenth century as a small milling community with an industrial and commercial base, displaying a distinct rural village character and using local building materials. For the most part, the architectural style found in the Village was of a modest construction known as local vernacular architecture as described below

Stacked plank on plank construction is prevalent in the Village and has a significant cultural heritage value as a material resource and its direct link to the history of the Village as a lumber and milling centre. Due to the abundance of lumber found in Meadowvale in the nineteenth century, and because of the modest milling incomes, brick structures were not prevalent in the area. In addition, there may not have been an abundance of local clay to fabricate bricks locally. As a result, the majority of traditional building forms in the Village were wood frame structures or stacked plank on plank construction. Because of the limited presence of brick structures in the Village, new residential and commercial brick construction would not be compatible with its heritage character and will not be supported. On public lands it may be documented to comply with health and safety issues, such as a washroom facility in the CVC lands and Old Ridge Park within the HCD boundary area, so long as the style, shape and form is compatible with the **HCD's** cultural heritage attributes.

The prevalence of wood construction meant exterior finishes were traditionally wood siding or rough cast stucco. The most common roofing material would have been wood shingles.

Building foundations were often shallow and constructed of local fieldstone. It is observed that the entry level of many structures within the Village is at grade. It is understood that existing foundations may require future maintenance and/or replacement. However the relationship of the first floor living space to the ground level should **be maintained to retain the structure's historical context to its location.**

Therefore, the raising of a building will be discouraged as it places that building out of



its historical context in terms of its elevation and relationship to the topography/streetscape of adjacent properties.

2.3 Heritage Attributes:

Heritage attributes are the character-defining elements of a cultural heritage property which, from a cultural heritage perspective, give meaning and definition to a property and are, therefore, worthy of conservation. Heritage attributes in the HCD Plan are defined as: “the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained in order to **preserve its heritage value.**”

It is a common misconception that “heritage” equates to “old”. Yet, despite the age, many of the HCD’s **properties** have heritage value simply due to a conforming style, shape, and form. These vernacular features typically may be compatible with traditional building style, shapes and forms present within the HCD, or with changes made to properties under the stewardship of the 1980 plan and design guidelines.

There may also be structures within the HCD which have a compatible shape, size and form, although not of the nineteenth century, they are expressions of their time and contribute to the Village history, blending well into the overall context.

The HCD’s general attributes have been identified and are provided below. Additionally, Schedule B provides a brief description of how each property supports the character, values and integrity of the HCD. Collectively, the heritage attributes contribute to a coherent sense of time and place and the significance of the District.

- a) significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements **within the river’s low floodplain to the gentle sloping ridge;**
- b) an ecological feature and tradition of a floodplain meadow on the Credit River that has existed for hundreds of years;
- c) a land pattern that retains the layout and plan of generous lots and pedestrian oriented narrow roadways of the 1856 Bristow Survey, spatial organization of narrow streets with soft vegetation and no shoulders, large diameter trees and a visual relationship which blends from public to private space among front and side yards void of privacy fencing

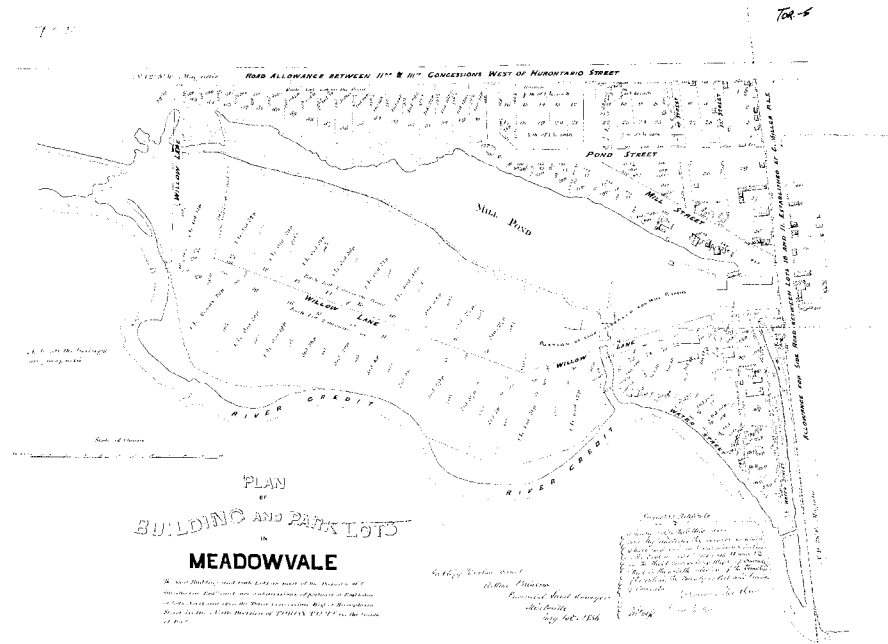


- d) long term tradition of rural village-like streetscapes without curbs, with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting;
- e) a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village;
- f) later twentieth century residential styles that are compatible with the district character from a scale, materiality and massing perspective;
- g) a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick;
- h) structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the village;
- i) visual identity of rural character roadway entry points to the village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south;
- j) individual properties of **particular character and significance are identified in “The Meadowvale Village Heritage Conservation District Plan Review Property Inventory”,** and
- k) archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014



Bristow Survey of 1856, Region of Peel Archives



PART THREE

POLICIES

The conservation of an HCD's **cultural heritage values and character can be achieved** only by carefully managing appropriate change at the individual property level as well as on the larger community scale. The policies contained within are intended to guide and manage change in the district. Specifically, the following articulates the manner by which proposed alterations and additions will be considered and accommodated on a variety of properties while ensuring the character and conservation values of the District are maintained over time.

The policies contained have been developed to satisfy the direction provided by the *Ontario Heritage Act*, as well as *The Ontario Planning Act*, the Provincial Policy Statement 2005 (PPS), and **The City of Mississauga's Official Plan**. It also considers the Standards and Guidelines for the Conservation of Historic Places in Canada and the Ontario Heritage Toolkit: Heritage Conservation Districts (Toolkit).

3.1 General Policy Statements:

- Policy 1:** Council will provide cultural heritage recognition and protection of Meadowvale Village through the implementation of the Heritage Conservation District Plan.
- Policy 2:** Council will adopt the boundary demarcating the HCD Plan as illustrated and defined in Schedule A
- Policy 3:** Council will employ one or more, but not limited to, the planning tools listed in (a) through (h) to implement the HCD Plan:
- a) Official Plan
 - b) Zoning By-Laws
 - c) Ontario Heritage Act
 - d) Heritage By-law
 - e) **Enforcement of the City's** Private Tree Protection By-law
-



- f) **Enforcement of the City's Property Standards By-law**
- g) Heritage Grants & Incentive programs
- h) Endangered Species Act/Species at Risk Act

Policy 4: Council will apply all policies and guidelines contained within the HCD Plan to private and public properties and will be read and interpreted in its entirety, including Schedules contained within.

Policy 5: Council will adopt the following objectives of the HCD Plan to guide the conservation and change within the District.

- a) maintain and enhance the distinct heritage character of the HCD with emphasis on the following characteristics:
 - i. Narrow rural-like roads
 - ii. Any addition of new sidewalks may be installed where required to meet accessibility needs, as appropriate
 - iii. Minimal street signage
 - iv. Varied set-back of built form
 - v. Varied lot size reflecting the retention of the established mid nineteenth century lotting pattern;
 - vi. Small buildings of a modest scale and design on large lots
 - vii. Retention of all heritage attributes within the HCD and those listed for each individual property
 - viii. Varied, open relationship from one property to another
 - ix. Transparent, or open views, while retaining large diameter trees, from the streetscape to buildings
 - x. Retention of the original topography
 - xi. Mill remnants (foundations, earthworks, former water-ways)
 - xii. Modest residential landscaping of a rural character
- b) preserve buildings of historic association and building features, and ensure new designs contribute to the HCD's **heritage character**;
- c) ensure changes enhance the HCD character;
- d) encourage ongoing maintenance and protection of properties; and
- e) involve area residents, property owners, and interested individuals in the ongoing evolution of the HCD .



Policy 6: Further to Policy 2, Council will consider Part IV property designation in accordance to the Ontario Heritage Act where such properties are considered to uniquely contribute and reinforce the **HCD's** overall cultural heritage value.

3.2 Property Alterations Policy Statements

Policy 7: Council will consider requests to alter historically and contextually sensitive property in the Village for properties designated under Part V of the Ontario Heritage Act.

Policy 8: Council **will adopt a 'non-substantive' and 'substantive' class of alterations** to distinguish alterations requiring a heritage property permit from those which do not.

3.2.1 Non-substantive Property Alterations

Policy 9: Council will define a non-substantive alteration on a property designated under Part V of the Ontario Heritage Act as one which does not significantly alter the appearance of the property. Installing, renovating, repairing, and/or replacing (a) through (q) will be deemed non-substantive:

- a) roofing materials
- b) Chimneys
- c) Exterior Cladding
- d) Skylights
- e) Solar Panels
- f) Windows and Storm Windows
- g) Shutters
- h) Doors
- i) Architectural Details



- j) Existing Porches and Verandahs
- k) Existing Outbuildings
- l) Driveways
- m) Fences
- n) Landscaping and Planting
- o) Wheelchair ramps
- p) Mechanical and Utilities
- q) Public works within the Village, including but not limited to:
 - Public roads and right of ways
 - Parkland
 - Signage
 - Structures

Policy 10: Council will not require a heritage property permit for non-substantive alterations where the following are satisfied:

- a) Compliance to applicable design guidelines in Section 4.2.1
- b) Compliance to applicable City by-laws
- c) Retention and/or restoration of original materials, where possible
- d) Use of like materials, where applicable
- e) Locating contemporary building components, such as solar panels, skylights, roof vents, HVAC systems, so that they are not visible from the public realm

Policy 11: Council will adopt the “Clearance to **Alter**” process as outlined in Part 4, which may be amended from time to time, in support of Policy 10

Policy 12: Notwithstanding Policy 10, Council will require a heritage property permit for a non-substantive alteration which cannot satisfy (a) through (e).

3.2.2 Substantive Property Alterations

Policy 13: Council will define a substantive alteration to a property designated under Part V of the Ontario Heritage Act as one which irrevocably alters the



appearance of the property. It involves one or more of the elements listed in (a) through (n):

- a) Increases to Gross Floor Area of the primary residence;
- b) **Increases to the primary residence's building height, width and depth;**
- c) Changes to **primary residence's** foundation structure;
- d) **Changes to the primary residence's roof structure;**
- e) Additions of a sunroom, solarium, porch and/or verandah to a primary residence;
- f) New windows, dormers, or doors where they did not originally exist on the primary residence;
- g) Enlarged window or door openings of the primary residence;
- h) Removal of an existing and/or replacement of a new primary residence;
- i) Addition of/to an accessory building, including pre-fabricated buildings, occupying an area greater than 10 square metres (108 square feet)
- j) Reconfigured lot boundary;
- k) Changes to lot grade, excavation and the placement of fill which alter **a property's landform;**
- l) Increases to driveway **width, new and/or relocation of the property's** access and egress;
- m) Installation of pools and water features
- n) Any proposal which does not satisfy Policy 8, nor is identified in Policy 12.

Policy 14: Council will consider (a) through (g) when evaluating substantive alterations to properties within the District boundary designated under Part V of the Ontario Heritage Act:

- a) impact to individual heritage property attributes as generally described in Part 2 and in Schedule B.;
- b) impact to the **HCD's** form, scale, density and character as described in Part 2 and in Schedule B;
- c) impact to the immediate streetscapes;
- d) impact to abutting properties;



- e) visibility from the public realm;
- f) degree of change to existing lot grade; and
- g) quality of proposal, including but not limited to:
 - 1. compliance to Design Guidelines in Section 4.2.1;
 - 2. compliance to applicable City by-laws;
 - 3. retention, restoration and reuse of original materials;
 - 4. restoration of original features; and
 - 5. the use of materials as outlined in Part 4.

Policy 15: Council will adopt the Heritage Property Permit process as outlined in Part 4, which may be amended from time to time, in support of Policy 14. Further, Council will amend and adopt the Heritage By-law in support of the process, as defined.

Policy 16: Notwithstanding, any of the forgoing policies, Council will require a heritage property permit for any alteration to properties designated under Part IV of the Ontario Heritage Act . Such proposals will be considered pursuant to the criteria outlined within Policy 14.

3.3 Property Demolition Policy Statements

Policy 17: Council is committed to the preservation of entire buildings and will encourage retention and reuse of properties within the district.

Policy 18: Notwithstanding Policy 16, Council will consider requests for demolition in accordance Section 41.1 of the Ontario Heritage Act. Council will assess each application to demolish property based on one or more of the following:

- a) condition of property;
- b) **the impact to the property's cultural** heritage attributes
- c) the impact to the **HCD's** heritage attributes;
- d) the replacement building(s) and compliance with the Design Guidelines Section 4.1.3; and
- e) compliance with applicable bylaws.



3.4 Adjacent Property to the HCD

Policy 19: Council will consider the impact of proposed changes to properties adjacent the HCD boundary and will ensure appropriate mitigative measures are in place to minimize adverse impacts to the HCD heritage character.

3.5 Heritage Advisory Committee

Policy 20: Council will amend the Terms of Reference for the Heritage Advisory Committee to include a minimum of one property owner from the Meadowvale Village HCD.

3.6 Official Plan Amendments

Policy 21: Council will consider amending the Official Plan to include the following:

- a) **replace term 'Heritage Impact Statement' to Heritage Impact Assessment;**
- b) add the requirement for the City to request a letter from the Province with regard to clearance of archaeological assessment
- c) add an introduction to Section 16.17, Meadowvale Village

3.7 Zoning By-law Amendments

Policy 22: Council will amend the Mississauga Zoning By-law to include zoning regulations pertaining to minimum lot area, maximum lot coverage, maximum gross floor area, height restrictions and other requirements which support and implement the heritage conservation objectives of this Plan. Additionally the Zoning By-law will identify specific conditions and exceptions for certain properties where deemed appropriate.



- Policy 23:** Council will amend the Mississauga Zoning Bylaw to include:
- a) Three properties identified as exceptions for severance. These properties are:
 - i) 7079 Second Line West (PIN: 03927600)
 - ii) 6995 Second Line West (PIN: 04444700)
 - iii) 1101 Willow Lane (PIN: 04655900)
 - b) One building lot be exempt from the minimum lot area amendment:
7061 Pond Street (PIN: 21957100)

Three properties have been identified in the re-zoning amendments as exception for severance.

3.8 Conflict with Regulation & Authority

- Policy 24:** Where a conflict arises between one or more policies or regulations, the policies of an HCD Plan prevail over other legislation and municipal by-law.



PART FOUR :

IMPLEMENTATION

The OHA empowers City Council to legally designate a defined area of the City as an HCD under a municipal by-law. The designation of an HCD Plan comes with many benefits, most notably a predictable heritage planning process for the residents of the district. The success of a heritage conservation district may ultimately be measured by the amount of original property conserved, sympathetic alterations and monitored limits to development.

4.1 Regulatory Tools & Procedures:

Several regulatory tools and procedures will be adopted and applied by the City to ensure an overall comprehensive approach to **the Plan's** implementation including:

1. Heritage Permitting System
2. Heritage By-law
3. Property Standards By-law
4. Site Plan Approval
5. Zoning By-law
6. Private Tree Protection Bylaw

4.1.1 Heritage Alteration Permitting System

While an HCD is an excellent tool for managing how a district and neighbourhood changes over time, there are regulations and procedures which a property owner must be aware and comply. Specifically, once the designation by-law is in place, City Council will administer heritage property permits under Section 42 of the OHA. Moreover, the City may elect to provide a streamlined process, which does not involve permitting, to facilitate change in the district deemed to be of less impact.

A request to alter a property within the HCD will be considered in the context of the primary aim to conserve the cultural heritage attributes of a property and the general character of the



heritage conservation district. Heritage attributes are the elements of the property, buildings and structures that contribute to their cultural heritage value or interest.

Regulating alterations to public and private property within the district will be considered through the following two distinct avenues:

a) Non-substantive Alterations (Clearance to Alter Process):

Non-substantive alterations are those which do not **significantly alter a property's appearance**. In consideration of a non-**substantial alteration**, the following **'clearance to alteration process'** will be adopted. In most instances a compliant **"Clearance to Alter"** notification will be issued within 24 hours. A **"Clearance to Alter"** form, signed by the Director, will provide the property owner with permission to proceed with the alteration as stated on the form. Prior to undertaking a non-substantive alteration to a property within the district boundary a property owner will:

- consult with heritage planning staff (telephone call or email to outline intent and type of alteration)
- submit a completed clearance to alter form (forms available on-line)
- provide clarity on the proposal, where required by heritage planning staff
- Once Heritage Planning staff receive any clarity required, they will:
 - review request for clearance as to compliancy with relative policies and design guidelines (Sections 3 and 4 of this Plan)
 - determine if the request is compliant
 - **issue a 'clearance to alter' notification, if compliant**
 - notify Planning and Building Department, as required (e.g. to accompany a building permit)
 - If the request to alter is not compliant with the HCD Plan policies and guidelines, staff will advise the applicant of the opportunity to adjust the request for clearance or to consider the proposal through a full review process as per a substantive alteration.

b) Substantive Alterations (Heritage Property Permit Process)

Substantive alterations are those which changes the appearance of the property irrevocably, and typically involve the acquisition of building permits and/or other



regulatory approvals. In consideration of a substantive alteration, the following process will be adopted.

Prior to undertaking a substantive alteration a Heritage Property Permit is required, as such the property owner will:

- i. consult with Planning & Building staff to determine if a site plan approval process and application is required. Where Site Plan Application is necessary, Heritage Planning Staff will be advised through the internal review process and once this occurs will the following steps be implemented.
- ii. consult with heritage planning staff at a Pre-application meeting (applicant will be advised of any studies or other requirements in addition to the application)
- iii. submit a completed application (forms available on-line)
- iv. retain heritage consultant and prepare a heritage impact assessment (HIA)
- v. acquire an official letter of acknowledgement from Heritage Planning staff that the application is complete and will be advanced for the official assessment process in accordance with the Ontario Heritage Act (a maximum of 90 days is permitted for **evaluating the application and receiving Council's decision**)

Once an application has been deemed complete by Heritage Planning staff, the following administrative steps will be completed:

- vi. Heritage Planning staff review proposed application pursuant to applicable policies and guidelines and provide comments to applicant regarding compliancy;
- vii. Property Owner meets with heritage planning staff to review components of the application which are considered to be contrary to the Plan;
- viii. Property Owner revises proposal and re-submits application to Heritage Planning staff;
- ix. The Meadowvale Village HCD Subcommittee of HAC will review the application and submit comment and a recommendation to Heritage Planning staff;
- x. Staff prepare report with a recommendation for consideration by **the City's** Heritage Advisory Committee (HAC);
- xi. HAC will provide a recommendation
- xii. Where the recommendation is positive, the Director of the Culture Division will issue a Heritage Permit;
- xiii. If the recommendation is negative, the property owner's **application is** referred to Council for a decision;



- xiv.** Notwithstanding **xii**, where the property owner is requesting to demolish attributes of a property, the HAC recommendation will be tabled before City Council's General Committee meeting for consideration;
- xv.** The General Committee recommendation is tabled with City Council for final decision
- xvi.** Council will either approve or deny the recommendation, and in some instances may apply conditions as part of the approval.

At any stage of the process, the applicant has the opportunity to appear as a deputant before Council, or any Committee of Council. Should Council refuse an application for a Heritage Property Permit or set conditions to which the property owner does not agree, the owner may appeal to the Ontario Municipal Board as stated in the Ontario Heritage Act. A decision by the Ontario Municipal Board is final.

4.1.2 Heritage By-Law:

In order to facilitate the Heritage Property Permit process, City Council has adopted a heritage By-law. By-law 215-07, approved in 2007, outlines the legal parameters through which a heritage property permit may be issued by the City of Mississauga, and includes specific reference to Heritage Conservation Districts. The By-law also delegates authority to the Director of the Culture Division, who may consent and approve alterations, other than demolition requests, within the HCD once considered and recommended for approval by the City's Heritage Advisory Committee.

4.1.3 Property Standards By-law

The City of Mississauga has adopted minimum heritage property requirements within its Property Standards By-law. The *Ontario Heritage Act* provides a municipality, where a Building Standards By-law, commonly known as a Property Standards By-law, has been adopted by Council, with the authority to prescribe minimum standards for the maintenance of the heritage attributes of property situated in a heritage conservation district; and require property in a heritage conservation district that does not comply with the standards to be repaired and maintained to conform with the standards.

4.1.4 Site Plan Application Process



Some projects may require a property owner to apply through the Site Plan Application process in seeking permission for alterations. These types of projects are usually larger in scale. These projects include new construction such as garages, additions to existing dwellings **or, in rare cases, a new dwelling. It is the property owner's responsibility to** discuss the project with the Planning and Building Department to determine if a Site Plan Application is necessary and to follow the process as outlined. A Heritage Property Permit will be required as a condition of Site Plan Application approval.

4.1.5 Zoning By-law

The City's Zoning By-law regulates the use of land, buildings and structures. The statutory authority to zone land is governed by the Ontario Planning Act. The Zoning By-law identifies the permitted land uses and zoning regulations for all lands in the district. The permitted land uses are those uses allowed on a subject property and the accompanying zoning regulations are the rules and/or standards governing the permitted land uses. For the purpose of this plan, the Zoning bylaw will be amended to include new zoning regulations pertaining to minimum lot area, height restrictions, maximum lot coverage, maximum gross floor area, in addition to other requirements. Additionally, the By-law will identify specific conditions for certain properties, where exceptions are deemed appropriate.

4.1.6 Private Tree Protection By-law

The retention of trees within the Village HCD is essential to its heritage character and sense of place. The City of Mississauga has adopted the Private Tree Protection By-law 0254-2012. Through this by-law the removal and replacement of trees on private property are regulated.



4.2 Design Guidelines

The designation of the Meadowvale Village Heritage Conservation District seeks to ensure a level of care, conservation and management of the heritage character. The following Design Guidelines will ensure a sensitive approach to the conservation of the heritage attributes, and long term **preservation of the District's physical and contextual landscape**. The Guidelines provide an important reference for any proposed alterations, both non-substantive and substantive, as well as for new development and public works projects. Adoption of the Guidelines will ensure change within the District is guided **with an underlying intent to both protect and enhance the district's character**.

An important objective in the following guidelines is to encourage change that is in keeping with and respects the existing building form.

The guidelines should be read in conjunction with information on building conservation found within the HCD Plan and, as a prerequisite for the consideration of permit applications under Part V, Section 42 of the Ontario Heritage Act.

The guidelines are organized to respond to those who are directly responsible for change in the district, namely:

- Existing owners of heritage properties within the Village;
- Potential buyers of heritage properties within the Village;
- Land Developers and property speculators; and
- Public officials undertaking public work projects

The following section provides guidance for five different scenarios contemplated within the Plan:

1. Non-Substantive alterations to properties;
2. Substantive Alterations (Additions) to properties;
3. Substantive Alterations (New Structures) to properties;



4. Substantive Alteration (Conversions to Commercial use)) to properties;
5. Non and Substantive alterations to public works within and abutting the Village boundary

4.2.1 DESIGN GUIDELINES for Non-Substantive Alterations for private and public properties:

4.2.1.1 Roofing

- Roofing materials and styles original to the property should be used for maintenance and restoration, however, where this is not feasible, one of the following materials will be permitted:
 - wood shingles,
 - metal roofs,
 - asphalt shingles

4.2.1.2 Chimneys

- Chimney numbers, size, location, and materials original to the property should be retained
- New chimneys designed to respect the existing scale and materials of the building, and that meet relevant City bylaws and requirements, are permitted.
- Metal chimneys not original to the structure will be permitted if they are not visible from the public realm.

4.2.1.3 Skylights

- Flat skylights not visible from the street are permitted



4.2.1.4 Solar Panels

- Solar panels not visible from the street are permitted

4.2.1.5 Exterior Cladding

- Every effort should be made to retain and conserve original wood construction , wherever feasible
- Every effort should be made to retain and conserve original stacked plank on plank construction, with a rough cast stucco exterior, where feasible
- Every effort should be made to retain and conserve original enamelled panels, brick or concrete block wherever feasible
- Notwithstanding the above, where it is not feasible, one of the following alternative material will be permitted:
 - Stucco
 - Concrete block
 - Wood with the original board dimensions
 - Vinyl or aluminum siding, if an original material



A good example of rough cast stucco.

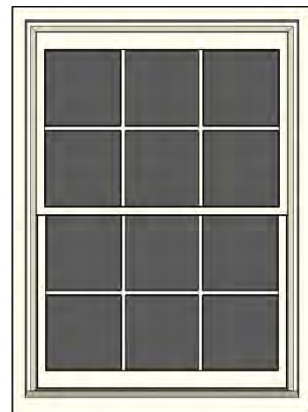
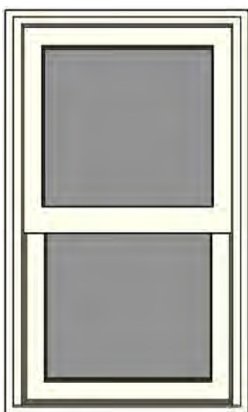
4.2.1.6 Windows and Storm Windows

- Original wood windows should be retained and conserved wherever feasible. However, where it is not feasible, new windows will be permitted where the following conditions are satisfied:
 - colourless glass is used;
 - aperture, or window opening, is retained;
 - wood faced muntins are incorporated if originals are being replaced;
 - constructed from wood, although may be faced with metal and/or vinyl;
- Original wood storm windows should be retained and conserved wherever feasible. However, where it is not feasible, new windows will be permitted where the following conditions are satisfied:
 - colourless glass is used;

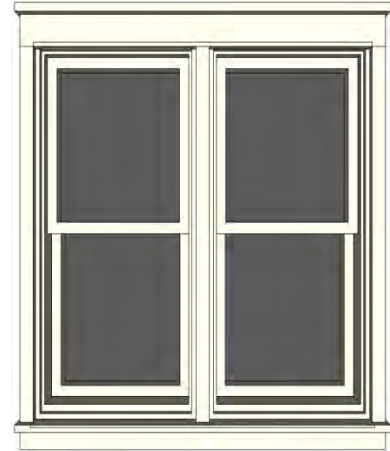
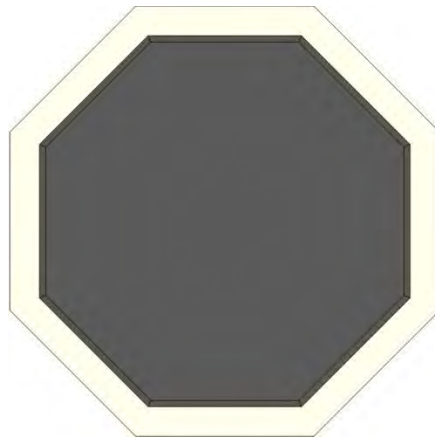
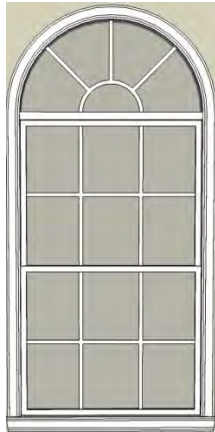


- constructed from wood;
- same scale and design as the original
- Windows and storm windows, which cannot be viewed from the public realm, may be constructed of materials other than wood;
- Replacement of original bay windows is permitted.

Appropriate window design to be viewed from the public realm:



Windows of inappropriate design to be viewed from the public realm:



4.2.1.7 Shutters

- Original wood shutters should be retained and conserved wherever feasible
- Restoration of original wood shutters will be permitted
- Shutters which are not original will be permitted where the following conditions are satisfied:
 - constructed from wood
 - size, shape and form is proportionate to the window and structure
- Window shutters constructed of materials other than wood will be permitted where they cannot be viewed from the public realm

4.2.1.8 Doors

- Original doors should be retained and conserved wherever feasible. However, where it is not feasible, new doors will be permitted where the following conditions are satisfied:
 - original aperture is retained
 - original style and design is retained

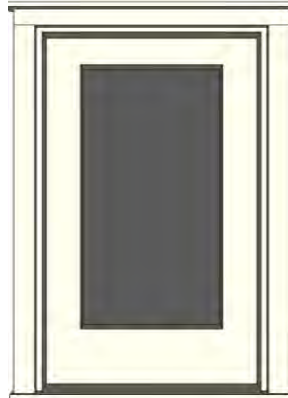


- Original wood storm doors should be retained and conserved wherever feasible. However, where it is not feasible, new storm doors will be permitted where the following conditions are satisfied:
 - constructed from wood;
 - same scale and design of the original
- French patio doors will be permitted where they cannot be viewed from the public realm

Doors appropriate as viewed from the public realm:



Door of inappropriate design if viewed from the public realm:



4.2.1.9 Architectural Detail

- Restoration of architectural details original to the structure will be permitted where it can be supported by historical documentation and are appropriate in style and scale
- Lighting required for safety, security and civic identification is permitted
- Exterior ambient lighting will be permitted where it does not impact the view from the public realm
- Original architectural detail removed or damaged should be fully restored

4.2.1.10 Existing Porches and Verandahs

- Restoration of porch or verandah elements such as, steps, flooring, balustrades and rails, original to the structure will be permitted where they can be supported by historical documentation and are appropriate in style and scale.
- Opening of previously closed porches and verandahs will be encouraged

The following historic photo from the Village is an example of appropriate verandah design:



Lambe Residence, c. 1900

(PAMA)

4.2.1.11 Existing Outbuildings (Garages and Garden Sheds)

- Sections 1-10 of the Guidelines apply to all existing outbuildings

4.2.1.12 Driveways

- The use and installation of permeable paving methods are permitted
- Driveway entrances will not be gated
- Circular driveways will be permitted only where they exist at the time of the passing of this by-law

4.2.1.13 Fences

- Original fences should be retained and conserved wherever feasible. However, where it is not feasible, new fences will be permitted where the following conditions are satisfied:
 - original location, materials, style and design is retained
 - complies with City by-laws



- Restoration of fencing original to the property will be permitted where it can be supported by historical documentation and is in keeping with the existing style and materials within the Village.
- Fencing, in keeping with traditional fencing styles within the Village, when required for safety and security will be permitted where the following conditions are satisfied:
 - sited within the boundary of the private property;
 - constructed of fence materials which currently exist within the Village;
 - complies with City by-laws
- Privacy fencing will be permitted in areas where it cannot be viewed from the public realm

4.2.1.14 Landscaping and Planting

- The replacement of mature trees is encouraged
- The use of native species known to the area is encouraged
- Retaining walls deemed necessary to preserve natural features are permitted
- The retention of existing open spaces is encouraged

4.2.1.15 Wheelchair Ramps and Wheelchair Sidewalks

- The installation of wheelchair ramps and wheelchair sidewalks which meet acceptable accessibility standards will be permitted

4.2.1.16 Mechanical and Utilities



- The addition or alteration of mechanical and utility elements to a property, not visible from the public realm, are permitted

4.2.1.17 Public Works

- Alterations within the public right-of-way which do not change the materials or appearance are permitted
- the addition of new sidewalks within the public right of way may be installed where required to meet accessibility needs, as appropriate
- The addition and/or replacement of street tree plantings will be encouraged
- Alterations to parkland which do not alter the appearance, materials, views or vistas of the property are permitted
- Signage related to the identification of streets within the Village are permitted
- Directional signage, bike route signs and traffic safety signs are permitted
- Signage to identify the area as an HCD is permitted
- Alterations to structures within the public realm are subject to the Design Guidelines as listed above
- The conservation and interpretation of the mill ruins located between Willow Lane and Old Mill Lane are encouraged

4.2.2 Design Guideline Substantive Alterations:

A substantive alteration is one which irrevocably alters the general appearance of an existing structure (including dwelling and outbuildings) or to the appearance of the larger property. It involves installing, renovating, repairing, and/or replacing one or more of the elements listed in (a) through (n):



- a) Increases to Gross Floor Area of the primary residence;
- b) **Increases to the existing structure's building height, width and depth;**
- c) Changes to **the existing structure's** foundation structure;
- d) **Changes to the existing structure's roof structure;**
- e) Additions of a sunroom, solarium, porch and/or verandah to the existing structure;
- f) New windows, dormers, or doors where they did not originally exist
- g) Enlarged window or door openings of the existing structure;
- h) Removal of an existing and/or replacement of a new primary structure;
- i) Addition of/to an accessory building, including pre-fabricated buildings, occupying an area greater than 10 square metres (108 square feet)
- j) Reconfigured lot boundary;
- k) Changes to lot grade, excavation and the placement of fill which alter a **property's landform and natural vegetative characteristics;**
- l) Increases to driveway **width, new and/or relocation of the property's access** and egress;
- m) Installation of pools and water features
- n) Any proposal which does not satisfy Policy 4, nor is identified in Policy 7.

4.2.2.1 A heritage permit will be required for a substantive alteration and **evaluated under the considerations of "a" through "g":**

- a) impact to individual heritage property attributes;
 - b) impact to the **HCD's** form, scale, density and character;
-



- c) impact to the immediate streetscapes;
- d) impact to abutting properties;
- e) visibility from the public realm;
- f) degree of change to existing lot grade; and
- g) quality of proposal, including but not limited to:
 - compliance to Design Guidelines
 - compliance to applicable City by-laws
 - retention, restoration and reuse of original materials



4.2.3 GUIDELINES For Substantive Alteration: **ADDITIONS**

The following guidelines provide advice on how best to add desired space to an existing structure. The Guidelines for a non-substantive alteration also apply to additions.

4.2.3.1 Scale

- Width to length ratio of principle structure or additions should be consistent with designs found within the Village

4.2.3.2 Location

- Exterior additions should be located at the rear, or on an inconspicuous side of the building, limited in size and scale to complement the existing building and neighbouring properties
- Outbuildings, including garages and greenhouses, should be detached and located at the rear, or on an inconspicuous side of the building and be limited in size and scale to complement the main structure and neighbouring properties
- Additions at the rear should always be slightly lower than the existing roof line and stepped in at the sides in order not to overpower or dominate the existing building and the view from the street. Additions so constructed will also tend to be more compatible with adjoining properties
- Additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive in the streetscape and differentiate the addition from the older structure
- The existing building shall maintain a dominant street presence with **opportunities for landscaping in the addition's setback area**
- A primary pedestrian and accessible access from the street shall be encouraged
- Corner properties should have an equal proportion of architectural details, such as traditional windows and doors, on both street fronting facades.

4.2.3.3 Roofline



- The style and pitch of an existing roofline will be retained
- New roof dormers should be located at the side or rear rather than the principal facades, and their size, shape and form should be similar to an original dormer(s) to the structure or within the Village

4.2.3.4 Roofing

- Roofing materials should be of a style traditionally found within the Village, including wood shingles, metal and asphalt shingles are permitted

4.2.3.5 Windows

- Windows important to the architectural character of the building, or in view of the public realm, will be retained and not blocked or removed as part of an addition
- New window design will be compatible with the original in terms of proportions, rhythm and scale
- Modern materials may be used; however, they should have the visual appearance of traditional materials
- The style of new windows, on an addition, should be consistent with the windows of the original structure in form, size and alignment, unless it cannot be viewed from the public realm
- Windows should be vertically oriented with a minimum width to height ratio of 1:1 3/4.

4.2.3.6 Doors

- Doors on an addition should be of a traditional design which is typical to that style of building
- Modern materials may be used; however, they should have the visual appearance of traditional materials.

4.2.3.7 Cladding



- Cladding should be of a traditional design that is typical to the style of building;
- Cladding materials on an addition should be different from the existing building
- Modern materials may be used; however, they should have the visual appearance of traditional materials.

4.2.3.8 Trim

- The removal of original trim on an existing structure should be minimal when constructing an addition
- Modern materials may be used; however, they should have the visual appearance of traditional materials.

4.2.3.9 Shutters

- Shutters added to an addition should be of a design which is typical to the style of the original building and to the Village
- Modern materials may be used; however, they should have the visual appearance of traditional materials.

4.2.3.10 Stairs, Verandahs, Porches and Balconies

- The replacement (whole or partial) of existing porches, verandahs, stairs or balconies should be discouraged except in the case of substantial deterioration in which case should be designed and constructed in the original style
- New railings and staircases should be constructed in a design that is consistent with the style of the building and in the Village

4.2.3.11 Scale

- The design of an addition which does not alter the structure's original orientation and main entrance will be permitted
- The design should be of an appropriate scale to the existing structure and kept to areas away from the main facades



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014

- Additions are to be complementary in design, scale, mass and form, but distinguishable from the original building
- Additions should allow for the retention of as much of the original structure as possible



4.2.4 GUIDELINES: **New Structures**

The construction of new structures is a substantive alteration to a property and will require a full review process and an approved Heritage Permit prior to construction. New structures will be subject to a Site Plan Application review and all applicable zoning by-laws.

The Design Guidelines and policies in the previous sections apply to all new structures unless stated otherwise.

4.2.4.1 Scale and Location

- New construction should be sited on the lot to retain spatial relationships and a sense of open space between structures and neighbouring property
- Residential structures should be oriented to the street in a traditional manner
- The set back from the street should be a median of neighbouring properties
- New built garages, or garage replacements, should be fully detached and set-back from the front façade
- The level of a structure's foundation above grade should be kept to a minimum

4.2.4.2 Style

- Style, massing, form, and materials should be subject to the historic pattern of construction throughout the Village
- New construction should be reflective of the **HCD's** simplicity of the vernacular style, but not mimic an architectural style, remaining an expression of its own era
- Garages should be designed in a style that reflects the simplicity and utilitarian use of a secondary outbuilding

4.2.4.3 Roofline

- The angle of a roof over 15% will be permitted



4.2.4.4 Windows and Shutters

- Windows should be of wood construction and consistent with the design and style of the structure
- Double pane windows with muntin dividers are permitted
- Wood shutters, functional in their design, will be permitted
- Windows and shutters not in view from the public realm may be constructed of materials other than wood

4.2.4.5 Cladding

- Exterior cladding of rough cast stucco and/or wood siding will be permitted

4.2.4.6 Topography

- Existing topography, natural drainage, mature vegetation and large diameter trees should be retained
- The alteration to a site's topography or landscape of up to 7% slope, in keeping with the City's Accessibility Standards Regulation, is permitted



Barberry Lane looking east from Old Mill Lane, 2012.

4.3 District Stewardship

The City is actively involved in heritage management, and plays an important role in the context of heritage resources, legislated mandates and regulations, programs and services. Nonetheless, a significant responsibility for heritage conservation falls to property owners and the community organizations which work to support **the City's** heritage. Ultimately, heritage is a shared responsibility with collective stewardship.

4.3.1 Heritage Advisory Committee

Pursuant to the Ontario Heritage Act, the City has established a Heritage Advisory Committee to advise Council on heritage property related matters. The Mississauga Heritage Advisory Committee is an advisory committee of Council established by by-law, to make recommendations to the Council of the City of Mississauga on the **identification, conservation and preservation of Mississauga's cultural heritage** property, which includes the legal designation. The Committee shall operate according to the Council Procedural By-law regulating the operation of meetings of Council and its Committees and within the policies and guidelines of the Ontario Heritage Act.



The membership on the Mississauga Heritage Advisory Committee shall consist of two Councillors and a minimum of five (5) Citizen members and a maximum of twelve (12) **Citizen members appointed by Resolution of Council and in accordance with the City's Corporate Policy and Procedure for Citizen Appointments.**

4.3.2 HCD Incentives

In recognition of the care and management of a heritage property, the City of Mississauga provides incentives. The City may, from time to time, offer educational seminars and/or workshops for property owners to learn and understand how to care for cultural heritage property. Heritage Planning staff maintain a database of useful information which is available upon request.

A property owner may request an individual plaque for their property to recognize its particular historic value. Please consult with Heritage Planning staff to determine the availability, naming, text, design and installation of a plaque.

The City of Mississauga may, from time to time, offer matching grants for the conservation, repair and/or restoration of property designated under the Ontario Heritage Act. Grants from \$500 to \$5000 are available to eligible work pertaining to general conservation. Grants from \$500 to \$10,000 are available for the repair/conservation of structural work. Funding is limited and allotted once per calendar year usually in the spring. Projects will commence after the application has been reviewed by Heritage Planning staff, recommended for approval, and be complete by early fall of the same year.

4.3.3 Standards & Guidelines for the Conservation of Historic Places in Canada

The City of Mississauga adopted the Standards and Guidelines in 2009. The document serves as a guide to appropriate heritage conservation. The Standards and Guidelines provide a foundation for general heritage conservation principles, integrating all aspects of cultural heritage from cultural heritage landscapes, buildings, engineering works and archaeology.



4.3.4 Ontario Heritage Trust – Resources

The Ontario Heritage Trust is an agency of the Ministry of Culture, Tourism and Sport, mandated through the Ontario Heritage Act to conserve and interpret natural and cultural heritage of provincial interest and to maintain a Register of all designated properties (both HCDs and individual property designations) within Ontario. The Ontario Heritage Act Register contains a great deal of information related to heritage designations. From this data base the Trust has compiled statistics and examples of best practice related to heritage conservation districts from across Ontario.



4.4 Recommendations

The following items are not policies or guidelines but may add to the future development and appreciation of Meadowvale Village as a heritage conservation district.

a) Conservation of the Mill Ruins

The history and development of Meadowvale is largely defined by the saw and grist mills that once existed in this small rural village. The mill ruins which exist today have been researched and identified. In order to maintain the ruins it is necessary to conserve and stabilize these important cultural heritage resources. A plan is required to conserve the mill ruins and ensure the long term stabilization of the features, along with a terms of reference to record, plan and implement this conservation plan, plus monitor the site. This conservation and stabilization project is an opportunity for the CVC, Parks and Forestry and Heritage Planning to partner in order to maintain and preserve this important cultural heritage resource.

b) Interpretive Opportunities

A program to introduce interpretive signage and other methods of historic interpretation throughout the Village is recommended in order to convey the rich pre-history and history of the HCD area. Interpretive materials will be in keeping with the character of the Village in their design, scale and materials. A maintenance and review program will be established to care for the interpretive resources.

The mill ruins located on the CVC lands are an excellent example of a remnant from the past which could tell a significant story about the history and development of the Village. There are many interpretive opportunities associated with the mill ruins including stabilization of the ruins, interpretive panels with a history of the site and historical photos and relevant public art. Other areas of the Village may also be appropriate for interpretation and therefore these opportunities should be explored.

Preliminary research has found that the number of stacked plank constructed buildings within Meadowvale Village HCD may be the highest concentration of this construction type in Ontario. There may be provincial significance to this possible fact in that it not only provides a distinct building type but also reflects the industrial development of the



Village. Further research will be required as to the truly distinct nature of the stacked plank construction frequency and typology.

Limited research has been done on the artists that lived and worked in Meadowvale at the turn of the twentieth century. (See Schedule C) Further research and interpretive opportunities that would explore this interesting time in the **HCD's** history could provide another cultural layer of history.

It is recommended that the painting entitled, "Indians on the Credit", by former Meadowvale Village resident Frederick Haines, which currently hangs in the Mississauga Civic Centre, be copied and placed above the blackboard in the Meadowvale Village Hall where it originated. The return of this art piece would be a reminder and **acknowledgment of Haines' life in the Village and his extensive career as an artist and educator.** Another example of an interpretive opportunity would be a plaque to **acknowledge Group of Seven artist A.J. Casson's association with Mill Cottage** (1101 Old Derry Road) in the Village.

c) City of Mississauga Heritage Advisory Committee

At the writing of this document the City of Mississauga has two heritage conservation districts: Meadowvale Village HCD and Old Port Credit HCD. It is recommended that one property owner be appointed a representative from each HCD to the Heritage Advisory Committee. Should the City increase the number of HCDs within the municipality, each should have a representative. This provision would provide the Heritage Advisory Committee with the insight and local area of expertise related to each HCD represented.

d) Heritage Property Grant Allocations

Currently, the Heritage Property Grant program allows heritage property owners to apply for a 50/50 matching grant for the conservation of heritage attributes. A minor amount is currently allowed for professional studies, such as a structural engineering report. It is recommended that this amount be increased to allow for more flexibility and availability of funds to assist with studies such as a heritage conservation plan or an archaeological assessment.



e) Old Derry Road Study

At a community meeting held on March 7, 2013, there was an expression of interest from the residents in attendance for the City to undertake a community revitalization review of Old Derry Road. The once thriving commercial core of the Village has been lost for many years. A study to revitalize the commercial core with the potential to attract small businesses, a pedestrian friendly scale, and improved parking and landscaping features is recommended.

f) Street Parking

HCD residents have expressed street parking as an ongoing concern and long term need. Consideration should be given to street parking being restricted to the side of the street which contains the least number of driveways in order to maximise parking availability. Maintaining parking on one side also alleviates the concern about access for emergency vehicles throughout the HCD

g) HCD Plan Review

The Ministry of Culture, Tourism and Sport recommends that a heritage conservation district plan be reviewed and revised every five years in order to keep the document **current and relevant to the community's needs**. The review may also consider the potential to revisit additions to the boundary of the HCD.



5.0 Glossary of Terms

The definition of the terms used in this document correspond to, and share the same meaning as, those in the original source.

A) The following terms are defined in the **Ontario Heritage Act:**

Alter: means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning; (“transformer”, “transformation”)

Building Permit: means a building permit issued under section 8 of the *Building Code Act, 1992*;

Heritage Attributes: means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest

Owner: means the person registered on title in the proper land registry office as owner

Property: means real property and includes all buildings and structures thereon.

B) The following are defined in the **City of Mississauga Official Plan:**

Conform to: means to comply with or be in agreement with a policy or requirement of the HCD Plan

Conserve: means the identification, protection, use and/or management of cultural, heritage and archaeological resources in such a way that their heritage values, attributes, and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment

Discourage: means not permitted unless it can be demonstrated that compliance with the policy is not possible



Heritage Impact Assessment: means a report that will identify all heritage resources of a property; describe and evaluate their heritage significance; and, evaluate their sensitivity to a proposed development, use or re-use, including, where possible, measures to mitigate deleterious consequences.

Heritage Easement: means a legal agreement between the property owner and the City or the property owner and the Ontario Heritage Trust whereby a set of regulations regarding the heritage conservation of the property are established in perpetuity.

May: means a discretionary, but not a mandatory policy or requirement of the HCD Plan

Should: means to carefully consider or take into account

Streetscape: means the character of the street, including the street right-of-way, adjacent properties between the street right-of-way and building faces. Thus, the creation of a streetscape is achieved by the development of both public and private lands and may include planting, furniture, paving, etc.

Watercourse: means an identifiable depression in the ground in which water flows regularly or continuously.

Will: denotes a mandatory requirement of the HCD Plan

C) The following terms are defined in the **Parks Canada: Standards and Guidelines for the Conservation of Historic Places in Canada**

Conservation: All actions or processes that are aimed at safeguarding the character defining elements of a cultural resource so as to retain its heritage value and extend its physical life. This may involve "Preservation," "Rehabilitation," "Restoration," or a combination of these actions or processes.



Cultural Heritage Value: An area or place that is of historic, architectural, archaeological, spiritual or other cultural significance.

Cultural Heritage Landscape: Any geographical area that has been modified, influenced, or given special cultural meaning by people. Designed cultural landscapes were intentionally created by human beings; Organically evolved cultural landscapes developed in response to social, economic, administrative or religious forces interacting with the natural environment. They fall into two sub-categories: Relict landscapes in which an evolutionary process came to an end. Its significant distinguishing features are, however, still visible in material form. Continuing landscapes in which the evolutionary process is still in progress.

They exhibit significant material evidence of their evolution over time. Associative cultural landscapes are distinguished by the power of their spiritual, artistic or cultural associations, rather than their surviving material evidence.

Heritage value: The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Maintenance: Routine, cyclical, non-destructive actions necessary to slow the deterioration of an historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Preservation: The action or process of protecting, maintaining, and/or stabilizing



the existing materials, form, and integrity of a historic place or of an individual component,
while protecting its heritage value.

Sustainability: A group of objectives (economic, social and environmental) that must be coordinated and addressed to ensure the long term viability of communities and the planet.

Vegetation: Refers to trees, shrubs, herbaceous plants, grasses, vines, aquatic and wetland plants, and other living plant material

Vernacular: Indigenous, made locally by inhabitants; made using local materials and traditional methods of construction and ornament; specific to a region or location.

D) General Terms:

Archaeological Assessment: Before approving a land development project regulated by legislation, the City requires an archaeological assessment of all lands that are part of the project. Assessments are required when the land is known to have an archaeological site on it, or has the potential to have archaeological resources. Archaeological assessments must be carried out by consultant archaeologists. It is important to contact Heritage Planning staff for further information. For further information, please consult the following website:

http://www.mtc.gov.on.ca/en/archaeology/archaeology_assessments.shtml

Clearance to Alter: Is a form, signed by the Director, which will provide the property owner with permission to proceed with a non-substantive alteration as stated on the form.

Heritage Conservation Plan: A Heritage Conservation Management Plan serves to identify the cultural heritage significance of a property and to set out a plan to manage, protect, and preserve the heritage attributes and integrity of cultural heritage resources. The Heritage Conservation Management Plan is a long-term plan that takes



into consideration future use, possible alterations or development while protecting and conserving the heritage attributes.

Immediate Streetscape: An immediate streetscape is the view from the street of the subject property, all adjacent properties including the property directly across the street. The development of the subject property should take the immediate streetscape into consideration in terms of maintaining a consistent transition of heritage attributes from property to property.

Stewardship: Responds to the needs and perceptions of people today and seeks to have regard for the needs of those in the future. Stewardship includes undertaking conservation management tasks, communicating the public value of heritage conservation, promoting community awareness of the historic environment and encouraging active engagement in its protection and enhancement.



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International Charters:

ICOMOS AUSTRALIA, *The Charter for Places of Cultural Significance, 1999* (The Burra Charter). Adopted by the ICOMOS General Assembly in 1974 and updated in 1999.

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ICOMOS Canada, *The Appleton Charter for the Protection and Enhancement of the Built Environment*. Published by ICOMOS Canada in August 1983.

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Owning a Heritage Property (City of Mississauga)

http://www.mississauga.ca/file/COM/Heritage_Property_Guide.pdf



Heritage Consultants

For information on how to hire a qualified professional with demonstrated experience in the field of heritage conservation, including archaeologists, researchers, trades persons and structural engineers, please consult the following websites:

Canadian Association of Heritage Professionals (CAHP)

<http://www.cahp-acecp.ca/>

Ontario Association of Professional Archaeologists

<http://www.apaontario.ca/job-postings>

Ontario Ministry of Culture, Tourism and Sport

<http://www.mtc.gov.on.ca/en/archaeology/archaeology.shtml>

Ontario Association of Architects

<http://www.oaa.on.ca/>



Schedule A – Map of the Meadowvale Village HCD Boundary

Schedule B – Meadowvale Village HCD: Property Inventory

Please visit the Heritage Conservation Districts section of the Heritage Planning website at www.mississauga.ca/heritageplanning to access the *Property Inventory*

Schedule C – Cultural Heritage Assessment of Meadowvale Village and Area

Please visit the Heritage Conservation Districts section of the Heritage Planning website at www.mississauga.ca/heritageplanning to access the *Cultural Heritage Assessment of Meadowvale Village and Area*



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Martin Boeykens
Frank Bosnjak
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Mike Picco
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Rob Zaffino
Brian Carmody
Miles Backhouse
Neil O'Connor
Siobhan Kukolic
Rosemary Wilson

Members of the Project Charter Steering Committee:

Wendy Alexander, Director, Transportation and Infrastructure Planning,
Transportation and Works
Susan Burt, Director, Strategic Initiatives
Kelly Yerxa, Deputy City Solicitor, Corporate Services
John Calvert, Director, Policy Planning, Planning and Building
Laura Piette, Director, Parks and Forestry
Marilyn Ball, Director, Development and Design, Planning and Building



Meadowvale Village HCD Review Committee:

James Holmes, Chair

David Moir

Colleen Newmarch

Michael Spaziani

Terry Wilson

City of Mississauga staff:

Andrew Whittemore, Acting Director, Culture Division

Paula Wubbenhorst, Senior Heritage Coordinator, Culture Division

Elaine Eigl, Heritage Coordinator, Culture Division

Ramona Braganza, Admin Coordinator, Culture Division,

Danette Franks, Admin Assistant, Culture Division

Anthea Foyer, Digital Community Engagement, Culture Division

Michael Tunney, Cultural Research Coordinator, Culture Division

Lobna Thakib, Program Promotions, Culture Division

Marta McDougall, Events Assistant, Programs, Culture Division

Angela Dietrich, Manager, City Wide Planning, Planning and Building

Marianne Cassin, Planner, Zoning By-law, Development and Design

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Karen Crouse, Planner, Policy Planning

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Division/Geomatics, City of Mississauga

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Kyle Neill, Reference Archivist, Region of Peel Archives, Peel Art Gallery Museum and
Archives



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Matthew Wilkinson, Researcher (Land Registry Office Abstracts, Lot and Concessions)

Heather Henderson, Archaeologist, Historic Horizon Inc.

Dorothy Kew, Local History Librarian, Canadiana Room, Mississauga Central Library

Nick Moreau, Reprographics specialist, Region of Peel Archives, Peel Art Gallery Museum and Archives

Jesse DeJager, Conservation Lands Planner, Credit Valley Conservation

Paul Tripolo, Urban Ecologist, Credit Valley Conservation

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In conclusion, the Culture Division wishes to acknowledge the following people for the research and writing of the Meadowvale Village HCD Plan Revision project:

Mark Warrack, Cultural Planner, Culture Division

Laura Waldie, Heritage Coordinator, Culture Division

Andrew Whittemore, Acting Director, Culture Division



Schedule A - Meadowvale Village Heritage Conservation District Boundary

Legend



HCD Boundary

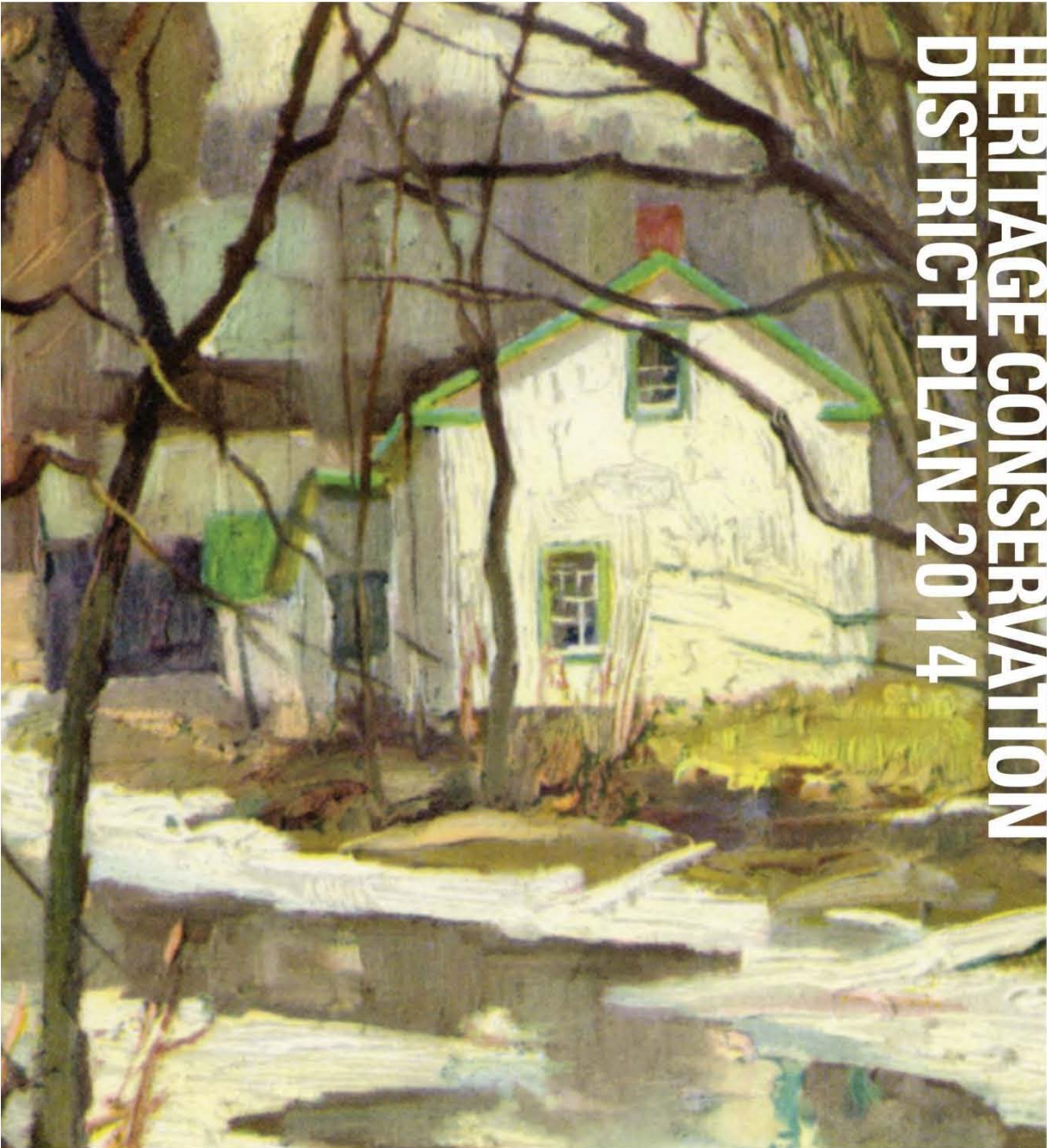


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T&W, Geomatics

December 1, 2009

HERITAGE CONSERVATION DISTRICT PLAN 2014



MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2014: PROPERTY INVENTORY, SCHEDULE B



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

INTRODUCTION

The Meadowvale Village Heritage Conservation District (HCD) Plan: Property Inventory, Appendix A has been compiled as a background document for fifty seven residential properties and four properties under public ownership within the Meadowvale HCD. The historical background and related research was not completed prior to the 1980 heritage designation and is therefore provided here under the comprehensive review of the HCD Plan.

For each property within the HCD the following information has been provided:

- Municipal address – number and name of street
- Date of construction – date the building was constructed if known
- Historical background – history of the property and building
- Description – current description of the property, including buildings and context
- Heritage attributes – the heritage elements of the property
- Statement of significance – statement as to how the property contributes to the HCD

The photographs at the top of the first page of each listing were taken by City Heritage staff in May, 2012. All photos are attributed to their source. If a source is not given, it is the property of the City of Mississauga.

The photograph credit “PAMA” is the abbreviation for: Peel Art Gallery Museum & Archives.

In addition to information provided in this report, the City has researched the Land Registry documentation for each property. These records can be access at the Peel Land Registry Office in Brampton, Ontario.

There are references to the Bristow Survey of 1856. An image of the survey has been provided in this introduction, along with a map of the current HCD providing street names and municipal addresses.

A NOTE ON HERITAGE ATTRIBUTES

Heritage attributes are the character-defining elements of a cultural heritage property which, from a cultural heritage perspective, give meaning and definition to a property and are, therefore, worthy of conservation. For the purpose of this report we use the definition of character-defining elements as stated in Parks Canada, Standards and Guidelines for the Conservation of Historic Places in Canada, to define heritage attributes in the HCD Plan:

“The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained in order to preserve its heritage value.” (p.253)



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

You will note that most properties within the HCD, despite their age, are described in the Property Inventory as having heritage attributes of a “style, shape, form” that is compatible to the HCD. It is a common misconception that “heritage” only equals “old” (or only dates to an earlier period.) The style, shape, and form of a structure may be a heritage attribute because it is compatible with the more traditional buildings within the HCD or was built within the guidelines of the HCD Plan (1980) and/or the Conservation Principles and Design Guidelines, 2003. Structures built within these guidelines were carefully reviewed and approved and therefore share the heritage attributes of style, scale, shape and form appropriate to older structures within the HCD. The context, or location of the subject property within the Village, is also of importance to conserve the open characteristic and relationship between the public and private realm. The elements of size, shape, form and context are integrated and blend within the holistic cultural heritage value of the Village.

A LIVING HISTORY DOCUMENT

As with any other document based on historical research and analysis, this report should not be considered a “completed heritage” document. Rather, it should be considered as a “living heritage” document which will continue to grow and expand into a deeper understanding of the Village as new stories and information are uncovered in the future.

According to the UNESCO 2003 *Convention for the Safeguarding of the Intangible Cultural Heritage*, the intangible cultural heritage, or living heritage, is the mainspring of humanity's cultural heritage and diversity. It is defined by the following statement:

“Intangible Cultural Heritage means the practices, representations, expressions, knowledge, skills – as well as the instruments, objects, artifacts and cultural spaces associated therewith – that communities, groups and, in some cases, individuals recognize as part of their cultural heritage. This intangible cultural heritage, transmitted from generation to generation, is constantly recreated by communities and groups in response to their environment, their interaction with nature and their history, and provides them with a sense of identity and continuity, thus promoting respect for cultural diversity and human creativity.”

Continued research will provide new trends in understanding how the development of Meadowvale contributed to the development of the City of Mississauga as a whole. Future insights, which may be uncovered in the future, will also permit the development of new planning initiatives that will drive forward the protection and conservation of identified cultural heritage attributes that have gone previously unnoticed or are at risk throughout the City of Mississauga. By doing so, Mississauga will be able to manage its cultural heritage features and heritage conservation districts well into the twenty-first century and beyond.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

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Heather Henderson, Archaeologist, Historic Horizon Inc.

Rosemary Wilson, Resident of Meadowvale Village

Terry Wilson, Resident of Meadowvale Village

Dorothy Kew, Local History Librarian, Canadiana Room, Mississauga Central Library

Karen Mewa-Ramcharan, GIS Analyst, Transportation and Works Business Services Division/Geomatics, City of Mississauga

Danette Franks, Administrative Assistant, Culture Division, City of Mississauga

Anthea Foyer, Community Digital Engagement, Culture Division, City of Mississauga

Michael Tunney, Cultural Research Coordinator, Culture Division, City of Mississauga

Nick Moreau, Reprographics specialist, Region of Peel Archives, Peel Art Gallery Museum and Archives

Jesse DeJager, Conservation Lands Planner, Credit Valley Conservation

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The Province of Ontario, for partial funding towards the Meadowvale Village Heritage Conservation District Plan Review.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The Meadowvale Village Heritage Conservation District is characterized and defined by its inherent heritage value, size, shape, and form adjacent to the Credit River at the intersection of two roadways, Old Derry Road and Second Line West. The relationship of the historic village to the Credit River has not altered since its founding in the early nineteenth century. The village plan with lotting and road pattern has been retained since the 1856 Bristow Survey. The grid road pattern, aligning with the early established concession road and the inter-relationship of the lotting pattern as it relates to the topography, the river valley and ridge, is distinct within Mississauga. The village is situated in the low river valley, bordered to the south and east by a shallow ridge that establishes the table lands above the floodplain. The location of the Village, adjacent to the Credit River, illustrates the dependency of the early settlers on the river for its resources of water, travel and natural open space of a meadow and vale. These same conditions are not found elsewhere in Mississauga. Native populations, prior to pre-contact with European settlement, inhabited the area for over 10,000 years. The village's property plan, street pattern and physical layout have changed very little, although the once rural village is now within an urban context of the larger City of Mississauga.

The original Meadowvale Village Heritage Conservation District Plan from 1980 was reviewed between March 2012 and September 2013. This comprehensive review proposed a boundary study area enlarged from the original 1980 HCD Plan to include the Meadowvale Conservation Park to the west and Old Ridge Park to the south, both of which are significant to the development of the village. Entry points to the Village from all directions were also considered in this review to ensure that the transitions into the historic village are conserved. On the recommendation of the Meadowvale Village HCD Review Committee, two properties located at 6940 and 6985 Second Line West were added to the HCD boundary as they provided a significant transition into the HCD from the south side.

The Meadowvale Village HCD has maintained a pedestrian friendly scale, with the exception of Old Derry Road, whereby streets have a rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size. What was once a commercial core, along Old Derry Road supporting a mill-based village has now become mostly residential with a few reminiscent commercial buildings, creating a quieter version of an earlier era. The narrow side streets retain an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and mature trees. In general, there are modest design and scale homes set on larger lots within a soft naturalized landscape. Historic photographs indicate that much of the vegetation in the area was cleared in the mid to late nineteenth century. The Village and immediate area were farmed for both wood products (sawmill production) and mixed agrarian farming. Today's public lands have become naturalized with a good deal of random mature tree growth of both native and invasive species. Private, residential lots also retain many mature trees and open space that provide a generous spacing around buildings and frame residential lots. The character of the Village is defined by the narrow roads, mature trees, open space and lack of density in building form. Some of the traditional late nineteenth century landscaping,



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

including simple picket fences have begun to be reintroduced. The variety of lot size, changed very little since the mid nineteenth century, and generally smaller structures on large lots have been protected and conserved by the Village's heritage conservation district status since 1980. Low volume lot coverage and retention of mature trees are significant characteristics to be conserved. The positioning of varied modest size structures on the lot, which vary throughout the Village, is a characteristic of this rural community development over time as opposed to a more urban, standardized and conventional setback. The varied setbacks, providing wide-ranging open space and streetscapes, are an important aspect of the Village character.

Archaeological resources are a significant element of the cultural heritage resources within and around the village. There is a high potential for pre-contact archaeological resources and known historical resources within the village. The extant mill ruins, mill race and tail race, remnant mill pond, and other archaeological references, are to be conserved.

Entry points into the village from the west and north have maintained a rural character. To the west there are farmlands on the south side of Old Derry Road, open green space to the north, the metal c. 1948 Pratt (Parker, "camelback") truss design bridge over the Credit River, all contributing to the agricultural past that surrounded the village for over a century. To the north, along Second Line West, the west side of the road retains a natural environment, reminiscent of the rural past, conserved within the Meadowvale Conservation Area. The late subdivision homes, of differing scale and form on the east side of Second Line West are mostly positioned high on the table lands above, retaining a naturalized road right-of-way at the street level, enhancing the former rural character.

DESCRIPTION OF HERITAGE ATTRIBUTES

- a significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements within the river's low floodplain to the gentle sloping ridge
- an ecological feature and tradition of a floodplain meadow on the Credit River that has existed for hundreds of years
- a land pattern that retains the layout and plan of generous lots and pedestrian oriented and narrow roadways since the 1856 Bristow Survey spatial organization of narrow soft landscaped streets with no shoulder, mature trees in a random pattern and a visual relationship that blends from public to private space among front and side yards void of privacy fencing
- long term tradition of rural village-like streetscapes without curbs, no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting
- a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village
- later 20th residential styles that are compatible with the district character from a scale, materials and massing perspective;



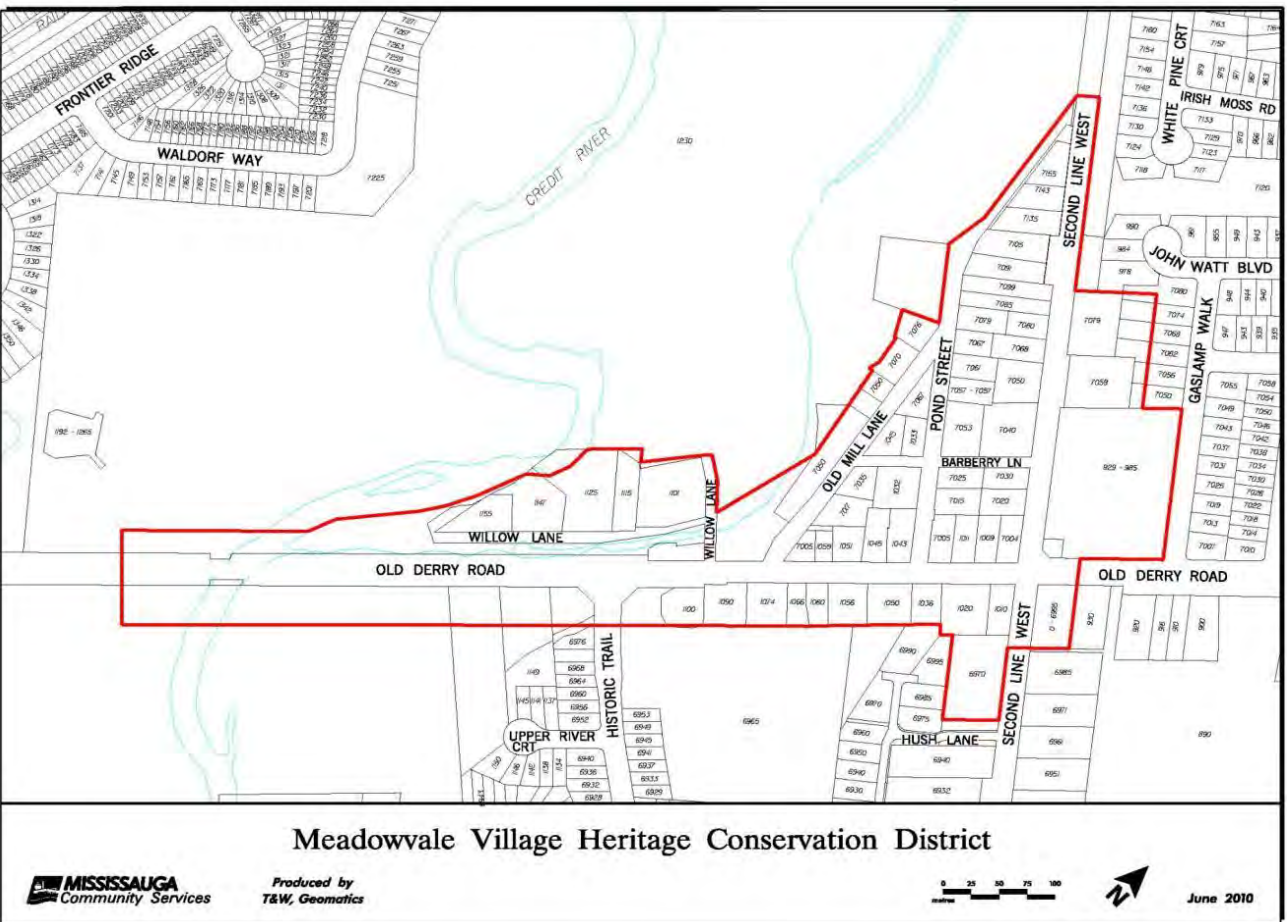
Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

- a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick
- structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the village
- visual identity of rural character roadway entry points to the village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south
- individual properties of particular character and significance are identified in “The Meadowvale Village Heritage Conservation District Plan: Property Inventory, Appendix A”
- archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond

[illegible]

8



Map of Meadowvale Village HCD as per By-law 453-80



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 1032 Barberry Lane

Date of Construction: c. 1945

Historical Background: This property sits on land once owned by Francis Silverthorn, which was passed down to Matthew Laidlaw, the builder of the Commercial Hotel on Old Derry Road. The 1856 Bristow Survey shows a structure existed on this property in the same location as the present house. Perhaps this current house was built upon the original footprint of the previous structure. However, it is possible that this is the original house which, at some time in its past, has been raised up on cement blocks to create a full basement/cellar and then clad in aluminum siding. The size, shape and form of this dwelling is consistent with dwellings of the mid to late 19th century.

The present owner has resided here since 1961.

Description: A very modest one storey structure with a shallow set-back from Barberry Lane on a very large lot. The small scale of this house is enhanced by the generous open space on three sides, with an extensive east side yard over to Pond Street. The large open yard, with no fencing, along Pond Street provides an historic open space and green area within the centre of the Village. Although this is private property, this open space has a long tradition within the Village and greatly contributes to its character. The house is



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

raised about one metre above grade on a concrete block foundation. The house has aluminum siding and simple one-over-one windows and a hip roof.

Heritage Attributes:

- The modest size, shape, form and style of the house
- The location of the structure on the lot in relation to the setbacks in all directions
- The large open yard creating a green open space in the centre of the Village at the intersection of Pond Street and Barberry Lane

Statement of Significance:

The property at 1032 Barberry Lane is significant for its scale, size, shape and form, traditional to the character of the Village in the mid to late 19th century. The context of this property is significant with the building having a shallow setback to Barberry Lane and significant open green space to the west, rear and from the house to Pond Street.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 1033 Barberry Lane

Date of Construction: 1832 (Richmond Hill, ON)

Historical Background: This is the most well-travelled house in Meadowvale Village and is one of the oldest. In 1832, this farmhouse, known as the Atkinson-Nelson House, was constructed by pioneer farmer Edward Atkinson in Markham Township, which is now in the municipality of Richmond Hill. Atkinson was born in England in 1800 and came to Canada in approximately 1829. He bought 200 acres from Christopher Steckley for £187.10 in February 1832. The house could have been built as early as the summer of 1832. In 1833, Atkinson married Ann (maiden name unknown) who also was born in England in 1812. It is quite feasible that the house was ready by 1833 for them to take up residence.

The Atkinsons did not have heirs. However, the 1851 census for Canada West showed that a widow and young male also lived at the residence. It is possible that these residents may have been farm hands or relatives of Edward Atkinson. Edward passed away in 1867 and Ann Atkinson sold off parcels of the farmland for \$1 in 1884 to Matthew Teesley in trust for Joseph and John Atkinson. It is commonly believed that John Atkinson was Edward's younger brother. John had a daughter Sarah, who married Simon Nelson. Upon Ann Atkinson's death, the Nelsons took over the farm. The



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

property was sold in 1986 for future development of the land. The house had not been lived in for over a decade and had fallen into severe disrepair.

In 1995, 1033 Barberry Lane changed ownership. The property at that time included a 1950s wood frame bungalow. This bungalow was demolished to make way for the relocation of the Atkinson house from Richmond Hill in 1998. The Atkinson farmhouse was dismantled with every single piece being numbered then moved by Tradition Incorporated, a company specialising in historic house relocations. The dismantling took a total of six weeks and the reassembly took eight weeks. The interior detailing includes the original flooring, doors, crown moulding and door trims, including all the hardware. There is also evidence in the basement of an open cooking hearth.

Description:

A post and beam timber framed one-and-a-half storey Neoclassical farmhouse structure with a stucco exterior and gable ends. The house is placed on a solid concrete foundation with a stone facing at grade level. The roofline has gable ends with cornice returns. The front open porch, supported by four simple chamfered posts and has a gentle bell cast curve. The front entrance, with detailed wood framing, (has sidelights of four panes each, on either side of the doorway), and a transom above. The porch and house roof are wood shingle. The wood windows are twelve over eight divided panes. There are Rumford fireplaces at either end of the house with internal red brick chimneys.

Heritage Attributes:

- The property is associated with the Silverthorn family and its history as an open green space throughout the 19th century to the mid twentieth century
- The form, shape, size and style of the structure typical of the 1830 period.
- The exterior stucco finish and wood shingles
- The window pattern and detailing of features on the home



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Statement of Significance:

The property at 1033 Barberry Lane does not have an historic association with Meadowvale Village as it was relocated in 1998 from Richmond Hill, Ontario, but its size, shape, form, materials and detailed features are compatible with the character of the Village HCD. The context of this property with its shallow setback from Barberry Lane and generous yard of open green space contribute to the Village character.



1033 Barberry Lane – this mid-20th century bungalow was demolished in 1998 to allow for the existing Atkinson-Nelson House which was relocated from Richmond Hill to this site.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 1045 Barberry Lane

Date of Construction: 1992

Historical Background: The house was built in 1992 replacing a small one storey structure believed to have been built circa 1950.

This property formed part of the original "three corners" open green space which included the properties of 1033 Barberry Lane and 7067 Old Mill Lane. This triangle of land had been set aside, it is believed, by Francis Silverthorn to be a village green where children could play and families enjoy Sunday picnics and other social get-togethers. This piece of land had remained green space until the 1940s, when development happened for the first time.

Description: A one-and-a-half storey frame residential structure finished in vertical wood siding. The house has a steep pitched roof with three dormers on the front façade. A double garage is incorporated into the building with entrance off to the north façade. This is a corner lot, but heavily treed so that the house is only partially visible from the either Old Mill Lane or Barberry Lane.

Heritage Attributes:



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

- The property is associated with the Silverthorn family and its history as an open green space throughout the 19th century to the mid twentieth century
- The vertical wood siding and wood shingles are compatible to the HCD character

Statement of Significance:

The structure at 1045 Barberry Lane does not have an historic association with the Village HCD but is compatible in its overall size and location within the lot and open green space.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: Old Ridge Park, 6965 Historic Trail

Date of Creation: 1997

Historical Background: The history of this land dates back to the 1824 Crown Grant awarded to Evan Richards for the lands on the south side of Old Derry Road. Evans farmed some of this land nearest to the Credit River until 1837 when John Simpson acquired it. It was Simpson who developed the full 200 acres into farm land and operated Meadowvale's first commercially successful saw mill further to the west of the park.

In 1888, James Jackson acquired this land from Mary Graham, who was John Simpson's daughter. Jackson continued to farm the existing land and lived at the property's main house located at present day 1200 Old Derry Road known as the Simpson-Humphries Residence, which is designated under Part IV of the Ontario Heritage Act. This



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

property is located outside the Meadowvale Village HCD boundary. Village legend suggests that it was James Jackson who constructed, on this site, the large wood frame barn with a rubble stone foundation in about 1890. This barn stood in Old Ridge Park along the west side until the late 1960s.

In 1912, James Jackson's son, Francis, acquired the land after his father passed away. Francis Jackson was a prominent businessman, local politician and farmer in the Meadowvale area.

By 1915, Jackson had bought up an additional 150 acres of land, which had once been owned by John Simpson, into one continuous parcel. This included all lands along Old Derry Road from the Simpson-Humphries property up to and including lands severed by the Pearsons at 1020 Old Derry Road. Francis is also believed to have constructed the house at present day 1100 Old Derry Road for his son, William, who lived here while farming the land while Francis was away tending to his various political activities. Francis was also the Land Registry Officer for Meadowvale Village from about 1915 until 1930. William became postmaster for the Village from 1918-1920 and relocated his residence to the Jackson Store and Post Office at 1060 Old Derry Road.

In 1927 Florence Jackson, Francis' daughter, who had married local farmer Doug Hunter a few years before, took up residence at 1100 Old Derry Road. The Hunters severed the property by selling off some of the farm land to the west and keeping the property at 1100 Old Derry Road as their main residence.

The Hunter's lived here until 1968 when Ernest Reed acquired the property. By 1968, the Hunters had severed off much of their lands, but retained the farm land that makes up



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

present day Old Ridge Park. An aerial photo, taken in 1963, shows the Jackson Farm Barn still in use. However, by 1976, the aerial photo shows the barn has been removed. It is believed in the Village that Ernest Reed had the barn removed in about 1970 as he did not farm the land. However Reed retained the land and allowed it to become naturalised over time.

This current City Park (P-391) was created through the development of a plan of subdivision in 1993. The residents of Meadowvale Village petitioned the City to create a park-like buffer zone to protect the historic village from urban development encroachments. This park was the result of the subdivision process. Because of this park's long historic association with the Village, residents wanted to retain some open, green public space. However, the residents felt the most important feature to be retained was the ridge because it symbolised the natural topography which influenced how and where the survey lots and nineteenth century dwellings were developed. The naturalised park was acquired by the City of Mississauga in 1997. This nearly eight acre park is all that remains of Meadowvale Village's meadow to the south, nestled below the ridge.

Along the ridge on the east side of the park, there are some visible foundations and remnant structures. It is quite possible that these structures may have a direct connection to the nineteenth century businesses that existed along Old Derry Road. The remnants are immediately to the south of the property at 1056 Old Derry Road, located within the park property. A careful archaeological study should be undertaken should any development work, including the planting of trees, be required in the future at this particular location within the park.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Description:

This current City Park (P-391) was created through the development of a plan of subdivision which commenced in 1993. The park consists of an open playing field, asphalt paved parking lot off Historic Trail and a children's play area with structure. The natural ridge to the east is a significant land feature which runs through the centre of Meadowvale Village and north along Second Line West. The park also contains several plantings of deciduous trees and other vegetation. The natural appearance sympathetically retains the rural appearance which has changed little on this site since the land was first farmed in 1824.

Old Ridge Park is characterised by its openness which references the once rural character by allowing for views and vistas of the ridge from any location within the park. This is an active park, which serves the recreational needs of the residents of Meadowvale Village and surrounding area. This park area has always been an open space, whether as agricultural land or as an active park, and is important to the heritage character and identity of Meadowvale Village. As the community grows and evolves over time, the recreational uses of the park may also change and evolve to meet the community needs.

Heritage Attributes:

- The historic associations with the Simpson and Jackson families
- The historic association of the high ridge topography as a natural heritage feature of the Credit River valley
- It's contextual and cultural heritage attributes as a remaining parcel of open space adjacent to the HCD with a link to an agricultural past
- The visual relationship of open, green and transparent views and vistas from the Village, through the open park space, to the ridge



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- The remnant concrete foundations of two separate structures located at the bottom of the ridge behind the property located at 1056 Old Derry Road

Statement of Significance:

This open, green park space reflects the development of Meadowvale Village from its early 19th century settlement through its development as a milling centre into the quieter 20th century community of today. The context is significant as it marks the geographical formation of the Credit River with the ridge to the east side of the park. Old Ridge Park provides views and vistas of the Credit River floodplain retaining its rural character which has changed little since the region was first settled by the Loyalists in 1824. The visibility of Old Ridge Park from the corner of Old Derry Road and Historic Trail provides a transparent view of Meadowvale Village's main street built form by framing the private realm with open views and vistas of the properties along the south side of Old Derry Road to the public realm of open views and vistas of the ridge and park lands. The context of Old Ridge Park, within the context of the Village, is significant to how the Village developed and is a key factor in the unaltered existence of these properties along the south side of Old Derry Road. The park provides a continuance of green open space and a sense of the rural character which makes Meadowvale Village distinct within Mississauga.



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Old Ridge Park, c. 2003. The ridge remains the most significant heritage attribute and most prominent geological feature of the park.



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Jackson Farmhouse at 1100 Old Derry Road c. 1925. Note the Jackson barn is visible to the left of the photograph. (PAMA)



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Remnants along the ridge of a concrete foundation (within the red box)



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This aerial photo shows the Village area as it appeared in 1963. The red square indicates the Jackson Farm property barn constructed c. 1890. It was removed c.1970



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Address: 929 Old Derry Road

Date of Construction: 1870

Historical Background: Charles Horace (Holly) Gooderham commissioned the construction of this twenty-one room Italianate red brick mansion in 1870 for a cost of \$30,000. The architect is unknown. Charles was the son of William Gooderham, who founded the Gooderham and Worts distillery dynasty in York (later Toronto) with his brother-in-law, James Worts, in 1832. In order to supply the necessary grains for the distillery business, William Gooderham purchased large plots of land in Peel, Halton and York Regions which were farmed. A number of these farms were operated by relatives of the Gooderham and Worts families or hired farm managers. William Gooderham came to Meadowvale Village in about 1860 to farm much of the land in the surrounding area and to operate the grist mill, once owned by Francis Silverthorn. Gooderham also opened a mercantile store which, at its peak, had twenty employees. Gooderham was also a major shareholder in the Bank of Upper Canada and, as a result, he sponsored several mortgages including those owned by Francis Silverthorn, the grist mill owner. When Silverthorn went bankrupt in 1860, Gooderham foreclosed on the lands Silverthorn still held mortgages on,



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including the grist mill. Gooderham thus found himself a major stakeholder in the land ownership of the Meadowvale Village area.

William Gooderham needed someone in Meadowvale Village full time to look after his newly acquired business interests. He sent both his sons James and Holly to Meadowvale in 1865. James was the Village postmaster in 1867 before moving on to Streetsville to mind his father's interests there. Holly managed the grist mill, hired Joseph Sutcliffe to manage the Gooderham Store and oversaw his father's farming operations around the Village.

Holly built the Gooderham Mansion as his home while in Meadowvale Village. When William Gooderham died in 1881, Holly decided to leave Meadowvale Village to focus on the family's business interest on the Toronto Waterfront. The mansion was then sold to Angelique Douglas in 1884 for \$4,500.00, a substantial loss compared to the cost of construction. When Thomas and Mary Graham decided that their home at 1020 Old Derry Road no longer fitted their needs, they purchased the Gooderham Mansion for \$3,600 from Angelique Douglas in 1888. The Grahams lived here until they sold it to entrepreneur John Watt in 1895 for \$2,000. This was the lowest price the Mansion had ever sold for. The depreciation of many home values, including the former Gooderham Mansion, is a testament to the bust years experienced in Meadowvale after the Gooderhams left. The boom times were over. However, in terms of the Mansion itself, Watt tried to change its appeal and bring it to life again.

Soon after purchasing the Mansion in 1895, Watt converted the residence into a tourist resort aimed at wealthy Torontonians looking for a journey into the country for a weekend respite. Watt named his resort Rose Villa and he only had a few successful years before business began to wane by 1902. He sold the property in 1904 to famed Quebec-born artist Georges Chavingnaud who was looking for a quiet, pastoral setting to produce his paintings. Chavingnaud only stayed in Meadowvale for ten months before selling the Mansion to MP Walter Curry in 1905.

The Mansion saw a succession of owners from 1905 onward, including Major-General Francois Lessard, Canada's most decorated veteran of the Boer War, from 1920 until his death in 1927. The Mansion was also home to a Ukrainian Orthodox Seminary in the 1950s. The Mansion was abandoned for about a



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decade in the early 1990s before a development firm purchased the property in 1998 and put substantial funding into restoration costs to turn the Mansion into its sales office. These restorations brought the mansion back to its former glory by repairing the interior plaster, paneling, staircases, floors, ceiling trims and windows.

Since 2000, the Gooderham Mansion has been home to the Rotherglen Montessori School, which services the Peel and Halton Regions.

Description:

The Gooderham Mansion is a large, full two-storey red brick residential structure that, for many years now, has been painted white. Historically the house had an Italianate style with a full open porch across the front façade. This porch was removed circa the late 1970s and replaced with a two storey high canopy supported by large fluted columns.

The building has a hip roof with a gentle slope and bracketed eaves. The historic windows are two-over-two design with carved stone headers. Most windows have working shutters. The rear of the house has a series of tail sections, the first two storeys and the remainder one storey. The rear of the house has had many alterations and is quite different in its shape and form today than it was historically. A red brick addition was added on the north west façade in 2004. A small barn directly northeast of the house was removed and replaced in 2009. This structure now functions as the gymnasium to the current Montessori school.

The house has a significant set-back from both Old Derry Road and Second Line West. The front area onto Old Derry Road is treed and has a long standing tradition of being an open green space within the Village setting. This open space has become more significant as the area became more densely populated and homes were built on Gaslamp Walk and on the south side of Old Derry Road.

Circa 2001 a narrow strip of land, which ran north parallel to Second Line West to a large barn, was severed from the property. The barn was demolished and the lands sold off to the lots which front onto Gaslamp Walk.



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Heritage Attributes:

- The historical association of the property under the ownership and development by the Gooderham family
- The style, shape, form and materials of the original house structure
- The open green space and trees on the front (south) and west facades of the property that allow for views into and from the property
- The retention of the topography on the property that reflects the 19th century creek and drainage on the lands

Statement of Significance:

The Gooderham Mansion, 929 Old Derry Road, is significant for its historic association with the Gooderham family, known for their controlling interest in the firm of Gooderham & Worts, and their land holdings and business within Meadowvale Village from circa 1860 to 1881. The structure has architectural significance for its size, shape, form and materials distinct within Meadowvale Village, and its context as a landmark estate property, open green space and natural topographic features.



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929 Old Derry Road – West Façade, Including red brick 2009 addition



View of the trees and open space with natural ridge in front of the Gooderham Mansion.



The Gooderham House c. 1900, under the ownership of the Watt family.

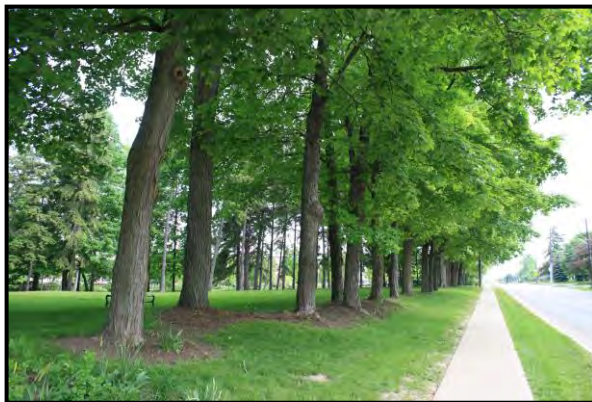


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Rear or north façade when it was owned by the Watt family, c. 1900.



Streetscape from Old Derry Road highlighting the open green space and trees on the Gooderham Estate grounds. (Photo, 2012.)



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Gooderham barn/drive shed (left) removed c. 2009 and replaced with a similar size and shaped building now used as the school's gymnasium (right).



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Address: 1009 Old Derry Road

Date of Construction: 1989

Historical Background: The two properties at 1009 and 1011 Old Derry Road were one lot until they were severed c. 1988. The mid-20th century one storey single family home was removed and believed to have been relocated to another municipality in 1988. The two current homes were built at the same time with a shared drive and garage structure to the rear. Brick veneer, not usually permitted in new infill construction in the HCD, was allowed in this instance due to the proximity of both the Graham-Pearson house and the Meadowvale United Church across the street.

The current house was built in 1989. This property once belonged to Gideon Silverthorn at the turn of the 20th century. Gideon, the grandson of Francis Silverthorn, was a prominent doctor in Toronto. He purchased the land presumably as a future investment. However, he never developed any of these lands and eventually sold the property to John Dugan in 1918.

Description: Frame construction with dichromatic brick veneer (red with yellow accents) with a wraparound porch on the west façade. The style



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of this house was not based on historical relevance to the Village but on a general Victorian era Gothic style.

Heritage Attributes:

- Contributing elements: wood shingle roofing, shared drive and garage, mixed brick and wood exterior materials

Statement of Significance:

The property at 1009 Old Derry Road has historic association with the Gooderham family while the structure is compatible in its overall size, shape and form, detached garage and open space within the lot.



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Address: 1010 Old Derry Road

Date of Construction: 1862

Historical Background: The Methodist religion was the most popular in the area before the construction of a local church. John Simpson gave the land, one fifth of an acre, in exchange for \$1.00, in order for the church to be built. Before the Church was constructed, the closest Methodist congregation would have been found in Streetsville. Although Simpson was born a Quaker, he joined and supported the Methodist Church as a young man upon his arrival to Canada.

Prior to the construction of the Church in 1862, there were three known locations for Methodist worship. They were: John Beatty's residence at 1125 Willow Lane, the outbuildings on the Francis Silverthorn House property at 7050 Old Mill Lane and at Hill House at 7015 Pond Street. The Congregation by 1858 decided it was time to build a church and the fundraising efforts were spearheaded by Luther Cheyne, the Village's first postmaster and builder of the Appletree Inn. Cheyne would go around every Saturday to collect weekly donations from residents to raise the



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funds the funds needed. Finally, in 1861, their goal had been realised and construction began in earnest with all residents pitching in to help where they could by contributing labour or providing meals for the workers.

Although constructed in 1862, the Church was not dedicated until January 17, 1864. The United Church was inaugurated on June 10, 1925 in Toronto, Ontario, when the Methodist Church of Canada, the Congregational Union of Canada, and 70 per cent of the Presbyterian Church of Canada merged. In 1929 the church became part of the Cooksville circuit and changed to the Huttonville circuit in 1949.

There has never been a cemetery associated with this property. The Churchville Cemetery was historically most often the cemetery of choice for those living in the Village.

Since 2000, the church has been operating as the Korean United Church.

Description:

A modest red brick church with yellow brick pilasters at the corners and arches over the windows. A table leg yellow brick frieze can be seen on the front façade above the entryway. The front façade has an added red brick vestibule, built 1890, with a gothic shaped doorway, side round arched windows and, above the main door, a round window in four sections. The rear of the church has a one storey brick tail, and an addition that was rebuilt circa 1998 with a stucco veneer. Over the years Old Derry Road has been elevated so that the original relationship of the church to the road has changed whereas the church originally sat elevated from the road.

Heritage Attributes:

- Only church in Meadowvale Village, both historically and through time
- Much of the structure is original in its shape, form and materials
- Its high visibility at the intersection of Second Line West and Old Derry Road

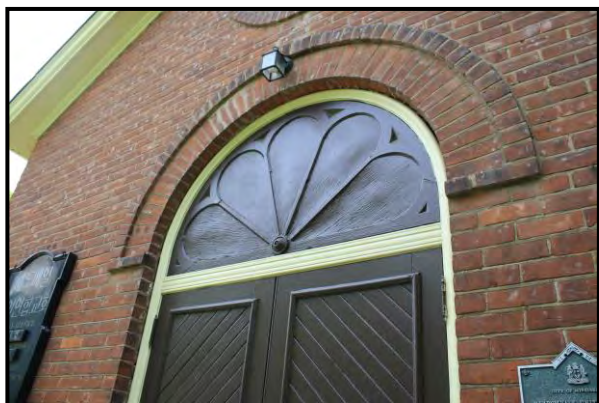
Statement of Significance:

The Meadowvale United Church, 1010 Old Derry Road, is significant for its historic association with the development and social history of the Village of Meadowvale since its construction in 1862, its architectural style and materials and context with high visibility at the intersection of Old Derry Road and Second Line West.



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Front façade and entry



Meadowvale United Church, rear and east façades



Meadowvale Methodist (United) Church, c. 1910. The metal barrier in the lower, right foreground is attached to a concrete drainage channel that directed water under the intersection of Second Line West and Old Derry Road.



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Address: 1011 Old Derry Road

Date of Construction: 1990

Historical Background: The two properties at 1009 and 1011 Old Derry Road were one lot until they were severed circa 1988. The 20th century one storey single family home was removed and relocated to another municipality. The two current homes were built at the same time with a shared drive and garage structure to the rear. Brick veneer, not usually permitted in new infill construction, was allowed in this instance due to the proximity of the Graham-Pearson house across the street.

This house was built in 1990. The property belonged to Gideon Silverthorn at the turn of the 20th century. Gideon, the grandson of Francis Silverthorn, was a prominent doctor in Toronto. He purchased the land presumably as a future investment, however, he never developed any of these lands and eventually sold the property to John Dugan in 1918.

Description: Frame construction with dichromatic brick (red with yellow accents) with a large central gable, flanked by two smaller gables. There is a large open porch across the front façade. The style of



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this house was not based on historical relevance to the Village but on a general Victorian era Gothic style.

Heritage Attributes:

- Contributing elements: wood shingle roofing, shared drive and garage, mixed brick and wood exterior materials

Statement of Significance:

The property at 1011 Old Derry Road has historic association with the Gooderham family while the structure is compatible in its overall size, shape and form, detached garage and open space within the lot.



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Address: 1020 Old Derry Road

Date of Construction: 1862

Historical Background: Receiving a brand new 3,000 square foot brick home as a wedding gift was a rare occurrence in 19th century rural Ontario. The Graham-Pearson House is perhaps the best example of one of those rare occurrences in the Peel Region!

John Simpson came to Meadowvale Village in 1837 and purchased 200 acres of land on the south side of Old Derry Road. Simpson built the first saw mill in the area in 1838 on land that is now occupied by 1200 Old Derry Road. Simpson was also the first person to dam the Credit River in an attempt to create a water supply for his saw mill.

Starting in the 1860s, Simpson began selling off his lands east of the present Credit River bridge in Meadowvale Village. This land included a two acre parcel located at 1020 Old Derry Road which Simpson donated to James Graham to build a house. The house



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was built in about 1862 for James Graham's son, Thomas, and his new bride, Mary Simpson, daughter of John Simpson.

In 1888, the Grahams decided that they needed a larger home to accommodate their growing family. When the Gooderham Mansion came onto the market, they purchased it for \$3,600. Before they moved, the Graham's severed parts of their land and sold them to several purchasers. Part of that severed land was acquired by James Rowcliffe of Alton, Ontario in 1894. He was looking for land to build a blacksmith shop. His son, Albert Rowcliffe, also a blacksmith, took over the blacksmith business in 1897 and lived in the house at 1043 Old Derry Road.

The Pearson family, connected to the first Pearson settlers who came to the area in the 1820s, bought the house in 1912 and it stayed in the family until 1961. Emily Pearson married William Brett, the grist mill owner from 1911 until 1943. Emily was also a very active member of the Women's Institute in Meadowvale. Emily and William Brett lived here for a short time before the house passed to her brother and sister-in-law, Thomas and Jessie Pearson.

Throughout the first half of the 20th century, the Graham-Pearson House became a popular social and festivity location for the Women's Institute of Meadowvale. Often, the Institute would celebrate anniversaries or appointments to the Executive by having tea parties on the grounds of the property in the summer months.

The property has changed hands a few times in the twentieth century. However, the current owners have resided here since 1984, making them one of the longest serving owners in the house's history. They have worked diligently to maintain the outstanding heritage attributes of the home.

Description:

A full two-storey red brick structure with ornate yellow brick detailing, window surrounds and quoining. The only residential structure of its kind in the Village, this house has an elaborate front entrance enclosed vestibule, front projecting bays on the ground level with bracketed eaves on the front bays. On the upper eaves there are decorative double brackets. The brick work and woodwork are of fine craftsmanship, all very well maintained by the present owners. A single hooded dormer is on the front façade. Functional shutters are on all but the front bays, with original two-over-two wood windows. On the west façade is an



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addition built in 1994. This one storey addition replaced what was originally an open porch, which had been enclosed at a later date. The addition was carefully designed to be sympathetic to the overall design and scale of the house.

The house illustrates the social and economic standing of those who built it as being quite separate from the more modest homes in the Village. The house sits elevated above Old Derry Road, with a good deal of open green space on all four sides. Mature trees and gardens provide a suitable setting for the home. To the rear of the property is an outbuilding which serves as a workshop.

Heritage Attributes:

- Two-storey structure of dichromatic (red with yellow) brick
- Its historic association with the Simpson, Graham and Switzer families who were all significant contributors to the development of Meadowvale
- Original fine exterior detailing in the brick patterning and woodwork
- Its location on a rise set back from Old Derry Road with generous open space and views to and from the property from the front, side and rear elevations.

Statement of Significance:

The Graham-Pearson House, 1020 Old Derry Road, has an historic association with both the Graham and Pearson families, as well as the Simpson and Switzer families, all founding families of Meadowvale Village with social, property ownership and business significance. The house has architectural significance in its size, shape, materials and form distinct within the Village HCD and its context on Old Derry Road, highly visible with generous open green space on all facades. The house and property are a local landmark and therefore maintain a significant context for the Village.



Graham-Pearson House, front, north elevation.



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Graham-Pearson House in c. 1915. (PAMA)



Thirty-fifth anniversary of the Women's Institute of Meadowvale, 1945, on the front lawn of 1020 Old Derry Road. (PAMA)



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Address: 1036 Old Derry Road

Date of Construction: c. 1945

Historical Background: Much of the 200 acres south of Derry Road was once owned by saw mill owner John Simpson. Prior to this current structure being built, this site was known to be the location of the Merchants' Bank, constructed in the late 19th century. (Ref. Rosemary & Terry Wilson, September, 2012)

The textured concrete blocks used to construct this dwelling were considered very stylish and modern during the 1940s. Textured concrete and aggregate blocks were first used by the Boyd Brothers of Osgoode, Ontario. The Boyd brothers were pioneers in the use of concrete blocks at the turn of the 20th century for building materials and their usage of various aggregates influenced builders well into the 1960s.

Description: A one-and-a-half storey residential structure built of textured concrete block with gable ends. Front windows are segmented into three sections, made of wood in a two-over-one pattern. This is a modest structure which sits on a rise above the south side of



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Old Derry Road. The rear yard has a generous setback which provides for an open space to the rear.

Heritage Attributes:

- The concrete block building material and façade
- Its location overlooking Old Derry Road
- Its modest size, shape and form

Statement of Significance:

The property at 1036 Old Derry Road has an historic association with the Simpson family as this property was divided from the Simpson farm. The residential structure is compatible with Village character in its modest shape, form, size and style. It relates to the post WWII development within the Village. The context of the property, overlooking Old Derry Road has setbacks from the front and side facades which allow views to all three facades and retains an open green space.



1036 Old Derry Road in 1990.



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Address: 1043 Old Derry Road

Date of Construction: c. 1850

Historical Background: This house may date back to the time of the original 1856 Bristow Survey for the Village, as the current structure is similar in shape, size, form and location with the structure listed on the Survey map. The three bay façade, Neo-Classical design and building materials consisting of stacked plank-on-plank, suggest that this structure is from the mid nineteenth century.

This land was once owned by the Gooderhams and one of the better known owners was Alfred Rowcliffe, the Village blacksmith. Rowcliffe's father, James, purchased this property in 1894 and the blacksmith shop was directly across the street from the house on land severed off the Graham-Pearson property. Rowcliffe originally came from Alton and remained in the village for a number of years. He was especially well known for his high quality tool making skills.



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Sometime in the latter half of the twentieth century, the entire façade of the building had been covered in grey insulbrick. There was a fire on the property that gutted the interior in 2004 and, through careful, sympathetic reconstruction, the structure has reverted back to a more historically accurate appearance in keeping with the heritage character of the Village.

Description:

A one-and-a-half storey residence of stacked plank construction. A simple three bay façade, front dormer, gable ends with a cat slide rear addition. There is an open porch on the front façade and one-over-one windows. This building was refinished and refurbished circa 2009 with wood siding.

Heritage Attributes:

- Stacked plank construction with original proportions, door and window openings.
- Believed to be one of the original mid nineteenth century buildings indicated in the 1856 survey
- Modest size, shape and form reflecting the mid nineteenth century character of the Village, including the well-proportioned front porch, dormer, and cat slide addition
- On its original location, a highly visible structure on a corner lot at the intersection of Pond Street and Old Derry Road

Statement of Significance:



The property at 1043 Old Derry Road has historic association with early development of the Village as the structure dates to the mid nineteenth century and has changed little in its size, shape, form and stacked plank construction. The context and location of the structure on the site with generous open green space allows for views of the building from all directions.

Old Derry Road as it appeared in 1978.



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View of Pond Street with 1043
Old Derry Road, c.1900.
(PAMA)



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Address: 1045 Old Derry Road

Date of Construction: 1893

Historical Background: This structure was built by Albert S. Lambe in 1893 on the lot where it is believed Jonathan Robinson built the first store in the Village in 1848. Lambe acquired this property from James Ward's estate in 1893, a couple months after the store burned down. Albert Lambe was born Dennis Lambe in Chinguacousy in 1854. When his parents died in 1860, Lambe, at the age of six, was adopted by John and Mary Simpson and renamed Albert Simpson Lambe.

Lambe probably learned many of his business skills from John Simpson. Lambe operated a saw mill, general store and purchased the Bell Hotel in 1890. Although the grist mill was beginning to wane in the later years of the 19th century, Albert Lambe was doing quite well with his saw mill. One of his major contracts was to the T. Eaton Company, supplying thousands of board feet of lumber per month, presumably for Eaton's furniture business and kit home construction.



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Lambe's other claim to fame is that he was the Village's first car owner in 1905. He received the car in lieu of payment for lumber at his sawmill. He never drove the car and it sat in the shed until his death when his son William acquired it. Despite never driving, he did survive a car crash in which his son was driving. The car was struck by a train on the tracks at the Meadowvale station in 1918. The only injury to Albert was a scratch on the face.

Lambe died on November 5, 1925, and had been blind for the last 12 years of his life.

Lambe lived in a number of properties in Meadowvale including the original cottage located at 1066 Old Derry Road and the Bell Hotel at 1090 Old Derry Road. The Tweedsmuir account of Meadowvale Village states, however, that Albert Lambe's favourite residence was the one he built here at 1045 Old Derry Road.

At some point in the 1940s or 1950s, the house was covered with red insulbrick and then was covered in white vinyl siding in the 1980s.

Description:

A one-and-a-half storey frame structure, almost a full two storeys in height. There is a deep open porch across the front façade only one step above grade. The front door is off to the right side with a single picture window to the left. On the second floor of the front façade are two symmetrical original windows. To the rear and side is an attached garage. The house is currently finished in vinyl siding. The house has generous side and rear yards that maintain a visibility from three sides.

Heritage Attributes:

- The size, shape, massing and form of the original historical structure
- The historical association of this property with Albert Lambe and his importance to the community
- Location of the house in relation to Old Derry Road and the open views to the front and side facades
- Large lot with open green space to the west and rear of the house



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Statement of Significance:

The property at 1045 Old Derry Road has an historic association with Meadowvale Village as there has been development on this property since the mid nineteenth century. The Lambe House has an historic association with the Lambe family and their numerous contributions to the development and business history of Meadowvale. The structure has architectural significance in its size, shape, form, massing and style, as well as contextual placement within the lot allowing for generous side and rear yards of open green space.

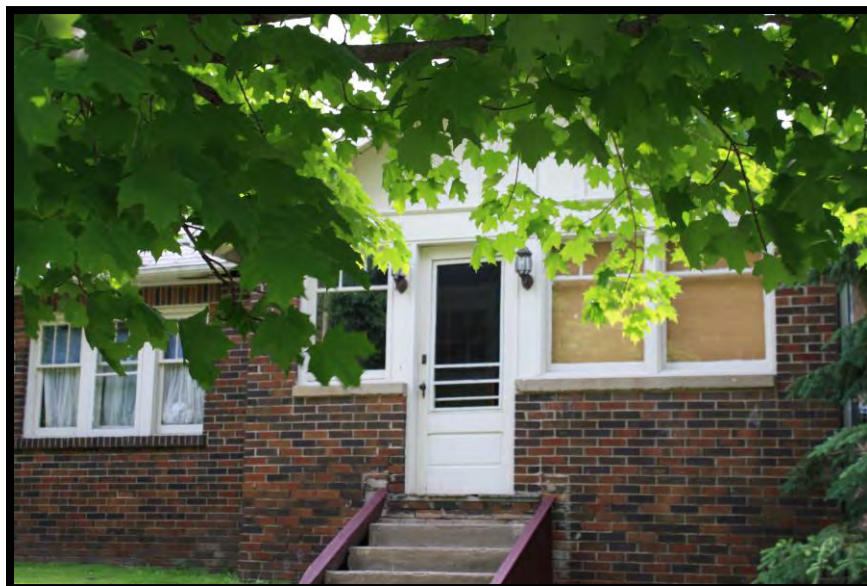


1045 Old Derry Road as it appeared in 1978 with insulbrick sheathing.



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Address: 1050 Old Derry Road

Date of Construction: c. 1930

Historical Background: This property sits on land once owned by John Simpson. Little is known about this current property except for the fact that this was believed to have been the site of a wagon wheel shop. Land Registry abstracts indicate that William Lambe acquired this property in 1921. He sold the lot to his son James Albert Lambe in 1938 and it is believed that William built the house for James and his family. James lived here until 1942. Renovations conducted inside the house in about 2005 produced newspapers dating to 1927 used in the walls for insulation. Although this is not definitive proof of the house's construction, as paper was kept and used for future use such as insulation, it is generally believed the house was built close to 1930.

Description: A modest one storey red brick veneer structure with a projecting bay entrance at the front façade. The wood windows are original three-over-one pattern. The house has a modest scale, shape and form on a large lot.



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Heritage Attributes:

- The modest scale, shape, massing and form of a one storey structure of original brick veneer
- Original wood windows in a three-over-one pattern
- Its location in relation to Old Derry Road and open views to the front and side facades within generous side and rear yards of open green space

Statement of Significance:

The property at 1050 Old Derry Road has historical association with the early development of Meadowvale Village, and the current structure with the mid-20th century Village development. The building contributes to the Village character with its modest scale, size, shape, massing, form and materials within a context of generous side and rear yards of open green space.



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Address: 1051 Old Derry Road

Date of Construction: 1852

Historical Background: The Commercial Hotel was built by Matthew Laidlaw in 1852. This is the oldest brick structure in the Village. Laidlaw was one of Meadowvale Village's most prominent early citizens. He took over ownership of Ward's General Store next door at what is now 1045 Old Derry Road. There is evidence to believe that perhaps the Commercial Hotel was the first hotel to be built in Meadowvale Village.

Matthew Laidlaw was born in Driffield, England. His father's family were multigenerational coal miners who were looking to improve their situation in life. The family decided to try their luck in Canada West. Matthew came to York first and decided to settle in Meadowvale a few months later. The rest of his family arrived in Meadowvale during the height of the 1837 Mackenzie Rebellion.



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Matthew Laidlaw married Ann Farnell shortly after his arrival to Meadowvale. His brothers, Aaron and John, became active in rousing community support for the eventual construction of the Methodist Church in Meadowvale in 1862. Laidlaw apparently died suddenly in his sleep while Aaron and John worked together to sell off his interests in the store.

Another well-known figure in the history of the Commercial Hotel was Ephraim Hopkins, who managed the Hotel in 1885 for owner Francis Sibbald. However, Hopkins was not highly regarded in the Village, especially by mill workers boarding at the hotel, who saw him nothing more than a lazy and unkempt host. His bed sheets were known to have fleas, floors kept unswept for weeks and his currant breakfast scones were known to hold more dead flies than currants.

Fortunately, Sibbald fired Hopkins and decided to sell the hotel to William Lambe, son of Albert Simpson Lambe. William was the postmaster for Meadowvale, Justice of the Peace and storekeeper as well. William is credited as being the owner to have converted the Hotel to a boarding house by creating a number of separate apartments.

Sometime in the 20th century, the front porches had been removed. The current owners reconstructed the front porches, circa 2008, as they would have looked at the turn of the 20th century.

Description:

A two-and-a-half storey brick structure, built as a hotel, converted to residential use. A five-bay symmetrical façade, with a stacked front porch was reconstructed circa 2008 from historical documentation. The roofline has gable ends with cornice returns. The shed dormers were added at a later date when the structure was converted to a private residence/apartment complex. The original structure is made of red brick. It is not known when the structure was painted white but it has remained this way for several decades.

Heritage Attributes:

- One of few two storey brick structures in the Village



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- Its historic association with the commercial development of Meadowvale in the nineteenth century
- Brick construction and finish
- Stacked front porch and wood detailing
- Symmetrical fenestration
- Shallow set-back from Old Derry Road
- East side yard and rear yard of open green space

Statement of Significance:

The Brick, or Commercial Hotel, 1051 Old Derry Road, has an historic association within the Village HCD as one of the earliest hotels and the first brick one dating from the mid nineteenth century. The architectural style of the structure is distinct within the Village with its brick masonry and stacked front porch. The context of the building, fronting Old Derry Road, makes it highly visible and a significant element to the streetscape and reminder of the former business core of the Village.



The Commercial Hotel as it appeared in 1900. (PAMA)



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The Commercial Hotel as it appeared in 1989.



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Address: 1056 Old Derry Road

Date of Construction: c. 1945

Historical Background: This is the last commercial property left in Meadowvale Village. Over the years this site has been home to sawmills, blacksmith shops, a tennis court and finally a gas station and garage. This property once formed the lands owned by John Simpson, who arrived in 1837. Simpson slowly sold off portions of this land to various owners who started businesses along this stretch of road which would later become Old Derry Road.

This site has always been home to commercial activity in Meadowvale Village since the mid nineteenth century. The West side of the property was home to a wagon wheel maker's shop and the site of the present garage was the location of William Gardner's store in the late 1860s. Eventually, Albert Simpson Lambe bought the Gardner Store and ran his family store here until his son William moved the store to a larger location at 1060 Old Derry Road in 1921. When the store was removed, a tennis court and skating rink were installed until the garage and gas station were constructed in about 1947.



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The person to start the Texaco gas station was Albert (Abe) Golden who then sold the property to Sydney (Sid) Buttle. It was Buttle who made the garage not only a profitable venture, but also a community gathering place. Residents would come to the garage to chat and catch up with other residents on a sunny afternoon. Buttle was remembered as being a gregarious fellow who enjoyed bringing people together almost more than he did operating a business. When Syd Buttle ran the garage from 1954 to 1973, it was the last business, besides the post office, left in Meadowvale. While operating the business, Buttle resided in the concrete block house on the same property.

Description:

A one storey frame structure built as a commercial garage with baked enamel panels on the front exterior. The garage was once a Texaco station as evidenced by a single red star fixed to the west façade. Although this type of garage may have been common throughout Ontario, there are now only two remaining in Mississauga. The structure and its history speaks to the car culture of the 1940s and 50s when car travel and roadways expanded greatly after World War II.

The front façade has had vinyl siding applied over the enamel panels from grade to the top of the large garage bays.

To the immediate east of the garage is a small patterned concrete block residential building. The structure is one storey, with a single front door and window divided into three sections. The house is very modest in size and scale, making it secondary to the more prominent commercial garage on the same property.

Heritage Attributes:

- The historic context of a continuously operating commercial property on Old Derry Road in the core of the Village since the mid nineteenth century
- The original size, shape and form of the commercial garage and its building materials of enamelled metal panels
- The location of the structure on the property, allowing for an open space to Old Derry Road
- The modest residential structure built of patterned concrete block, including its size, shape, form, style and materials

Statement of Significance:

The property at 1056 Old Derry Road has an historic association with the business and industrial development of the Village in the nineteenth and early twentieth century. The current



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structure has an historic association with the development of the common use of the automobile and its relationship to the twentieth century development of the Village. The location of the structure on the lot and its open space are significant to the streetscape of the Village core. The modest residential structure has historical significance in that it was built to house the commercial garage owner and has architectural significance in its style, shape, form, materials and contextual location within the property.



Concrete block residence at 1056 Old Derry Road



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Address: 1059 Old Derry Road

Date of Construction: c. 1950

Historical Background: This property is believed to have been the site of the Mill Store, a tiny general store run by Henry Brown when he was mill owner from 1895 to 1911. The store was not as well stocked as the Gooderham or Lambe Stores had been, but did sell general items for residents. The store was removed sometime after William Brett acquired the mill in 1911, and the space reverted back to a general village green. In 1929, the skate shack was towed from the garage property to the back of this property to serve as the Village Library, run by the Women's Institute well into the 1960s.

Description: A one storey frame structure of modest proportions, gable ends and finished in vertical wood siding.

Heritage Attributes:

- The modest scale, set-back and location of the structure on the lot.



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- The wood siding finish, size shape and form of the one storey structure

Statement of Significance:

The property at 1059 Old Derry Road has an historic association with the business development within the core of Village in the nineteenth century. The current structure is an example of a modest, mid twentieth century dwelling. The modest size, shape, form and materials of the structure are compatible with the Village character.



Small white structure to the west of the Commercial Hotel is the Mill Store in c. 1900. This is the current location of 1059 Old Derry Road. (PAMA)



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Address: 1060 Old Derry Road

Date of Construction: c. 1915

Historical Background: This building was constructed in two phases. The first phase was built in 1872 likely as a cottage. This is the white (aluminum) clad section to the west side of the brick building. The brick portion was constructed in approximately 1915 by Frank Jackson, a Meadowvale Village farmer who had served first as Reeve, then Deputy Reeve and, eventually, Toronto Township Councillor. Jackson built this structure to be the Village's newest General Store. In 1918, Francis' son William Jackson, became the Village postmaster and ran the post office from this building along with the General Store. In 1921, William Lambe, son of Albert, wanted to expand his own store, which was next door to the east so he purchased the Jackson building. This building remained in the Lambe family until 1945, when Albert Lambe, son of William, was the last store owner and postmaster in the Lambe family.



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Since the Lambes' sold in 1945, the building has seen many owners and poster masters from James Van Allen (1945-54), James Ogle (1957-59) and Arthur Mongeau (1960-70). In 1983, the current owner, purchased the property and became the last person to run the Village post office from here until retiring in 1989. It was at this time that Canada Post decided to install community post boxes. The post boxes were placed on the grounds where the mill had once stood and was given the address of 1081 Old Derry Road. In keeping with tradition, a gazebo covering the mail boxes was constructed based on historic images of the gazebo that had existed near the mill at the turn of the century.

Description:

A two storey brick commercial structure with a flat roof and shallow red brick cornice and corner corbelled features on the front façade. Between the first and second floor on the front façade is a wood decorative cornice above what would have been the sign board area. A one storey feature is on the east façade. The building had a commercial function at grade which related directly to the main street business core of the Village in the 19th and early twentieth century. The building is currently residential and has not been used for commercial purposes since circa 1990. This is the only commercial building of its architectural style in the Village.

Heritage Attributes:

- The shape, form, massing and style and decorative brick work at the front cornice of a commercial building in its original location on Old Derry Road
- The historical commercial function of the red brick building as a 'main street' structure, highly visible to the streetscape
- Original building materials of brick and wood two-over-one windows on the upper floors and storefront windows on the front façade

Statement of Significance:

The property at 1060 Old Derry Road has an historic association with the development of business and industry within the Village core. The structure has an historic association with the Lambe family who used it as a general store and Post Office for many years. The structure has architectural significance as it is the only commercial building of its type within the Village HCD and has contextual significance as it contributes to the streetscape within the commercial core of the Village.



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Photo showing 1060 Old Derry Road on the left in the background, c. 1925. Note there are gas pumps in front of the store at the street. The house on the right was the former Albert Lambe house. The wedding couple are unknown. (PAMA)



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Address: 1066 Old Derry Road

Date of Construction: c. 1850

Historical Background: The original structure formerly located on this property had a long and varied history which ended in unfortunate tragedy in the Fall of 2011. As part of his original 200 acre grant, John Simpson built a sawmill close to this location which his adopted son, Albert Lambe, eventually took over and made a profitable business. The plank on plank construction of the original cottage suggests that this structure was built sometime in the mid-19th century, so it is unlikely that Lambe constructed it. It may, however, have been built by John Simpson.

Historical photos show the changes that occurred to the structure over time. During the latter half of the 19th century, the original modest cottage is evident. It had been slightly changed by 1974 with modified door and window openings. By 1979, the three gables, faux Tudor timber trim and massive side addition had been added, completely absorbing the original cottage into the new façade. While undergoing renovations in 2011, the structure caught fire and was completely destroyed. However, evidence remained of the original stacked plank on plank construction.



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Description:

The property is currently vacant. The demolition of the residential structure that was on this property was due to its destruction from fire in November, 2011.

Heritage Attributes:

- There is direct historical association with the Albert Lambe family and the former stacked plank constructed residence which was on this site
- The lot is in the main commercial core of the Village and future built structure must respect the streetscape with respect to building setbacks, style, size, shape, massing, form and materials

Statement of Significance:

The property at 1066 Old Derry Road has direct historical association with the Albert Lambe family who owned and built a residential property on this land in the nineteenth century. The lot is currently vacant with no structures. The context of this property is significant in that it is located in the core of the Village commercial area, highly visible, and should contribute in a traditional manner with respect to massing, style, relation to the streetscape and neighbouring properties.



A.S. Lambe residence c. 1890 (PAMA)



Lambe residence in 1974 prior to the renovations and addition.



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The property in 2010



Evidence of the stacked plank on plank construction within the original cottage after the fire, November 2011.



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Address: 1074 Old Derry Road

Date of Construction: c. 1884

Historical Background: This land dates back to the 1824 Crown Grant awarded to Evan Richards for the lands on the south side of Old Derry Road. In 1837, John Simpson acquired most of this land and began to develop these 200 acres into farm land as well as commercial ventures such as his saw mill. Francis Silverthorn has been noted in the Perkins-Bull Collection that he built a small general store “close to the hotel” in about 1850. This may have been the site as the 1856 Bristow Survey does identify a small building here, beside the Bell hotel.

In 1881, William Campbell sold 1/10 of an acre to Jonadab Hardy, the Village Cooper. Three years later in 1884, Hardy acquired a mortgage from Francis Sibbald for an unspecified amount. It is speculated that this mortgage was used to build the current house. In March of 1888, there is a court order of Hardy vs. Campbell where Francis Sibbald was awarded the property. The Land Registry record is incomplete, so we do not know the true



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nature of the court order. However, it appears clear that Hardy somehow defaulted on the mortgage and Sibbald foreclosed.

Albert S. Lambe also owned this property from 1903 until his death in 1925. There have been a few owners since including the current owner, who has been lived here since 1991.

Description:

This is a frame one-and-a-half storey structure with wood siding exterior and shuttered windows on the second floor. The windows are the original two-over-two wood windows. The open front porch wraps around to the west façade and a second entry. There is some wood work detail in the porch supports and frieze. The house is a modest scale, size, shape and form, typical of what may be expected in a small village at the turn of the century. The lot is large with a very generous east side yard. A white picket fence borders along the front property line near the public sidewalk.

Heritage Attributes:

- The historic size, shape, form, massing and materials with few alterations
- A very generous side and rear yard of open green space which provides clear views of the house from the street and through to the parkland beyond the rear property line

Statement of Significance:

The property at 1074 Old Derry Road has an historic association with the nineteenth century development of the Village, contributing in its architectural significance as a vernacular style, with wrap-around open porch, scale, size, shape, massing, form and materials. The location of the house on the lot has a significant context contributing to the streetscape and open green yards to the east and rear of the property.



1074 Old Derry Road to the left of the Bell Hotel
c. 1900. (PAMA)



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1074 Old Derry Road as it appeared in 1976



1074 Old Derry Road in context with the Bell Hotel, c. 2008



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Address: 1090 Old Derry Road

Date of Construction: Between 1837 and 1856

Historical Background: Over the last few decades, it is believed that this structure was built by George Bell, who was a blacksmith in the Village. This assumption came from a Brampton Conservator article written on August 19, 1915, stating that the hotel was a frame structure built by Bell in 1844.

The common belief is that George Bell purchased this land from John Simpson to build the hotel. However, the Lot and Concession abstract shows that Bell did not purchase this property until 1856. And, in addition, a William Bellas leased the land from Simpson for \$650 starting in 1837. The Land Registry Title for this lease is listed as LR, which means Leasable Resource. This is a term that was not used much in the nineteenth century and tended only to be used in special circumstances where land, and its resources, were considered to be highly valuable. It seems unlikely that a simple cluster of barns would fetch such a high lease price in 1837. And Simpson, being a



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shrewd businessman, was never known to have leased out his saw mill operation to anyone, not even his son.

As Simpson was developing his sawmill, and Francis Silverthorn who had arrived in 1838 to build his own saw mill before building the grist mill a few years later, Simpson was a man who did not miss an opportunity to make money. So, it is quite possible that he was the one who built the hotel to cater to all the new workers who would be coming to the Village. Therefore, he leased the land to William Bellas for a large sum and George Bell eventually acquired the property in 1856. Further investigation through land registry indenture searches might be able to shed more light on when the Bell Hotel was constructed and by whom.

The current owner has lived here since 1976 and has diligently and carefully maintained the heritage qualities of this property since that time.

Description:

A two storey structure, frame construction with rough cast stucco exterior. There is a shallow hip roof. The windows have functional shutters. The symmetrical 5 bay façade has 5 windows on the second floor. Original windows are a six-over-six pattern with custom storm windows. There have been some alterations to the rear of the house, but the main portion of the home remains original in its size, shape and form. The early hotel has been used as a single family home for many years.

Heritage Attributes:

- Original site overlooking Derry Road West, highly visible on its front and side facades
- The original materials, size, shape, massing and form of the structure and original windows
- Traditional black and white colour scheme

Statement of Significance:

The Bell Hotel, 1090 Old Derry Road, has historical association as the first hotel established in the Village in the nineteenth century. It has architectural significance in its symmetric design, size, shape, massing, form and materials. There is contextual significance as the structure is highly visible located close to Old Derry Road and contributes to what was the mid nineteenth century streetscape.



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1090 Old Derry Road West, front and west façade



Bell Hotel – date unknown.



In the centre of the photo is the Bell Hotel, c. 1910, when it had an open porch across the front façade.



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Address: 1092 Old Derry Road

Date of Construction: Vacant lot (as of 2013)

Historical Background: The lot at 1092 Old Derry Road was severed from #1090 in 1996. The lot therefore has historic association with 1090 Old Derry Road and its history prior to severance.

Description: This is a vacant lot. There may have been an earlier structure on this lot, but it has remained vacant for many years.

Heritage Attributes:

- The historic association of this property to 1090 Old Derry Road prior to its severance in 1996
- The open views and green space of the property to Old Derry Road



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Statement of Significance

The property at 1092 Old Derry Road is a vacant lot created by the severance of this parcel from 1090 Old Derry Road in 1996 and therefore retains the history related to #1090.



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Address: 1095 Old Derry Road

Date of Construction: c. 1990

Historical Background: Francis Silverthorn came to Meadowvale Village in about 1837. He purchased several parcels of land from James Crawford, including the Grist Mill location. Silverthorn came from a family of entrepreneurs. His father Aaron was a mill owner in the Niagara region around the time of the War of 1812. The family decided to move to the York Region just before the 1837 Rebellion to help further their business interests.

With James Crawford already having tried to dam the Credit River in the 1830s for his saw mills, Francis Silverthorn saw bigger and better opportunities to make use of the Credit. He chose the land located at what is now 1095 Old Derry Road as the site for a flour grist mill.



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The first mill on this site was constructed in 1845. It continued for about four years when it accidentally caught fire. Silverthorn was not deterred by this set back and went about constructing a new mill, which was completed in the spring of 1850. Silverthorn had three mortgages on the mill and associated lands; two from the Bank of Upper Canada and one private mortgage through John Wilmot. Silverthorn needed these funds to be able to construct the new mill. The earliest known photograph taken in Meadowvale was a silver nitrate coated tin plate of the second Silverthorn Mill in about 1850, just after its construction.

When the prices of wheat and flour bottomed out after the end of the Crimean War, Silverthorn had stockpiled too much flour and went bankrupt trying to sell it off at lower prices. In a desperate bid to raise the cash needed to keep paying his mortgages, Silverthorn began trying to sell off Village lots he owned. However, it was too little too late. Because the Bank of Upper Canada held Silverthorn's mortgages, he lost nearly everything to the bank. At the time, the major shareholders and trustees of the Bank were the Gooderham and Worts families of Toronto. As a result, the Gooderhams ended up acquiring all of Silverthorn's lost properties, including the mill.

William Gooderham, the family patriarch, had enough to deal with in his distillery business on the Toronto waterfront so he sent his sons, Charles Horace "Holly" and James to Meadowvale to look after his business interests in 1861. When William Gooderham died 20 years later in 1881, Holly began to close out his business interests in Meadowvale Village and left the Village by 1882 to focus on the Toronto distillery operation. He sold the mill, and its 60 acre property, in 1882 to Edward Wheeler of the Wheeler Brothers milling company from Stouffville, Ontario.

After the Gooderhams left, it would be several years before the mill experienced prosperity again. When Henry Albert Brown bought the mill for \$2,000 in August 1895, he took the mill, which had been closed for almost 4 years, and turned it into a functioning and profitable business once again. Brown also expanded the mill pond by creating another dam further up the Credit River to create Willow Lake in a bid to attract visitors to the region in the summer for boating and picnic excursions. Brown was drowned in the spring of 1911 when he and an assistant opened the floodgates after the spring thaw to let the water back into the mill pond. The quick thaw that spring resulted in a surge of



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water that swept the two men into the mill pond, drowning them both.

The next mill owner was William Brett who owned the mill until he sold it to Stanley Gorman in 1943. Gorman could not make the operation profitable so he sold the mill to Luther and Grace Emerson in 1946. Grace Brown was the only daughter of Henry and Lillie Brown. The mill ceased to operate as a grist mill in 1950, but was used as a storage facility until Emerson were forced by Toronto Township to dismantle the mill because it was deemed a derelict fire hazard. Emerson was so disgruntled with the decision to force him to take down the mill that he left the ruins in a pile to essentially rot away to nothing. Residents and citizens from other parts of the town would come and salvage wood from the mill, while the rest just naturally filled in over time. The turbines are still in what was the cellar area and are now covered with several feet of earth. In 1963, the Credit Valley Conservation Authority acquired the lands owned by the Emersons, including the mill ruins site.

The gazebo has been a fixture on the mill site lands since the 1860s. It was originally located on the opposite side of the street to its current location and served a number of functions including concerts by the Meadowvale Band, community announcements, a gathering place during public holidays and it was the scene of a few weddings over time. The presence of the current mail box gazebo is a direct link to the importance of community spirit, gathering and celebration.

Description:

The wooden gazebo structure houses the mail boxes for the property owners in the Village as there is no direct mail delivery. Eight wooden posts support a conical shape roof of wood shingles resting on a concrete pad. The postal gazebo received refurbishment and repair in 2011 for the 175th Village anniversary celebrations. The gazebo not only provides a protected area over the postal boxes but also allows for a Village gathering space and area to post community notices. The subject land is owned by Credit Valley Conservation.

The mill ruins are directly behind (west) of the gazebo. The stone and concrete ruins are only partial but do provide a sense of the location and mill race that led to the mill.



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Heritage Attributes:

- The gazebo structure reflects a tradition of a gazebo in the Village core related to open public space at what is now Old Derry Road and Old Mill Lane
- The stone and concrete ruins relate and inform about the former grist mill which was located on this property
- The open space around the ruins and postal gazebo, which allow for views into and from the site.

Statement of Significance:

The mill ruins are a significant reminder of the history and development of Meadowvale Village from its early settlement. The ruins have architectural significance in that they are the only remaining features of the mill complex and related landscape features, including the mill race and mill tail race. The context of the ruins within the Village is significant to how the village developed, their visibility from Old Derry Road and Old Mill Lane and its relationship to the Credit River.



Silverthorn Grist Mill, c. 1850 located on the site of today's postal gazebo. This is believed to be the first photo ever taken of the Silverthorn grist mill. (PAMA).



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Mill stone - on site of former grist mill, now public open space. (Stone was donated and is not the stone from this mill site.)



Tom Stone, The Old Mill, oil – 1935 (PAMA)



Mill complex c. 1910. The original gazebo is located on the left side behind the tree where it stood at the intersection of Old Mill Lane and Old Derry Road. (PAMA)



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Photo of the mill from a similar perspective as Tom Stone's painting. The bridge leads to Willow Lane. (Ontario Archives). c. 1931.



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Address: 1100 Old Derry Road West

Date of Construction: c. 1910

Historical Background: Francis Jackson was a prominent businessman, local politician and farmer in the Meadowvale area. His main property was the farmhouse known as the Simpson-Humphries Residence, which is designated under Part IV of the Ontario Heritage Act and is located outside the Meadowvale Village HCD boundary at 1200 Old Derry Road.

By 1915, Jackson had bought up over 150 acres of land that had once been owned by John Simpson. This included all lands along Old Derry Road from the Simpson-Humphries property up to and including lands severed by the Pearsons at 1020 Old Derry Road. Jackson's son, William, lived here and farmed the land while Francis was away tending to his various political activities. William became postmaster for the Village from 1918-1920 and relocated



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his residence to the Jackson Store and Post Office at 1060 Old Derry Road.

In 1927 Florence Jackson, Francis' daughter, who had married local farmer Doug Hunter a few years before, took up residence in the house. The Hunters severed the property by selling off some of the farm land to the west and keeping the property at 1100 Old Derry Road as their main residence.

In 1976, the former Meadowvale Rail Building, which had been located at the corner of Old Derry Road and Creditview Road, was disassembled and relocated to the rear of this property. The board and batton exterior, which had been painted with white wash, was reversed to show the weathered wood that had been exposed on the interior of the building.

Description:

This two storey residential structure is believed to have been built in two sections, the rear portion being first (mid nineteenth century), which was oriented east, and the current front façade being added later, about 1910. (Ursula Karalus, in her history of the Simpson Farm, states that in 1895 Francis Jackson bought this land with a house and outbuildings. He is said to have built a large bank barn behind the house in the same year.)

There is an open porch the length of the front façade. The structure is finished in stucco and has gable ends. The windows may be their original aperture, but the windows have been replaced with single casement windows and some larger pane windows.

To the rear of the property is an outbuilding constructed of material from the Meadowvale Credit Valley Railway station, formerly on Creditview Road, which was dismantled and moved to this site in the 1970s.

Heritage Attributes:

- The location of the residential structure in relation to Old Derry Road with its yards of open green space on all four sides, highly visible from all directions
- The historical association with the Jackson and Hunter families
- The size, shape and form of the building reflecting the historic nature of the house as it was constructed in the nineteenth century
- The outbuildings contribute to the character of the Village and reminder of its agricultural past



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Statement of Significance:

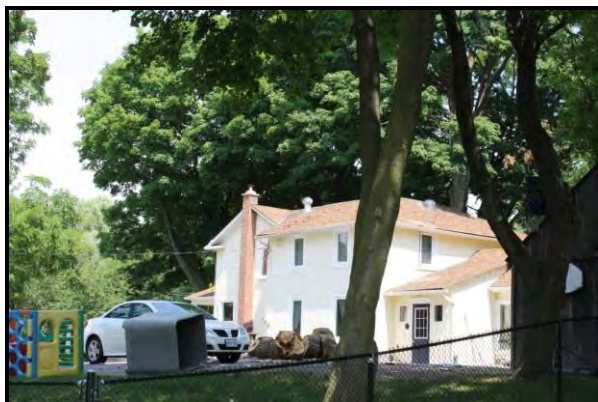
The property at 1100 Old Derry Road has an historic association with the Jackson family and their contribution to the development of 19th and early 20th century Meadowvale Village. The house has architectural significance in its size, shape, form, materials and vernacular design. There is contextual significance in its location within the lot providing for generous yards of open green space on all sides and contribution to the streetscape.



1100 Old Derry Road, north and east elevations



c.1912 (PAMA)



1100 Old Derry Road West, west elevation



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Meadowvale Rail Building c. 1910. The original location of the building was on the west side of Credit View Road and Old Derry Road. (PAMA)



Meadowvale Train Station located at the rear of property.



1100 Old Derry Road as it appeared in 1990.



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Address: 1101 Old Derry Road

Date of Construction: c. 1850

Historical Background: For many years it has been speculated that this cottage was built to house the day manager of the grist mill. However, the land registry title abstracts have not been able to verify this assumption. This structure does appear on the 1856 Bristow Survey for Meadowvale Village. The most significant historical association with this structure is its connection to Isobel Hardy. Isobel Hardy was the grandmother of A. J. Casson, the youngest member of Canada's Group of Seven artists. Although land records do not show a direct ownership linkage with Hardy to this house, it is very likely that she rented this cottage after her husband James passed away and the family farm was sold. The Hardys had one child, Henrietta, who was married to John Edwin Casson.

A.J. Casson came to Meadowvale for summer vacations to visit Grandmother Hardy from about 1902 until her death in 1909. A. J. Casson recalled in an interview with CBC in 1989, a few years before his death, that he remembered being fascinated with watching Fred Haines painting along the Credit River the summer



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of 1907. Casson said he “peppered Haines with questions” about being an artist and remembered those conversations with him as being some of his favourite experiences of coming to Meadowvale in the summers.

The house itself has undergone a few changes over the years. It was once completely covered in stucco and sometime in the mid twentieth century, the stucco was removed from the lower portion to reveal the stacked plank on plank construction. While it is not fully understood how exposing the plank on plank walls may impact the structure in the future, it is an interesting visual confirmation of how the building was constructed.

Description:

A one-and-a-half storey structure built with stacked plank construction. Evidence of the plank-on-plank technique can be seen on the west elevation which has the planks exposed. The planks were normally covered in stucco or wood siding.

There have been alterations to the east and north facades, as well as raising the roofline from the original cottage. This is the only residential structure built off Old Derry Road with the former mill tail-race behind.

Heritage Attributes:

- Original stacked plank construction and its current modest size, shape, form, massing and style
- Original location on Old Derry Road, with the rear opening onto the former mill tail-race.
- Historic association with the Hardy family, grandmother to artist A.J. Casson
- The location of the structure within the property providing for open green space on all four sides



Mill Cottage – view from the former mill tail-race, c.1890. Photo probably taken from the bridge on Willow Lane looking west. (PAMA)



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Statement of Significance:

The property at 1101 Old Derry Road has historical association as one of the original cottages related to the mill operation and the association with Canadian artist A.J. Casson who used to visit the house when his grandmother Hardy lived here. The property known as “Mill Cottage” has been the subject of many artist’s paintings, drawings, and sketches for many years. The property has architectural significance in its modest size, shape, form, massing and style and for its stacked plank construction original to the mid nineteenth century. The property has contextual significance for its location off of Old Derry Road and proximity to the former mill tail race and open green space in all directions making it highly visible.



View of Old Mill Cottage from Old Derry Road looking west c.1890. (PAMA)



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Harry Spiers – Cottage on the mill race, c. 1904. (PAMA)



Mill Cottage, c.1911 (Ontario Archives)



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Address: 7005 Old Mill Lane

Date of Construction: 1986

Historical Background: The first village Library stood at this location from 1929 to 1965. The Meadowvale Women's Institute owned this land and started the library, with Miss Minerva Castle installed as the librarian from 1929 to 1952. The library was open only on Friday evenings. The building itself was formerly the local skating shed and was moved to this site. In 1944 the Meadowvale Women's Institute Library joined the Peel County Library Association and joined the Toronto Township Public Library in 1957. In 1966 the library closed and the collection moved into the local public school. The former library building was removed from the site in 1973 when the property was acquired by Credit Valley Conservation.

The grounds in and around the small library structure were for many years an important part of the Village green, centrally located on the main street.

In 1986, the sewage pumping station was constructed by the Region of Peel to service the Village and surrounding area. In



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1986 a time capsule, in a sealed Plexiglas box, was buried on the site. In 2006 the time capsule was removed.

Description:

A frame structure with red brick finish and yellow brick accents. The structure houses the Region of Peel sewage pumping station built in 1986. The Region worked with the City to design a structure that would be compatible to the village character in its size, shape, form and materials.

On this same site is a cast aluminum plaque commemorating the heritage designation of the Village as a heritage conservation district.

Heritage Attributes:

- Historic association of the property with the former Meadowvale Women's Institute Library, established 1929
- Historic association of the site as a gathering place and open green space



The village Library, which stood at this location from 1929 to 1965. Minerva Castle, was the librarian for 23 years between 1929 and 1952. (L-R: PAMA and City of Mississauga)





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Community fundraising at library, c. 1940-1950.
(PAMA)



The time capsule being removed in 2006. It was initially buried in 1986.



Time capsule (1986-2006) exposed in its concrete vault.



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Unveiling of HCD plaque, c. 1980 (from left) Thomas McIlwraith, Jim Holmes, Mayor Hazel McCallion.

Statement of Significance:

The property at 7005 Old Mill Lane has an historic association with the business development within the core of Village in the nineteenth century. The modest size, shape, form and materials of the structure are compatible with the Village character.



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Address: 7017 Old Mill Lane

Date of Construction: c. 1870, Moved to current location c. 1915- 1920

Historical Background: The structure used to stand on the opposite side of Old Mill Lane behind the Silverthorn Grist Mill along the end of the mill race. This was used as the Mill Office since it was constructed in approximately 1870.

When William Gooderham acquired the mill property after Silverthorn couldn't repay his mortgage, Gooderham sent his sons Charles and James to Meadowvale to look after his business interests. James Gooderham ended up increasing operations in the Village by expanding the general store, increasing production at the mill and by adding a new office space for the mill. Although we do not know when Gooderham built the office, we can guess that it occurred at the same time as the other expansions, which took place between 1865 and 1870.

The structure was used as the Mill Office until Henry Brown's tenure as mill owner. The Mill Office was not being used as an



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office but for storage. When Lillie Brown sold the mill in October 1911 after her husband's death in March of that year, the new mill owner, William Brett, had the structure moved sometime before 1920. Photos of the mill, taken by photographer John Boyd in 1920, show the office had been moved by that time.

It is not clear if the structure was moved to be rehabilitated as a private residence for someone specific, or if it was relocated just to get it off the mill site property. Either way, it did become a private residence and has remained so since shortly after its move.

The mansard roof was added sometime in the 1970s to help increase floor space by adding a low ceiling upper floor. This mansard roof is not a sympathetic contribution to the structure's overall heritage character.

Description:

This building is two storeys with a Mansard roof. It is finished in horizontal wood siding. The second floor was a late addition mansard roof with wood shingles. The roofline extends over the front façade to create a front porch supported by wood posts. On the south façade is a one storey addition that serves as an enclosed porch and entryway.

A detached double garage, built about 1990, is located directly north of the house. The garage is clad in board and batten made from rough cut planks sawn from discarded telephone poles. The mill that cut the wood was located at the Ian Davidson property, just north of the current Derry Road by-pass north of the Village on Second Line West.

Heritage Attributes:

- The historic association of this building as the original mill office having been moved from directly across the street and converted to a private residence
- The remaining original materials including the round arch windows on the front façade
- The size, shape and form of the original structure within the context of the current building
- Its location on the lot which provides for a clear and open view of the front and side facades.



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Statement of significance:

The residential structure at 7017 Old Mill Lane has historical association in its relationship to the original location of this structure across the street as one of the original mill buildings. It has architectural significance related to the ground floor portion of the current building in its modest style, shape, form and materials original to the nineteenth century. The context is significant for its high visibility and contribution to the streetscape.



View of the mill and mill office opposite 7017 Old Mill Lane, c. 1900. Note the mill office in its original location, the centre one storey structure with centre door and two round arched windows. (PAMA)



7017 Old Mill Lane pictured on the left with an open front porch, centre chimney and gable roof, c. 1920. (PAMA)



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Address: 7035 Old Mill Lane

Date of Construction: c. 1956

Historical Background: This is a typical example of a modest mid twentieth century bungalow that was the preferred building style at the time in Meadowvale Village.

This section of land, which included the triangle parcel between Barberry Lane, Old Mill Lane and Pond Street, had been part of a green space set aside by Francis Silverthorn for the usage of all Meadowvale Village residents as a recreational area. An earlier structure of unknown age, a residential building converted from a farm outbuilding with insulbrick finish, stood on this site. (Ref. Rosemary & Terry Wilson, September 2012)

This property has remained under the same ownership since 1956. This is a rare example of an unaltered mid-20th century bungalow remaining in Meadowvale Village and holds heritage



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significance because of its link to mid-20th century urban development.

Description:

This is a modest one storey frame structure of a projecting 'L' form from the front façade. The building is clad in aluminum siding, has a hip roof on the main portion of the structure and a gable end at the front façade. The structure has a concrete block foundation.

The building is located to the south side of the property and a generous setback from Old Mill Lane. The siting of the building on the property allows for a very large, green open space at the intersection of Old Mill Lane and Barberry Lane that greatly contributes to the historic open character of the Village.

To the rear of the house and set in the corner of the property is a small gable end outbuilding. The property is outlined with black chain link fencing.

Heritage Attributes:

- The size, shape, massing and form of the structure contribute to the historic character of the Village.
- The location of the house on the property which allows for a generous side yard at the intersection of Barberry Lane and Old Mill Lane provides an historic green open space important to the Village character and streetscape

Statement of Significance:

This property has historical association through its association with Francis Silverthorn. The residential structure contributes to the Village character in its style, shape, massing and form as a modest one-storey home. The context is significant in that the home is situated on the lot in a manner that allows open space to the road and a large green side yard providing views through the intersection of Barberry Lane and Old Mill Lane.



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7035 Old Mill Lane, north and west facades.



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Address: 7050 Old Mill Lane

Date of Construction: c. 1844

Historical Background: Both the Tweedsmuir History of Meadowvale Village and the Perkins-Bull Collection claim this is one of the oldest frame houses built in the Village.

It is generally believed to have been built by pioneer farmer James Crawford in 1844 and was purchased by Francis Silverthorn in 1845 to be his residence as it was perfectly situated up the road from his newly constructed grist mill. At the time Crawford built the house, the front faced Old Mill Lane and the 1856 Bristow Survey indicates that there was an irregular “L” shaped extension out the back of the property. Silverthorn also owned Lots 38 and 39 and on these sat the barns, drive shed and piggery belonging to the house. It was in this barn and piggery that the first Methodist camp meeting was held in 1848. Silverthorn, a strong Methodist himself, gladly put up his property for large scale meetings. During the Christmas season of 1849, Silverthorn hosted the eminent American temperance lecturer Andrew Jackson Davis, who gave an “enthusiastic and jubilant speech” (Tweedsmuir Histories)



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regarding the benefits of the Temperance Movement. Silverthorn himself said later in life that he never smoked and never drank and this helped him reach old age with ease compared to some of his contemporaries.

When Silverthorn left the Village in 1861, the house came under ownership of several people, particularly those associated with the mill as either owners or managers. It is believed that James Gooderham lived here between 1862 and 1868 while he embarked on a number of operational expansions for the mill property. Charles Horace (Holly) Gooderham took over the mill ownership after James relocated to Streetsville, and may likely have lived here while he was constructing his brick home located at 929 Old Derry Road. When Henry Brown purchased the mill in 1895, he settled his family in at the Silverthorn House and made a number of significant changes to the property.

One of the first things Brown did was to remove the barns and piggery, located on Lots 38 and 39, and turned it into a grassy park space which still exists behind the current mail box gazebo. Once these buildings were removed, Brown reseeded the space to turn it into lawns and gardens and he put up a wooden post, wired farm fence around the perimeter. Each of these wooden posts along the fence had a polished metal maple leaf which remained on the property until the mill was dismantled in 1954. The next significant changes to the property occurred in about 1907 when Brown's wife Lillie had a special request.

According to the Tweedsmuir Histories for Meadowvale Village, Lillie Brown was displeased with the aesthetics of the Silverthorn House. She wanted the house to be turned so that the front door faced the long grassy space along the mill race. She had reportedly grown tired of looking out at the streetscape along Old Mill Lane and wanted to face the newly redesigned lawn and garden space toward the mill. It was also believed that Brown could have a better view of the mill in case he was needed after hours. According to Allan Emerson, grandson of the Brown's, his grandfather did move the house by turning and placing it onto a newly dug foundation and built an addition onto the back of the house. Although this story has been passed down as hearsay over the years, the best way to corroborate this legend is to conduct a structural analysis of the house's foundations to validate original footings locations and dates of possible construction.



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When Henry Brown died in March 1911 by drowning in the mill pond, a distraught Lillie Brown and her daughter Grace left Meadowvale and took up residence at the Brown family homestead now located at 6970 Vicar Gate Drive in Mississauga. She sold the mill and all properties to William Brett in October 1911. William Brett lived at the Silverthorn House for a time until he married Emily Pearson, whose parents owned the Graham Pearson House at 1020 Old Derry Road. After the House passed to Emily's brother, she and William chose to relocate to a smaller, quieter property at what is now 7143 Pond Street.

The last mill owners, Luther and Grace Emerson (Grace was Henry and Lillie Brown's only daughter) lived in the Silverthorn House until their lands were acquired by the Credit Valley Conservation Authority in 1963. For a little more than a decade, the Silverthorn House was the CVC office until they built their new facility across the Credit River. The house then became a private residence again. In 1999, the addition out back was demolished and a newer addition added in its place, including a separate two bay detached garage.

Description:

The front half of this house is one-and-a-half storeys on a stone foundation. To the rear is an extensive one storey addition. The building is clad in traditional wood horizontal siding. The original front portion of the building has gable ends and a small gable on the front façade directly above the main entrance. Within this gable is a lancet shaped window of a two-over-two pattern. All other windows on the original portion of the house are wood, two-over-two windows. The front door is balanced with half sidelights. Over the doorway is a narrow triangular pediment to frame the entryway.

On the east façade of the original portion of the house there are three symmetrical windows with rounded arches on the ground floor with three squared off windows of a slightly smaller proportion on the second floor. All the windows have appropriate shutters. The gable ends have cornice returns.

The house is oriented toward Old Derry Road and is therefore parallel to Old Mill Lane. The house has a shallow setback to Old Mill Lane making it highly visible from the street. There are mature trees which shade the house and provide for an established setting. On the west side of the house there is a small setback to the remnant mill race.



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The location of this house on the property is very significant to its history. The house was built and owned by the mill owner, Francis Silverthorn. It was later reoriented so that the mill and its operation were highly visible from the house. Views were also opened from Old Mill Lane and to the mill pond to the west. The mill pond has gone and is now a heavily forested area. The open area from the house to Old Derry Road is significant as this has traditionally been open and highly visible.

There is a detached garage to the rear of the house.

Heritage Attributes:

- The historic association with Francis Silverthorn who built this house and established the grist and saw mills that provided an industry for Meadowvale Village
- The historic association with Henry Brown who owned this property and was responsible for creating Willow Lake and transforming Meadowvale into a tourism centre
- The original portion of the house and its original materials, style, shape, windows and form, with low profile additions
- The location of the house on the property and the open, green views and vistas of the house from both Old Derry Road and Old Mill Lane

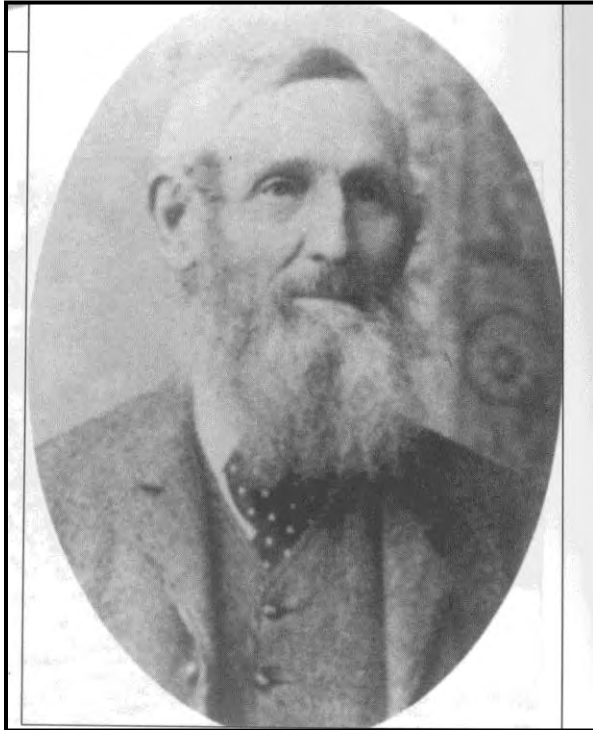
Statement of Significance:

The residence at 7050 Old Mill Lane has historical association with Francis Silverthorn, who owned and built this residence while he owned much of the lands within the Village and operated the grist and saw mills. The house has architectural significance in that the structure is distinct within the Village and represents an early nineteenth century building style, shape and form within the Village HCD retaining much of its original characteristics. The property and structure have contextual significance as Francis Silverthorn established the mills and located his home at this location to oversee the industrial complex within the core of the Village that grew from this site. The house is highly visible from Old Mill Lane and Barberry Lane with open green space to the south, shallow setback to the east and open space to the north.



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Francis Silverthorn shortly before his death in 1893 (PAMA)



East façade of 7050 Old Mill Lane with road in foreground.



Detail of east façade window



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Silverthorn House as it appeared in 1976.



View from Old Mill Lane near the house toward Old Derry Road, c. 1900. On the right is the mill begun by Francis Silverthorn and across the street the former Bell Hotel.



View of the house on the left, along Old Mill Lane, c. 1910.



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Lucinda Brown, c. 1895, sister of Henry Brown (PAMA)



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Address: 7060 Old Mill Lane

Date of Construction: c. 1970

Historical Background: This is a very practical and utilitarian structure which was built to house equipment, tools and supplies for Credit Valley Conservation. The CVC acquired their current lands surrounding Meadowvale Village in 1963 from the last mill owners, Luther and Grace Emerson. The structure was erected in the early 1970s. Its simplicity and practicality allows the building to retain its usefulness while not drawing attention to itself or being out of place within the current building stock of the Village. The structure is well removed from the road edge and is surrounded by mature trees and an old pathway that leads into the CVC lands.

Description: This frame structure, one storey in height, is a garage, storage and work area owned and utilized by Credit Valley Conservation. It is a utility building finished in manufactured siding.

The building is recessed deep onto the lot which provides for a large gravel area to the front of the building for CVC service vehicles. This open space contributes to the nineteenth century character of the Village with large open spaces. To the south of



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the property is a small watercourse that drains away from the road.

Heritage Attributes:

- The location of the building to the rear of the lot provides for a large open space which is representative of the historic open spaces within the nineteenth century character of the Village

Statement of Significance:

The historical association of this property is with the former mill operation and property owner Francis Silverthorn. The property has significant context in that the setback of the structure provides for a large open space true to the nineteenth century character of the property and Village development contributing to the streetscape.



7060 Pond Street rear façade



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Address: 7067 Old Mill Lane

Date of Construction: c. 1950

Historical Background: This property formed part of the original “three corners” open green space which included the properties of 1033 Barberry Lane and 1045 Barberry Lane. This triangle of land had been set aside, it is believed, by Francis Silverthorn to be a village green where children could play and families enjoy Sunday picnics and other social get-togethers. This piece of land had remained green space until the 1940s, when development happened for the first time. Although the property address is on Old Mill Lane, the house fronts toward Pond Street, at the top of the triangle.

This is the first known residence to have been constructed on this site and the property has changed very little since it was constructed in the 1950s.

Description: The residential structure is a one storey frame building, with a hip roof, clad in aluminum siding. It is of modest size, scale, massing and form which make it compatible with the older homes within the Village HCD. To the south of the residence is a one storey outbuilding equivalent in size to a double car garage. The building



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has gable ends and is very simplistic in its design, shape and form.

The house is located centrally within the lot which forms the apex of the triangular shaped property. This location provides for an open green space to the north, east and west facades of the residential structure.

Heritage Attributes:

- The modest one storey scale of the residence in its size, shape, massing and form
- The location of the house on the lot which provides for open green space to the east, west and north yards

Statement of Significance:

The property at 7067 Old Mill Lane has historical association with early ownership by Francis Silverthorn and the retention of this property as open green space until its development in the 1950s. The modest one storey scale, size, shape and form of the structure is compatible with the Village character. The location of the residence on the lot provides for an open green space on the east, west, and north facades which contributes to the streetscape.



7067 Old Mill Lane, the west façade and outbuilding.



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Intersection of Pond St. and Old Mill Lane



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Address: 7070 Old Mill Lane

Date of Construction: c. 1860

Historical Background: Known to the current residents of Meadowvale Village as “The Boathouse”, this property is believed to have been Francis Silverthorn’s last building he constructed in Meadowvale before leaving the Village in 1861. It was likely built as a double worker’s cottage to house grist mill workers and their families and had a quiet, non-descript life for its first forty years. However, it was Henry Brown, who owned the mill from 1895 to 1911, who created the legend and mystique around the house that exists today. Brown created Willow Lake by flooding and enlarging the mill pond and it is has been said that Brown converted the house to a boat rental facility where visitors could rent small boats and canoes to take out onto the lake immediately to the west of the property.

Although Henry Brown had taken the almost defunct and derelict mill back to prosperity by 1897, it still was not as productive as other mills that existed in Toronto Township at the time. Brown wanted to entice people to move to and visit Meadowvale, so if the mill wasn’t going to do that, he decided to promote the Village as a



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vacationing spot. Picnic areas with tables, playfields and horseshoe pitches were set up across the street from the properties now located at 7135, 7143 and 7155 Pond Streets. Small walking trails were also placed around the lake for visitors to stroll and enjoy the view of the water. Willow trees and other native plant species were also planted along the lake to add to the aesthetic beauty of the area.

Brown also arranged for transportation to pick people up from the train station at Creditview Road and transport them back to the Village, where they would spend their days by the lake boating and picnicking, then stay at either the Commercial or Bell Hotel in the evenings.

After Brown's untimely death in 1911, the Willow Lake Resort area immediately ceased to be a tourist attraction.

Description:

The front portion of this structure is one of the original stacked plank buildings from the mid nineteenth century. In 2001, the original structure was removed from its stone foundation, a new concrete foundation built on the same site, and the stacked plank structure replaced and finished in stucco. At this same time a former addition to the rear of the structure was removed and rebuilt at one-and-a-half storeys. The wood windows are not original but have retained a traditional six-over-six pattern. A small open porch covers the front entrance supported by two wood pillars. There are two symmetrical dormers on the front façade. On the south façade of the front, original portion of the house is an exterior brick chimney.

To the north of the house is a detached garage constructed after 2001.

This structure has a shallow set-back from Old Mill Lane and is highly visible from the front façade and south façade which opens onto CVC lands that provide a walkway into the neighbouring parkland. The structure contributes to the historic streetscape with open landscaping at the front and side yards. A picket fence defines the front yard which is typical of the 19th century roadside.



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Heritage Attributes:

- The original one storey front portion of the structure, its size, shape, massing and form, built in stacked plank construction.
- Its historic association with the mill operation, providing modest housing for mill workers and its later conversion as a boat rental facility
- The location of the property slightly setback from the roadway with open views of the green yard and house on the front and side facades
- Its location in relation to the former mill race and Willow Lake directly to the west of the property

Statement of Significance:

The structure at 7070 Old Mill Lane has historical association as it was originally a semi-detached structure built for housing to support the local mill workers and converted in the early twentieth century to a boat house for Willow Lake in support of tourism in the Village. The residence has architectural significance in that the building is constructed in the stacked plank method and that the original front portion of the house retains much of the character of the mid nineteenth century structure. Its context is significant as it is highly visible from Pond Street with open green space to the south, east and north facades, contributing to the streetscape.



Front and north façade of 7070 Old Mill Lane



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7070 Old Mill Lane south façade with native plantings in the foreground by Credit Valley Conservation.



7070 Old Mill Lane as it appeared in 1976.



Willow Lake SUMMER = RESORT Meadowvale

The beauty spot of Peel is now open for the season. A fleet of brand new Boats and Canoes with a mile and a quarter stretch of boating on lake and river amid scenery that is unexcelled, adds to the charms of this lovely spot. The finest of grounds for baseball, football and other games are to be found here while throughout the grounds for a mile or more gigantic elms and other fine trees throw a grateful shade.

On the grounds is a large dining hall, where all kinds of necessaries for tourist and picnic parties can be had. Dishes and hot water supplied. For terms etc. apply to

H. A. BROWN
MEADOWVALE, - ONTARIO
Telephone Connection

Flier advertising Willow Lake Summer Resort, 1910. (PAMA)



Winter Carnival on Willow Lake, 1910 (PAMA)



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Address: 7076 Old Mill Lane

Date of construction: c. 1880

Historical Background: This property is another example of a late nineteenth century structure that has changed little over the years. It is, perhaps, best known as the location for the Village Post Office between 1977 and 1981. It also may have been the home of Robert Golden, whose home was sketched by the artist Harry Spiers when he lived in Meadowvale and wrote the Village's first documentary account of who lived and worked in the Village in 1904. The front façade in terms of shape, size and form, plus street orientation and front walkway placement is very similar to the Golden residence sketch. The current enclosed front porch may be obscuring a bay window that is drawn on the Spiers sketch.

This property sits on land once owned by Francis Silverthorn, William Gooderham and Henry Brown as part of the mill owner's lands along the mill pond. This property would have had a perfect lakefront view from the back yard.

Description: This is a frame structure, one-and-a-half storeys, with a vertical aluminum panel finish. The house has gable ends on the front



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and rear façade and a large dormer on the south with a round arched widow. There are two upper windows on the front façade, believed to be original, two-over-two pattern and a decorative wood window surround. An enclosed veranda with horizontal wood siding on the lower half and two-over-two windows on the upper half, on all three sides, encases the front entrance.

The house is situated close to the roadway and off to the south side of the lot. This orientation allows for an open view of the house from the south, east and north elevations and provides for a consistent open space around the building which is an important character of the streetscapes and lotting pattern within the Village.

Heritage Attributes:

- The size, shape, form, massing, and materials of this original building which contributes to the nineteenth century character of the Village HCD
- The location of the house on the property which allows for open space to the north of the house and clear views to the front and side facades

Statement of Significance:

The property at 7076 Old Mill Lane has historical association, believed to have been one of the residences drawn by artist Henry Spiers who illustrated and wrote the 1904 “Souvenir of Meadowvale”. The structure has architectural significance as it is representative of the vernacular frame structures of the area, in its size, shape, form, and massing, although few in number within the Village. The property has contextual significance as it is situated on Old Mill Lane and once would have backed onto Willow Lake. The house has setbacks that allow for a high visibility on its south, east and north facades.



7076 Old Mill Lane as it appeared in 1990.



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Address: 7005 Pond Street

Date of Construction: c. 1855

Historical Background: This structure is indicated on the 1856 Bristow Survey of Meadowvale commissioned by Francis Silverthorn. This was the home of William McKee at the turn of the 20th century. McKee was the village carpenter who was best known for his window sashes, baseboards, crown mouldings and wainscoting. It was in 1904 that McKee installed the right equipment to make these items and his business exploded after that point. Prior to 1904, if anyone needed a window sash or wanted to install wainscoting inside their homes, they had to go to Brampton, which was the closest carpenter shop that supplied these items.

McKee's carpentry shop was directly across the street in a wooden structure with a high front and steep saltbox roofline. He remained the Village carpenter until the 1920s whereby he had customers come from as far away as Brampton and Streetsville to purchase his products. His lumber was supplied by the A.S. Lambe sawmill located where the commercial garage now stands on Old Derry Road. This same structure was later used by Ernie and Bill Martin as a blacksmith shop for a short time until they built



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their own shop on Second Line West. (Ref. Rosemary & Terry Wilson, September 2012)

In 2009, the front porch was added and is a reproduction of the original porch that was on the property during McKee's time, as is evident in the photo below.

Description:

The original portion of this house is built of stacked plank construction on a stone foundation. It is modest in scale, with a gable roof and cornice returns on the side gables. There have been additions and alterations to the rear, as well as window replacement. The building is finished in stucco as it would have been when built. In 2009 the front porch, which had been removed for many years, was reconstructed based upon historical photographs.

The house is situated at the corner of Old Derry Road and Pond Street. The house is highly visible on its south, west and north facades.

Heritage Attributes:

- The historic fabric of the building as one of the stacked plank construction on its original foundation
- The scale, shape, massing and form of the modest structure
- The location on a corner lot being highly visible and open on three sides
- The generous set-back from the property line to the east, south and north support the Village characteristic of a modest, smaller structure on a large lot and a generous distance between neighbouring structures

Statement of Significance:

The residence at 7005 Pond Street has historical association as representative of the mid nineteenth century modest housing built of stacked plank construction. The building has architectural significance in its style, size, shape, form, massing and materials typical of residential structures within the Village HCD from the nineteenth century. The context of the structure on the lot is significant in that the building is on its original location, set on the west property line, with green open space to the south, east and west, highly visible and contributes to the streetscape. The open space and distance from neighbouring structures is a valued characteristic in the Village and significant to this corner lot.



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7005 Pond Street in 2012



7005 Pond Street, c. 1980



William McKee's residence at 7005 Pond Street is on the extreme right of this c. 1900 photo. The carpenter's shop is the wood framed building across the street, directly behind 1043 Old Derry Road. (PAMA)



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Address: 7015 Pond Street

Date of Construction: c. 1840

Historical Background: This is one of the oldest structures in Meadowvale Village and appears on the 1856 Bristow Survey commissioned by Francis Silverthorn. This land once belonged to Silverthorn and it is possible that, since this is one of the oldest structures in the Village, that Silverthorn may have constructed it. In addition to its age, this property has had relatively few owners over the years.

After John Beatty, the founder of Meadowvale, left the Village permanently in 1836, a new place was needed for Methodists to gather. Shortly after its construction, this house did become a gathering place for Methodists to worship in the years before the permanent Methodist Church could be constructed on Old Derry Road.

In 1896, farmer Richard Hill and his wife Grace purchased this home. The property would remain in the Hill family until the mid 1980s. The Hills had three sons, two of whom, Arthur and Frederick, fought in the Great War of 1914 – 1918: Youngest son Thomas served in Europe with the Y.M.C.A. during the Second World War. Both Arthur and Frederick were injured in France and



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were sent to a military hospital in southern England to recuperate before being discharged and sent home to Meadowvale.

Arthur worked in Toronto, but when he retired in 1957, he moved back to Meadowvale Village and lived at the Pond Street family home until his death in 1986 at the age of 87. He wrote an account of his time in the Great War which is an interesting look into the world of regimental recruitment, training and fighting in one of the bloodiest wars in global history.

The current owners have been here since 1987. They are only the sixth registered owners of this property which stretches back through the Hills, Gooderhams and Silverthorns.

Description:

The one-and-a-half storey structure is made of stacked plank construction in the front, original portion of the building. The original windows are a twelve-over-twelve pattern. The original portion is finished in rough cast stucco and the later additions in board and batten.

The original house is very modest in its scale and design, with only three bays at the front, gable ends, and a reasonable setback from Pond Street. The additions have been kept to the rear of the original portion of the home and do not detract from its historic character.

Heritage Attributes:

- Historic structure of original stacked plank construction and, rough cast stucco finish, in a modest style, shape, form, massing, materials and size
- The original wood window pattern and design on the original portion of the house
- Three sides of the home are highly visible and open to the streetscape maintaining the Village character of modest structures on a open lot

Statement of Significance:

The residential structure has an historic association with the mid nineteenth century development of the Village and the Hill family. There is architectural significance in the modest style, shape, form, massing and materials of the stacked plank construction with a rough cast stucco finish. The context of the house, with open space to the south, west and north facades make it highly visible and contribute significantly to the streetscape.



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The Hill House prior to its additions, c. 1985.



Arthur and Fred Hill in WWI military uniform (PAMA).



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Address: 7025 Pond Street

Date of Construction: c. 1870

Historical Background: Little is known of this specific structure other than it stands on lands once owned by Francis Silverthorn. It is another of the many stacked plank on plank examples left in the Village. Its modest construction suggests it would have been a farmer's or mill worker's residence.

This property had once been owned by the Trevorow sisters, daughters of William Trevorow, the owner of the stave and chopping mills behind the grist mill. During the period that the Apple Tree Inn operated across the street, the Trevorow sisters would take in guests that the Inn could not accommodate. (Ref. Rosemary & Terry Wilson, September 2012)

Description: The one-and-a-half storey residential building is constructed in the stacked plank method. It has a three bay façade with a small dormer over the front entrance. There are gable ends and an addition to the rear. The porch has been recreated and there have been other extensive renovations, but in a manner that is very much in keeping with the style, form and scale of the house.



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The exterior is clad in horizontal wood siding. A detached garage is to the rear of the house off of Barberry Lane.

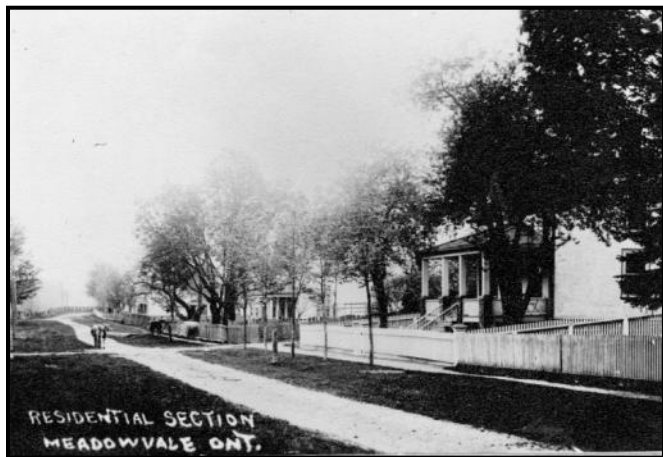
The house is situated on a corner lot and is therefore highly visible with open space on all sides.

Heritage Attributes:

- The original style, shape, form, massing and materials of this stacked plank construction house
- The location of the building on the lot which allows for open space and high visibility from all directions

Statement of Significance:

The property at 7025 Pond Street has an historic association with the land once belonging to Meadowvale entrepreneur Francis Silverthorn. There is architectural significance to the simple form, massing, style and materials of the residence and its construction as an original mid nineteenth century stacked plank building. The property has contextual significance as it resides at the intersection of Barberry Lane and Pond Street, highly visible from both streets and a generous set back allowing for open green space to each road.



7025 Pond Street is in the right of the photo, c.1900. (PAMA)



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Address: 7053 Pond Street

Date of Construction: 1858

Historical Background: This property has a long and colourful history. It was once part of the lands owned by the Gooderham family. The property was briefly sold to Francis Silverthorn by Luther Cheyne in 1858, likely as an asset to help Silverthorn secure mortgage funding on the mill property. After a few short months, the property reverted back to Luther Cheyne. There is a family connection between the Silverthorns and Cheynes. Silverthorn's second wife was Mary Cheyne, a relative of Christopher Cheyne, Luther's father. It is unknown if Mary was a sister or widowed sister-in-law to Christopher, as her full name was Mary Hamilton Cheyne.

George Gooderham sold the land to Luther Cheyne in May 1858. Cheyne built the current house and also constructed the drive shed that remained on the property until it was demolished in the late 1990s. The Cheynes were one of Meadowvale's oldest pioneering families. Luther's father Christopher and uncle Andrew Cheyne were part of the United Empire Loyalist settlers who arrived shortly after John Beatty. Luther worked as a teenager in Silverthorn's grist mill and went on to become an influential



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businessman in the area. Cheyne became the Village's first post master in 1857 and this first post office was located in the Silverthorn General Store on Old Derry Road. Luther Cheyne was also a staunch Methodist, like Silverthorn, and he would be frequently seen going door to door about the Village by horse drawn carriage to collect money to build the Village's first church. Thanks to these fund raising efforts, Meadowvale did get its Methodist Church in 1862.

Although the property remained in the Cheyne family until 1891, Luther Cheyne left Meadowvale in 1884 after he purchased a grist mill in Brampton. He was also a prominent member of the Peel Farmer's Mutual Fire Insurance Company. Cheyne died in Brampton in 1912 at the age of 81.

John and Mary Farnell bought the property from Luther's son Christopher in 1891. Mary Switzer Farnell was the biological sister of Albert Simpson Lambe. (Albert and Mary were orphaned, with Albert being raised by the Simpsons and Mary by the Switzers.)

Mary Farnell was a widow in 1920 when she sold the property to Mary Yates and Helen Beardmore. They turned the property into a respectful and popular rooming house and Tea Gardens named the Apple Tree Inn because of the large apple tree that stood outside the front door. This apple tree had to be removed in 1976 because of old age, disease and decay. It was a popular Village legend at the time that this apple tree was more than a century old and was likely planted by Luther's wife Mary who was known by residents for making the best apple pies in the Village for the Methodist Church socials.

The Apple Tree Inn operated from 1922 until 1944. In the days of prohibition and temperance, the Apple Tree Inn was the only place in the Village where residents could go for tea and a light meal. Patrons were served their tea lunches in the garden where they could enjoy Mary Yates' wall of tea roses that grew up the side of the natural ridge at the back of the property. In addition to the tea service, the Apple Tree Inn was a boarding house for 20 years that catered to summer or Christmas visitors to the area and, most famously, to student artists from the Ontario College of Arts from 1921 to 1925. Every summer, students from the OCA, led by instructor and well known Canadian artist John William Beatty, came to Meadowvale to paint the landscape, houses, Rowencroft Gardens and the many Credit River vistas. While in Meadowvale,



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the students and Beatty stayed at the Apple Tree Inn. Villagers' memories of the 1920s, as described in the Perkins-Bull Collection, recall how residents would see the students setting up their easels on the lawns of the property at the corner of Pond Street and Barberry Lane early every morning. Prominent Meadowvale resident and artist Fred Haines was an active member of the OCA and likely played a major role in arranging J. W. Beatty's excursions to the area. Mary Yates sold the property in 1945 to Aemilius Jarvis for \$3,000.

There have been a number of changes to the property in recent years including an extensive addition to the side and rear in 2003 and the land was subdivided into three lots in about 2000. The original drive shed was also demolished, plus a pool has been added and extensive landscaping work conducted.

Description:

The residential structure is a one-and-a-half storey, stacked plank construction with a rough cast stucco finish. The house has gable ends and a wide central gable over the front entrance. The front gable is the only remaining 19th century home in the Village that has a simple decorative bargeboard. The basic profile of the house has changed very little since it was built. In 2003 a small addition to the side was removed and a larger addition replaced it, along with the front open porch, supported by simple wood posts fully reconstructed. The windows have been replaced in wood with multi panes and working shutters. To the rear there is a two level addition, once enclosed porches have been converted to year round living space.

An outbuilding, to the north of the house, served as a coach house/drive shed and was removed prior to 2000. About that time the property was divided into three lots, the Apple Tree remaining on a large lot and two lots to the north were created (#7067, #7061). In 2009, a fence was reconstructed in a traditional style based upon historical photographs.

The Apple Tree Inn is located on the northeast corner of Pond Street and Barberry Lane. The house is set back some distance from Barberry Lane and provides for an open green space on the corner which has historically always been open. The house is highly visible from the west and south facades. There is a shallow rear yard at the base of a ridge that rises behind the house and provides a nestled character to the house.



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Heritage Attributes:

- Its shape, form, style, materials and original stacked plank construction.
- Its location on a corner lot highly visible from both Pond Street and Barberry Lane with open green space to the south.
- The historic associations with the Cheyne family and a later time period when the building was known as the Apple Tree Inn.

Statement of Significance:

The residence at 7053 Pond Street has historical association of the nineteenth century with the Cheyne family and a time period in the twentieth century when it was known as the Apple Tree Inn. The house has architectural significance in that the original portion of the house, constructed in the stacked plank method, has retained much of its original characteristics distinct to the Village HCD, in its style, shape, form and materials. The context of the house and property is significant as it is located centrally in the Village, highly visible, contributing to the streetscape at the intersection of Barberry Lane and Pond Street with open green space to the south, west and north.



Historic photo of Apple Tree Inn, c. 1920 (PAMA)

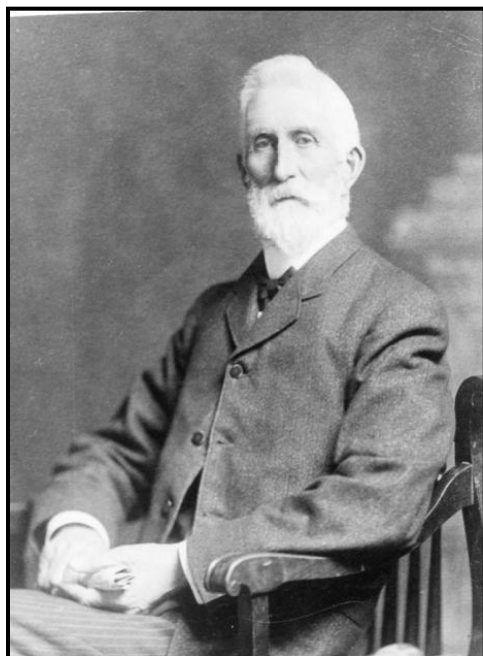


Part of the Apple Tree Inn Tea Gardens. Date unknown. (PAMA)



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Luther Cheyne, c. 1910. (PAMA)



Helen Beardmore (left) and Mary Yates – established the Apple Tree Inn in 1922. (PAMA)



Former coach house/drive shed removed from the property circa 1998. (north façade). Photo taken about 1990.



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Original coach house/drive shed showing the south and east facades, c. 1990.



What was left of the ancient apple tree after it was removed in 1976.



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Address: 7057 Pond Street

Date of Construction: 2003

Historical Background: In 2001 the property at 7053 Pond Street, known as the Apple Tree Inn, was subdivided into three lots. The Inn was retained on one lot and two additional residential lots, #7057 and #7061 were created. The property at 7057 Pond Street is approximately where the former coach house to the Inn was located.

The lot was sold in 2002 and the extant house built in 2003. A detached garage was added in 2005.

Description: This one-and-a-half storey frame structure is built on a concrete foundation with a full cellar. The house has wood vertical siding and stone finish on the foundation. The house has an "L" shape with a projecting front bay and a wrap-around porch from the front façade to the south elevation. The detached garage is a storey-and-a-half, with some loft storage space.



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The house is set back from the roadway providing an open space to the roadway. Mature trees add to the streetscape and presence of this property.

Heritage Attributes:

- The residential structure is compatible in its scale, form, and materials.
- Its setback from the roadway and open space maintain the Village character.
- The property has an historical association with #7053 Pond Street, formerly known as the Apple Tree Inn.

Statement of Significance:

The property at 7057 Pond Street has an historical association with the Gooderham, Silverthorn and Cheyne families. Although the structure is of the recent past, built 2003, it is compatible in its size, form and materials with the Village.



Former coach house for the Apple Tree Inn, demolished c. 1990



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Address: 7061 Pond Street

Date of Construction: Vacant building lot

Historical Background: In 2001 the property at 7053 Pond Street, known as the Apple Tree Inn, was subdivided into three lots. The Inn was retained on one lot and two additional residential lots, #7057 and #7061 were created. The property at 7061 Pond Street, at the northern end of the former lot, has remained vacant as it always has been throughout the history of the Village. The property is not known to have ever had a structure at this location.

Description: The lot at #7061 is retained by the same owner of #7057. Although this is a vacant lot, the owners have extended the garden of #7057 into this lot which provides for a seamless green open space well maintained as a picturesque garden.

Heritage Attributes:

- The property has an historical association with 7053 Pond Street, formerly known as the Apple Tree Inn



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- The property has remained vacant since the early settlement of the Village and remains a green open space

Statement of Significance:

The property at 7057 Pond Street has an historical association with the Gooderham, Silverthorn and Cheyne families. The vacant lot remains without a structure as a maintained green open space. It is noted that residential development will occur on this site in the future.



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Address: 7067 Pond Street

Date of Construction: c.1860

Historical Background: It was generally believed in 1980, when Meadowvale Village was first designated as a Heritage Conservation District, that this double workers cottage was constructed by Francis Silverthorn in 1840. However, with the recent discovery of the 1856 Bristow Survey Plan of Subdivision found at the Land Registry Office in Brampton, it is clear from the map the structure did not exist in 1856. It is now believed that the building was constructed in the 1860s and likely by Gooderham and Worts as they owned the mill from 1861 to 1884. Another curiosity of this structure is that it was constructed directly on the road allowance that was surveyed between Lots 11 and 22 on the north side and Lots 12 and 21 on the south side in 1856. If the structure existed in 1856, it would have been clearly indicated and a road allowance not included in the survey. This probably suggests that, at the time of the construction, the surveyed road allowance was abandoned and never intended to be utilised, therefore allowing the double workers' houses to be constructed where it stands today.

The purpose of the double workers cottage was to house mill workers and their families. One familiar story still told in the Village



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today is that both, at one time, each side housed up to eight single men. The early years of the Gooderham and Worts ownership of the mill was the biggest boom period the Village had ever witnessed. As the Commercial and Bell hotels were not sufficient to house all the new workers coming to the Village, housing needed to be built quickly. Double worker's cottages were the common and preferred method of quick construction used at the time. It is quite possible this structure was built by James Gooderham for the benefit of workers who were employed at his grist mill.

For a number of years between the 1880 and 1906, the Sibbald family owned both this double workers cottage and the double workers' cottage next door, located at what is now 7079 Pond Street. This double workers' cottage at 7067 Pond Street used to extend all the way back up to Second Line West. This was severed in about 1980 to allow the first infill in the HCD in 1981 at 7068 Second Line West.

The Sibbalds owned an extensive amount of land in this part of the Village. They owned Lots 12-21 and 48-53. The Sibbalds were a local business family who ran the store for a time and Francis Sibbald was responsible for building the first wooden bridge across the Credit River along Old Derry Road. This bridge was washed out by ice flows and replaced with an iron bridge in 1893.

The semi-detached structure remained two residential units until the 1980s when it was converted into a one family residence. In 1989, the roofline was raised by three feet and extensive alterations took place, including an addition built at the rear of the property. The dormers on the front façade were also altered in appearance and it was revealed during this extensive work that the structure was of stacked plank on plank construction.

Description:

This one-and-a-half storey residential building was constructed in the stacked plank manner, built as a semi-detached structure for two separate families. The exterior has traditional rough cast stucco. Circa 1989 the house was fully renovated by raising the roofline about three feet higher and adding a significant addition to the rear. The house was converted during the renovation to a single family home. The reconstructed house retained the appearance of two dormers on the front façade and small covered porches over each of the two front entrances based upon historical documentation.



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The location of the house close to the street makes it highly visible on the front and south facades, significantly contributing to the streetscape.

Heritage Attributes:

- Its shape, form and style, and materials, although altered from the original, with stacked plank construction and stucco finish.
- Its historic association with the mill operation as it provided modest housing for the mill workers
- Its location on the lot being highly visible to the front, south and north facades

Statement of Significance:

The property and structure at 7067 Pond Street has historical association with the local mill operations whereby the structure was built in the mid nineteenth century as a semi-detached modest residence for the mill workers. The structure has architectural significance in that the original front portion of the structure is built of stacked plank construction and has retained its nineteenth century character. The context is significant in its location with a shallow setback to Pond Street, high visible and contributing to the streetscape with open green space to the south, north and west of the building.



7067 Pond Street, c. 1900.



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7067 Pond Street prior to the renovation/rebuild, c. 1980. Note the plank construction on the exposed corner.



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Address: 7079 Pond Street

Date of Construction: c. 1860

Historical Background: This double workers' cottage was constructed at about the same time as the double worker's cottages next door at 7067 Pond Street. This structure at 7079 Pond Street may have been constructed first, as it does not sit on the planned road allowance as #7067 does.

Like 7067 Pond Street, this structure was likely built by Gooderham and Worts as they owned the mill from 1861 to 1884. The purpose of the double workers cottage was to house mill workers and their families. It was quite common for mill owners to construct these residences to entice workers to come to the area without having the added task of building a home once they arrived. This land had been owned by the Gooderham family once Francis Silverthorn left Meadowvale Village. So, it is quite possible this structure was built by James Gooderham for the benefit of workers who were employed at his grist mill.

For a number of years between the 1880 and 1906, the Sibbald family owned both this double workers cottage and the double worker's cottage next door. This property at 7079 Pond Street



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used to extend back to Second Line West. The rear portion was severed in about 2005 to create a new lot and allow the infill at 7080 Second Line West where the Village's last working blacksmith shop remained.

The Sibbalds owned an extensive amount of land in this part of the Village. They owned Lots 12-21 and 48-53. The Sibbalds were a local business family who ran the store for a time and Francis Sibbald was responsible for building the last wooden bridge across the Credit River along Old Derry Road. This bridge was washed out by ice flows and replaced with an iron bridge in 1893.

In the 1990s the semi-detached residence was converted into a single family house. The building underwent more alterations in 2003 when the roofline was raised and an extensive addition built at the rear of the property. The original garage/drive shed was also replaced in about 2008.

Description:

This house was built as a semi-detached home for two families. It has been converted to a single family residence. The original front portion of the existing home is a one-and-a-half storey building of stacked plank construction with a rough cast stucco exterior. Circa 2003 the house was fully renovated, the wall height below the roofline raised about one foot, and a significant addition placed to the rear. A few years later a former garage was removed and a new garage built.

The original portion of the home has retained the semi-detached elements of two entrances, each flanked by a single window. Historically this home did not have dormers or porches. This simplicity was repeated in the renovation of 2003.

Heritage Attributes:

- The traditional shape, form and style of the house from the street in its simplicity, stacked plank construction and stucco finish
- Its historic association with the mill operation, providing modest housing to mill workers and association to the Gooderham and Sibbald families
- Its original location on the lot, close to the road and highly visible to the streetscape



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Statement of Significance:

The structure at 7079 Pond Street has historical association with the local mills whereby the semi-detached residential structure was built in the mid nineteenth century to provide housing to the local mill workers. Its 20th century historical association is with the village blacksmith who lived here from the 1940s to the 1980s. The original front portion of the structure has architectural significance as it is built of stacked plank construction in a modest style, shape and form, with a stucco finish. The context is significant to its original location on the lot and high visibility from Pond Street, contributing to the streetscape.



The second house from the left is 7067 Pond Street, c.1900.



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Address: 7085 Pond Street

Date of Construction: c. 1860-1880

Historical Background: This property sits on land once owned by Francis Silverthorn and William Gooderham. It is a very modest worker's style cottage that has seen very few changes in the last 50-70 years.

Description: A modest one-and-a-half storey structure of stacked plank construction. Originally the house was finished in stucco but now has a combination of wood siding and Insulbrick (fibre board panels with tar shingle finish in a brick pattern). The once open front porch has been enclosed. There is small rear addition. To the rear of the house and set by the north boundary is a detached garage built circa 2005. The house has had little alteration and therefore is one of the better examples of traditional housing within the Village from the mid nineteenth century.

The house is located near the street at the front of the lot, which continues through to Second Line West. The location of the



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building on the original lot size is traditional in its setback and highly visible from the streetscape.

Heritage Attributes:

- Its original style, shape, form, height, massing and size, built of stacked plank construction representing one of the few remaining traditional nineteenth century homes within the Village
- Its original location at the front of the property being highly visible and contributing to the streetscape.
- The context of the residential structure at the front of the property with open green space through to Second Line West

Statement of Significance:

The property and residential structure at 7085 Pond Street has historical association as it represents one of the original properties and residential buildings from the mid nineteenth century Village development. It has architectural significance in its stacked plank construction, size, shape, height, massing and form, representative of the modest residential buildings within the historic Village. The context is significant as it remains on its original foundation, close to the roadway and highly visible to the streetscape.





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7085 Pond Street, c.1900. Note the shallow open porch supported by simple bracketed wood posts.



7085 Pond Street as it appeared in 1990.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 7091 Pond Street

Date of Construction: 1939

Historical Background: A previous structure, described as “barn-like” once stood on this property approximately where the garage sits today. (Ref. Rosemary & Terry Wilson, September 2012) The extant structure was built in 1939 by the current owner’s grandfather.

Description: This is a residential L-shaped one-and-a-half storey frame structure finished in board and batten. The roof is a gambrel shape with a wide dormer over the three bay façade. On the front façade is a deep porch supported by wood posts with decorative brackets. The raised foundation is made of concrete block.

The house has a slight setback from Pond Street and the lot continues through to Second Line West. The mature trees and open space at the front of the lot add to the Village character streetscape.



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Heritage Attributes:

- The style, shape, form, massing, materials and size of the structure which is compatible with traditional building styles and residential building sizes from the 19th century
- The location of the house on the lot, open front landscaping with mature trees
- The retention of the traditional lot from Pond Street through to Second Line West

Statement of Significance:

The residential structure at 7091 Pond Street has an historical association with Henry Brown and has been under the current family ownership for many years. The structure has architectural relevance in that it is compatible with the size, scale, form and materials of the historic residential structures within the Village HCD. The visual context has significance in its contribution to the streetscape, location on the lot and retention of the original lot size from Pond Street through to Second Line West.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 7099 Pond Street

Date of Construction: 1978

Historical Background: During the 1940s to the 1970s this site was the location of greenhouses which were sold chrysanthemums to the Dale Estate in Brampton. The lot was later sold to build the extant structure.

This is good example of a 1970s ranch style residence that was quite common in subdivisions built in this period. This property has a good form in terms of its shape and size that is complimentary to the older structures around it. The property has changed little since its construction and sits on land once owned by Francis Silverthorn and William Gooderham.

Description: A one storey frame structure of late twentieth century construction with a brick finished exterior. The house has a five bay façade with a central recessed entry. There is a small uncovered porch at the front entrance. The house, although contemporary in its modest design, is in scale with traditional housing within the historic context of the Village.

The house is located with a slight set-back from Pond Street. The front yard is open and allows views of the house from the



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streetscape. The lot retains its original configuration which continues through to Second Line West.

Heritage Attributes:

- Its scale, size, shape, massing and form are compatible with the historic and traditional residential buildings within the HCD
- The location of the building on the lot provides for an open green space to the front and rear yards
- The lot size is traditional in its configuration of extending from Pond Street through to Second Line West

Statement of Significance:

The property at 7099 Pond Street has historical association with the Gooderham and Silverthorn families. The residential structure is compatible in its one-storey size, shape, massing and form to the Village character. The context is significant in the location of the building on the lot which provides for open green space to the front and rear yards.



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Address: 7105 Pond Street

Date of Construction: 1940

Historical Background: This home was constructed in 1940 and remains in the same family today.

The rear of the property also contains some small outbuildings which represent several of Meadowvale Village's historic landmarks, including a replica of the Women's Institute Library. For many years, the current owner has loaned books from this small red library at the back of the property, once a week, to Village residents.

Description: A one-and-a-half storey frame house with a brick finish on a concrete block foundation. A deep open porch covers the ground floor of the front façade supported by wooden posts with decorative brackets. The roof cladding is metal. There are three small dormers on the front façade, each with decorative trim on the bargeboard. To the rear of the house there is a detached garage. The size, shape and form of the house are traditional and compatible with the older 19th century residential buildings within the Village.



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The house is oriented to Pond Street with a generous setback from the road. The open front yard is separated from the street with a traditional picket fence and arbour/gate.

To the rear of the house are a number of outbuildings which have been constructed at a reduced scale to resemble lost historic buildings from within the Village. The owner does allow viewing and visitation to the miniature buildings on special occasions or by appointment.

Heritage Attributes:

- Its scale, size, shape, form, massing and materials which are compatible with the 19th century residential buildings within the HCD.
- Its location on the lot providing views to and from the house both onto Pond Street and Second Line West and open green space at both the front and rear yards
- The retention of the traditional lot size from Pond Street through to Second Line West

Statement of Significance:

The structure and property at 7105 Pond Street has historical association as it has had continuous ownership within the current family ownership since 1940. The residential structure in its size, shape, form, massing and materials is compatible to the Village character. The outbuildings which commemorate some of the earlier Village structures of the nineteenth and early twentieth century have significant interpretive value. The context of the location of the house on the property is significant as it provides for open green space to both the front and rear yards and retains the traditional lot from Pond Street through to Second Line West.



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Address: 7135 Pond Street

Date of Construction: 1998

Historical Background: The original house that stood at this location was constructed in approximately 1900 and had a long association with the owners of the grist mill in Meadowvale.

The first person of interest to show up in this property's land title abstract was Edwin Thurston who was an artist based in Meadowvale. He was born in the United States in 1867 and came to Canada with his wife Gertrude in 1895 to settle in Meadowvale. Thurston did not reach the heights of fame like A. J. Casson or Fred Haines, but was still known in the Village as a local portrait artist.

Thurston lived in the house from 1907 and sold the property in 1917 to William Brett, the owner of the grist mill. Brett lived here until 1940 and rented the house out for another nine years before selling in 1949.

This property was considered particularly rural as it was the most northerly property located in the Village. Unfortunately the original house was lost to fire in 1994 which burned so hot the sparks threatened other houses around it. This property became



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available for new construction within the Village circa 1995 when a single large lot at the end of Pond Street was divided into three properties. #7135 Pond Street was the first of the three lots to be developed. The stone entrance gates are the only feature that remains of the original 19th century use of the property.

Description:

This is a frame structure, one-and-a-half storeys, with board and batten wood siding. A covered porch supported by wooden posts with decorative brackets covers the ground floor of the front façade. The rectangular shaped dwelling has a hip roof, with three small dormers on the front façade.

The house has a generous setback from Pond Street with a gravel drive between the original stone entranceway. The property is open to the road with high visibility from Pond Street and visibility through a heavily treed rear yard onto Second Line West.

Heritage Attributes:

- The size, scale and materials of this residence are in keeping with the Village HCD character
- The location of the residence on the lot with open views of a green yard to Pond Street and open green space to the rear through to Second Line West
- The original stone gates/entry feature located at the front of the property define the front of the property and retains an original 19th century streetscape

Statement of Significance:

The property at 7135 Pond Street has historical association as it was once part of a larger property at this location at the end of Pond Street. The structure is compatible with the Village character in its size, shape and materials. The context is significant in that it provides for a green open space to the front and rear yards and retains the original stone gate/entry features which contribute to the streetscape.



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Stone entry feature and original house on the property. The historic house was destroyed in a fire in 1994. (Historic Images Gallery)



The house as it appeared in approximately 1990.



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Address: 7143 Pond Street

Date of Construction: 2000

Historical Background: This property became available for new construction within the Village circa 1995 when a single large lot at the end of Pond Street was divided into three properties. #7143 Pond Street was the second of the three lots to be developed. Prior to the lot being severed there had been a late 19th century home on the property, once owned by artist Edwin Thurston, was destroyed in a fire.

Thurston lived in the house from 1907 and sold the property in 1917 to William Brett, the owner of the grist mill. Brett lived here until 1940 and rented the house out for another nine years before selling in 1949.

This was the second residence to have been developed after the original lot was subdivided into three lots in 1995.

Description: This is a two storey frame structure, rectangular in shape with a hip roof and two dormers over the front façade. The residence is finished in board and batten. A porch covers the ground floor entrance supported by wood posts with decorative brackets. There is a double garage attached by a covered breezeway.



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Heritage Attributes:

- The overall size and scale of the residence with board and batten finish and open front porch
- The location of the building on the lot with an open green yard to Pond Street and rear yard open to Second Line West

Statement of Significance:

The property has historical association in that this lot was once part of a larger parcel at the end of Pond Street. The structure is compatible in its materials and open front porch. The context has significance in that the location of the structure provides for open green space at the front and rear yards.



A photograph of the original house which stood approximately in the same location as 7143 Pond Street. The historic home was destroyed in a fire in 1994. (Historic Images Gallery)



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Address: 7155 Pond Street

Date of Construction: 2000

Historical Background: This property became available for new construction within the Village circa 1995 when a single large lot at the end of Pond Street was divided into three properties. 7155 Pond Street was the third of the three lots to be developed. Prior to the lot being severed there had been a late nineteenth century home on the property once owned by artist Edwin Thurston and which was destroyed in a fire in 1994.

Thurston lived in the house from 1907 and sold the property in 1917 to William Brett, the owner of the grist mill. Brett lived here until 1940 and rented the house out for another nine years before selling in 1949.

This was the third and last residence to be developed after the original lot was subdivided into three lots in 1995.

Description: This is a single storey frame structure with a gable over the front entrance. The building has a stucco finish. The roofline extends on the front façade to cover a porch area supported by four wooden posts.



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The house is set back from Pond Street with an open area that allows views from the street to the house. Views to the house are also available from the rear as it opens onto Second Line West. Directly north of the house is a channelized waterway lined on both sides by three levels of armour stone and a bottom layer of river rock that runs from Pond Street to Second Line West.

There is a single car detached garage to the north of the channelled waterway.

Heritage Attributes:

- The size, materials, massing and one storey level of this structure are compatible with the Village HCD character
- The location of the structure on the lot with open views to Pond Street and Second Line West

Statement of Significance:

The property at 7155 Pond Street has historical association as it was created by a severed from a former large lot at the end of Pond Street. The one storey residential structure is compatible in its size, massing and scale to the Village HCD. The context of the house on the lot with open rear, side and front yards is significant.



Armour stone channelled waterway from Pond Street through to Second Line West



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Address: 1081 Second Line West (East side entrance)

Date of Creation: 1964

Historical Background: When the Mississaugas lived along the Credit River thousands of years ago, the Credit Valley Conservation Area may have been one encampment location. At that time, the land was covered by dense white pine forests and lush green meadows along the banks of the Credit River where wild salmon were once plentiful. It was these forests and meadows which convinced John Beatty and his group of 14 United Empire Loyalist families to settle here in 1819 and name the area Meadowvale. Beatty settled on the property currently located at 1125 Willow Lane, which backs onto the Credit River. This is believed to be the oldest structure within the Meadowvale Village HCD boundary.



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The first known land settlement in the CVC lands occurred when James Crawford arrived in 1833 when he bought John Beatty's original 200 acre land grant. Crawford tried unsuccessfully to dam the Credit River just north of the present site of the mailbox gazebo and mill remnants on Old Derry Road. This site was the location of the Village's first sawmill. However, Crawford could not damn enough water to make this saw mill a successful venture. He turned his attentions back to farming and left the Village by the late 1840s for greener pastures elsewhere. During his time in Meadowvale, it is generally believed that Crawford built the small addition on the east side of 1125 Willow Lane and later constructed the house at 7050 Old Mill Lane in 1844. This structure, known to Village residents as the "Silverthorn House", became the head office of the Credit Valley Conservation Authority when they acquired the land in 1963. This dwelling remained the CVCA office until the new facility was constructed in about 1989.

Francis Silverthorn came to the Meadowvale area in the late 1830s and founded the grist mill which stood on the CVC lands located at 1095 Old Derry Road where the present mailbox gazebo structure stands. The mill operated here, through various owners, from 1845 until it was dismantled for safety reasons in 1954.

When Silverthorn ran into financial difficulty with operating his grist mill, he decided to have the area surveyed into town and farm lots to sell them off in the hope of injecting cash flow to keep him from going bankrupt. One can see from the 1856 survey that the lands known today as the Meadowvale Conservation Area were surveyed for development. The surveyed lands included the CVC lands to the north and west along the Credit River. Here, there were twenty lots laid out which were significantly larger than the town lots surveyed for the existing Village. It is believed that these lots would be sold off as small farm lots due to their proximity to the Credit. Land registry abstracts show that some of these lots were grouped and sold as large parcels to a number of well know Meadowvale area residents including Matthew Laidlow, the builder



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of the Commercial Hotel, as well as steam sawmill owners Jonadab Hardy and Thomas O'Shaunessey. However, there currently is no evidence of development or farming to have taken place here in the nineteenth century. Current residents of Meadowvale Village have indicated that Grace and Luther Emerson, the last owners of the grist mill, attempted to cultivate wheat on the site of the former Willow Lake. This venture, however, was unsuccessful, and was abandoned after about two seasons.

Willow Lane was proposed to continue north from Old Derry Road up past the mill pond to what today would be the north end of the park. This development in the northern half of today's park was never realized which left the lands north of the mill and west of the mill pond undeveloped. However the survey clearly defines the saw mill owned and operated by Silverthorn as well as additional workers cottages, roadways and other commercial properties on the Conservation lands. Today the mill pond has disappeared, the saw mill removed, and a few remnants of the grist mill remain close to Old Derry Road. Although industry no longer exists in the Village, this industrial era of the Village's past is extremely significant to its cultural heritage and identity. For this reason it is proposed that the heritage conservation district be extended from its current geographical boundary to include the lands owned by CVC, known as Meadowvale Conservation Area.

The Meadowvale Conservation Area land has been integrated into the Village for many years. Once the mill operations slowed at the end of the nineteenth century, Henry Brown, acquiring the vast property in 1895, enlarged the mill pond creating Willow Lake. It was his vision and goal to re-invent Meadowvale as a tourism destination. He installed a picnic area, boats on the lake, walking trails and cottages to rent. What is known today as the CVC lands were once the tourism draw to Meadowvale. At the time of Brown's occupation and management of the lands, the area would have been very open and park-like, offering views from Pond Street across Willow Lake to the Credit River. After Brown drowned in 1911, the tourism side of Meadowvale dwindled.



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Willow Lake was drained and Luther and Grace Emerson (Grace was the daughter of Henry Brown) farmed the lands up until 1963 when the CVC bought the lands to be protected for their natural heritage value. It would have been around this time that the lands began to take on a more natural vegetation appearance with the growth of trees and shrubs that have developed into the roughly 14% of the wooded areas of today.

Development of the Meadowvale Conservation Area for recreational purposes began in earnest in the mid 1960's and continued in the 1970s. CVC completed works to create a large parking lot, washroom facilities, trails, and a pedestrian bridge over the river, as well as a Tree Nursery operation on site. This initial development remains to this day is the primary recreational development on the lands. In 1989, after CVC's office move, the lands were subsequently leased to the City of Mississauga for conservation and recreation purposes and to manage the lands as a free public park. This management regime continues to the present day with cooperative action on issues of joint concern. CVC maintains use of the Meadowvale Shop building at 7060 Old Mill Lane for its operations and storage.

An archaeological assessment completed in 2013 for the proposed Study Area Boundary of the Meadowvale Village HCD Plan review concluded the area has high archaeological potential. As a result, the mill ruins located at 1095 Old Derry Road on CVC owned land has been registered as an archaeological site with the provincial Ministry of Culture, Tourism and Sport

Description:

To the west and north of the Meadowvale Village HCD is Meadowvale Conservation Area, parkland owned by Credit Valley Conservation, managed and operated by the City of Mississauga as a passive park. This area of river flats, although outside the current HCD, has an interesting history very much tied to the development of Meadowvale as a village. The area's most important cultural heritage significance is the grassy meadows along the banks of the Credit River. These meadows are how



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Meadowvale Village earned its name when the first settlers arrived in 1819. The location of these grassy meadows along the banks of the Credit River with its generous green, open space, which allows for views and vistas of the CVC lands from all directions.

Heritage Attributes:

- Open, green space of gentle meadows along the Credit River to the north and west
- Remnants of the Mill Pond and Willow Lake banks are still visible throughout the CVC lands to the north and west of the Village
- The grist mill and meal mill remnants located along the three corners of Old Derry Road, Old Mill Lane and Willow Lane
- The land's association with the development and Meadowvale Village's commercial, cultural and natural heritage
- The open views and vistas of the grassy meadows along the Credit River which links back to how Meadowvale Village earned its name
- The mill ruins at 1095 Old Derry Road as a registered archaeological site within the Village

Statement of Significance:

The property at 1081 Second Line West has historical association with Meadowvale Village for being included in the 1856 Bristow Survey of the Village. The context and location of the grassy meadows along the banks of the Credit River with its generous green, open space allows for views and vistas of the CVC lands from all directions. The mill ruins are now a provincially registered archaeological site and remain a significant cultural heritage attribute to the Village and surrounding area.



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Credit River along Willow Lane, c. 1910 (PAMA)



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Address: 6970 Second Line West

Date of Construction: 1872

Historical Background: The Schoolhouse is built on lands originally owned by John Simpson. Prior to this school being built, a former one roomed public schoolhouse was located on Barberry Lane at Second Line West. In addition to this first public school, Charles H. (Holly) Gooderham had a private school exclusively for the use of his own children where the governesses were the teachers. The location of this school is currently unknown, but has been substantiated by the Tweedsmuir Histories at the Region of Peel Archives. The early schoolhouse on Barberry Lane was converted to a residence and was eventually destroyed in a fire in the 1970s and remained a vacant lot until the existing house was constructed in 1990.

In 1872, the original schoolhouse had become too small to accommodate the Village's school children so a new location needed to be found. The School Trustees, who included Holly Gooderham, Thomas Graham, Matthew Laidlaw and Thomas Elliott, went in search of appropriate land to construct a bigger school. It has been commonly believed that John Simpson donated the land to build the new school. However, land registry



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titles for this property indicate the opposite is true. Simpson sold .2 hectares of property to the School Trustees for \$200 to build the new school. This was a sizeable amount of money for vacant land in 1872.

The new school was completed in time for the new school year to begin in the Fall of 1872. William True was the first teacher at this school on Second Line West. It remained the Village school until the early 1960s when a newer public school was built further east along Old Derry Road to accommodate the growing population boom in the area.

Since the early 1960's the Old Schoolhouse has been the Meadowvale Village Community Hall, thus continuing its purpose as a community building.

One interesting item that had been housed in the Village Hall for over 60 years was the painting by Fred Haines "Indians on the Credit." From about 1909 to the late 1960s the painting hung above the stage area at the front of the room. Haines had gifted the painting to the school and requested that it remain there so long as the building served a community purpose. The painting is now on display on the second floor outside Council Chambers at Mississauga's City Hall.

Description:

This one room schoolhouse was built in 1872 to replace an earlier one room school located on Barberry Lane. It is a frame structure with vertical board-and-batten siding, gable ends, cornice returns. The ends of the battens are finished in a scallop pattern under the eaves. On the north and south elevation are large wood, multipaned windows, original in aperture, but not detail. The north side has four windows and seven on the south façade. The school ceased to function as a school in the early 1960s and became a community facility which it continues today. Its location within the Village and associated open space has always been a focal point in the Village.

Heritage Attributes:

- The location, size, shape, massing and form of the schoolhouse that reflects its public use
- The wood board and batten materials and wood windows
- Its location within the lot with high visibility to Second Line West and the open green yards to the north and south



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Statement of Significance:

The village Schoolhouse, located at 6970 Second Line West, also known as the Meadowvale Village Hall, has historical association with the local Village school from 1872 to circa 1959. The historical association continued as the schoolhouse was converted to the Village Hall, used by the community to the present. The structure has architectural significance as it is distinct within the Village HCD and is representative of a one room schoolhouse of the late nineteenth century. Its context is significant as the location has been host to community events for over 100 years with its open green space around the building and high visibility to the streetscape.



Mural by Fred Haines painted on canvas and was originally installed (c.1909) on the wall above the front blackboard. It is now installed in Mississauga City Hall. (PAMA)



Meadowvale Village Hall when it functioned as the one room schoolhouse, c. 1910. Note the copula for the school bell at the top and twin chimneys for the woodstoves. (PAMA)



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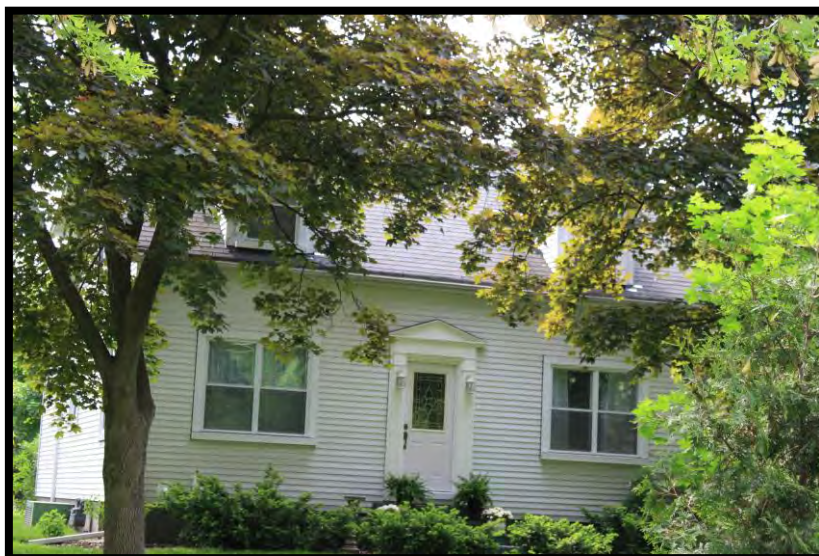


Class photo, c. 1900. This photo was taken at the rear (west side) of the building. (PAMA)



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Address: 6995 Second Line West

Date of Construction: c. 1910

Historical Background: This property, like the Gooderham Mansion, sits on the east side of Second Line West, placing the property in the 3rd Concession. These are the only two properties within the HCD boundary that are a part of Concession 3. This property had once formed the parcel of land owned by the Brown family, who settled in the area in 1822. They owned lands that now extend into the municipality of Brampton and the homestead for this land is the house standing at what is now 6970 Vicar Gate Drive in Mississauga. Henry Brown, the mill owner from 1895 to 1911, was a direct descendant of the Brown settlers. When Henry died in 1911, his widow Lillie and their daughter Grace, left Meadowvale to take up residence at the Brown family homestead.

Little is known about this specific property except that an application to add a southern addition was approved by the City in 1984. Otherwise, this property has retained many of its original features.

The current owners have lived here since 1974.



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Description:

The building is a one-and-a-half storey frame structure with gable ends. The front façade, fronting onto Old Derry Road, has 3 bays, with two small dormers in the roofline. Over the front entrance is a small pediment supported by shallow brackets and pilasters providing a Neoclassical style element to the structure's front façade. The finish is horizontal siding. To the rear of the house is a detached garage accessed from Second Line West.

The house is situated with a generous setback from Old Derry Road and Second Line West thereby having a large front and side yards which make the house highly visible from the street at this corner location. The scale, size, shape, form and style of the building is complementary to the earlier buildings within the Village and the historical context. There are a number of mature trees which add to the aesthetic and green element of this property.

Heritage Attributes:

- The size, shape, form and style of the residential structure is compatible with the nineteenth century buildings of the Village
- The property is the only property in the southeast quadrant of Old Derry Road and Second Line West included in the Meadowvale Village Heritage Conservation District
- The location of the house on the lot with significant setbacks and open yards provide high visibility and open green space on this corner lot supporting the former rural character
- The framing of the structure by mature trees on the front yard provide a landscape in keeping with the Village character

Statement of Significance:

The property at 6995 Second Line West has historical association through its link to the Brown family, including Henry Brown, the grist mill owner from 1895-1911. The shape, size, form and style of the residential structure is compatible with nineteenth century residential buildings of the HCD. Its location on the lot with generous setbacks and open green space provide a landscape that reflects the once rural nature of the Village.



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6995 Second Line West as it appeared in 1990



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Address: 7004 Second Line West

Date of Construction: c.1850

Historical Background: This structure is shown on the Bristow Survey of 1856 and is, therefore, one of the oldest properties in the Village. This property has changed little over the years, retaining its original shape, size and form and is an important link to the modest residences that defined Meadowvale Village during its industrial growth period of the mid nineteenth century.

Description: The modest one-and-a-half storey structure is made of stacked plank construction, with horizontal narrow wood siding and gable ends and cornice returns. The building rests on a field stone foundation. The original windows retain their aperture but the windows have been replaced. The front façade onto Second Line West has three bays, with only two windows, one over the other, on the south façade. The north façade has three windows, two on the upper floor and a single window to the right side on the lower level. The roof is finished in wood shingles. At the rear is a small one storey frame addition that provides an entryway into the rear of the structure.



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The house is situated on the corner of the lot with a shallow set-back to Old Derry Road and Second Line West. This allows for clear visibility of the house as it serves as an entryway into the Village from the east approach.

On the northwest corner of the property is an original one-and-a-half storey outbuilding with a gambrel roof. The date is unknown but it remains as one of very few remaining outbuildings in the Village. The building is clad on the ground level with board and batten.

Heritage Attributes:

- The size, shape, form, massing and materials of the modest stacked plank house.
- Its original materials, size, shape, form and style
- The location of the house on the property with shallow set-backs and clear visibility to the street on the south, east and north facades
- The open green yard to the south, west and north of the building
- The original one-and-a-half storey outbuilding and its location and relationship to the house finished in board and batten on the ground level.

Statement of Significance:

The property at 7004 Second Line West has historical association with the development of the Village from the mid nineteenth century. The residential structure has architectural significance in that it is representative of the stacked plank construction technique, a modest structure in its shape, form, massing, size and materials. The outbuilding has significance in that it is one of the last remaining outbuildings in the Village and is representative of this type of architecture in its shape, form, size, materials and relationship to the residence and streetscape. The house has contextual significance in that it is in its original location, highly visible from the intersection of Second Line West and Old Derry Road, an entry feature into the Village and significant contribution to the streetscape.



7004 Second Line West, south façade.



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7004 Second Line West, outbuilding.



7004 Second Line West as it appeared in 1990



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Address: 7020 Second Line West

Date of Construction: c. 1890

Historical Background: This house was constructed at a time when First Street linked Second Line West through to Pond Street. As a result, the front of this property is oriented toward First Street and not Second Line West. First Street was closed in the 1970s after it had filled in with vegetation. There is little left now to indicate the existence of First Street.

This structure has undergone few alterations over the past 30 years. The garage was added in 1990.

Description: This is a two storey frame structure with a stucco finish, gable ends with cornice returns, with a large one storey addition to the north façade and wrap-around porch on the east façade.

This house is oriented to the south, as it once fronted onto a roadway called First Street, which has been closed for many years. The house is set back some distance from Second Line West, due to its original orientation to First Street. It now has a side view to Second Line West.



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In 1990, a detached garage, with a shallow set back to Second Line West, was added to the property.

Heritage Attributes:

- The location of this house on the property reflecting the orientation to a closed road
- The shape, form, style and materials of the original house

Statement of Significance:

The house at 7020 Second Line West has historical association relating to the nineteenth century development of the Village. It has architectural significance in its modest style, shape, form and materials, representative of the local vernacular style. The context is significant as the building is oriented to the south, rather than to Second Line West, as there was once a roadway on the south edge of the property. Its location on the lot and generous open green open space on the east contributes to the streetscape.



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Address: 7030 Second Line West

Date of Construction: Front façade: c. 1840, rear addition: 2005

Historical Background: The front portion of this structure dates to about 1840 and appears on the 1856 Bristow Survey commissioned by Francis Silverthorn. The addition to the back was added in 2005.

The original structure was part of a land parcel owned by Francis Silverthorn in the 1840s, then passed to the Gooderhams in the 1860s. It remained in the Gooderham family for the next 50 years as Archibald Gooderham married Mary Sibbald and she passed the property on to Catherine Sibbald, in 1910.

Description: The original one-and-a-half storey portion of this house, fronting onto Second Line West is made of stacked plank construction and finished in rough cast stucco. In 2005, the small modest plank house was moved back from the roadway about 10 feet. The porch had been almost entirely on the road right of way. It was removed and fully rebuilt once the house was removed from its original stone foundation and put on a new concrete foundation with a large addition to the rear in an L-shape. The addition is made in a conventional frame method. In addition to being moved



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back from the road, the front, original portion of the building had its roofline raised about one foot.

The rear of the house appears on two levels due to the sloping grade of the property, which allows for an at-grade level for a walk out from the new basement level.

Heritage Attributes:

- The original front portion of the building constructed in the stacked plank method with a rough cast exterior.
- The historic association of the property with the Silverthorn and Gooderham families
- The location of the building on the corner lot which provides for open views to the home from the east and north views along Second Line West and Barberry Lane.

Statement of Significance

The property at 7030 Second Line West, and the original structure on this lot, has an historical association with Francis Silverthorn and appears on the Bristow Survey of 1856. The original structure, of stacked plank construction, has had some alteration, including moving the structure slightly back from the east property line, but does date to the mid nineteenth century or earlier. The context of this property at the intersection of Barberry Lane and Second Line West makes it highly visible with its front, north and rear yards of green open space.



7030 Second Line West, north and west (rear) façade with the L-shape addition built in 2005.



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7030 Second Line West in 1978 before the 2005 alterations.



Former outbuilding located at 7030 Second Line West, 1990.



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Address: 7040 Second Line West

Date of Construction: 1990

Historical Background: This property was once the location of the first public, one room schoolhouse in the Village constructed in 1851. Francis Silverthorn once owned this property and gave the land to build the school. The school was used until a new school was built on Second Line West behind the church in 1871. The second school is now known as the Meadowvale Village Hall.

When the 1851 school was abandoned, the building was used for some time as a meeting place for the Meadowvale Band. Before the late nineteenth century it was converted to a residence and was used for residential purposes until destroyed in a fire in 1974. The property remained vacant until the current house was built in 1990.

Although there is no documentation to substantiate, it is generally believed that the cobble stone pillars which stand on either side of both entrances into the property do not date to the time of the school, but were added much later when the property was a private residence.



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Description:

A storey-and-a-half frame structure, oriented to Second Line West, but with property entrances from Second Line and Barberry Lane. The entrances on both roadways are flanked by original cobble stone pillars which predate the current structure. The house is set back into a corner of the lot which provides for a good deal of naturalized open space at the corner of Second Line West and Barberry Road, as well as a generous open space to the north. This open space provides for a good deal of property between this and the next property to the north. The open space reinforces the character of the Village having modest buildings on large open lots.

Near the roadway is a small detached secondary building in a cottage style with a hip roof. The building has a stucco finish and large windows on the east and north façade. The small building is known as the Weaver's Cottage.

Heritage Attributes:

- The location of the house in the corner of the lot, very much near the original location of the 19th century structure on the property (the first public school in the Village)
- The cobble stone entrance gates on Second Line West and Barberry Lane
- The open space to the east and north of the structure and trees on the property that significantly contribute to the streetscape
- The location, size, shape, form and materials of the cottage illustrates an early example of an early twentieth century cottage vernacular style

Statement of Significance:

The property at 7040 Second Line West has historical association relative to this being the location of the first public school built in the Village in 1851. The architectural style, form, shape and size is compatible with the Village character. The context of the residential building with its location approximately on the footprint of the first schoolhouse provides for a significant green open space to the east and north of the house, including the numerous mature trees. The building, known as the Weaver's Cottage, contributes to the streetscape in its location, size, form and materials.



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View of 7040 Second Line West from Second Line with the open space to the east and north of the house.



7040 Second Line West in 2012



7040 Second Line West – the “Weaver’s Cottage”, a secondary building by the side of the road.



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Address: 7050 Second Line West

Date of Construction: c. 1860

Historical Background: This property was constructed shortly before George Gooderham arrived in Meadowvale Village in 1869. George Gooderham came to work the Gooderham farm located at what is now 7235 Second Line West for his uncle William Gooderham. In 1909, George Gooderham sold the farm to George (Harold) South, then moved into 7050 Second Line West with his daughters Jennie and Jessie. George was 86 when he died here in 1910, but his daughters continued to live on the property for the next several years.

In 1920, George Gooderham Jr. took up residence in the house after returning to Meadowvale Village after living in Alberta for several years. He eventually sold the property to William Archer and the Archers sold to George and Irene McKee in 1946. The McKees were one of the longest owners of this property and they had relocated to Meadowvale Village from Malton. The house has changed hands since and extensive additions were made to the property in 2007.

Description: A one-and-a-half storey residence with the original front portion of the house built of stacked plank construction on a stone



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foundation. The front façade has a three bay façade. The building is finished in horizontal wood siding. In 2003 the front porch was reconstructed and the front gable enlarged. In 2007 a significant addition to the rear was added and the porch extended to wraparound the north façade. The addition was designed to distinguish the original portion of the building from the addition in a sympathetic manner. The exterior cladding is the same throughout the building which helps unify the overall look of the building. The wood windows are done in a traditional six-over-six pattern.

There is a detached garage built of concrete block on the northeast corner of the lot.

Heritage Attributes:

- The original shape, form, materials and style of the front portion of the house built of stacked plank construction
- Its historical association with the Gooderham family
- The location of the house on the property with a shallow setback to Second Line West making it highly visible with open green space to the south and north

Statement of Significance:

The residence at 7050 Second Line West has historical association with the Gooderham family and significance in that the original portion of the structure is one of the remaining stacked plank modest residences built in the mid nineteenth century. The architecture has significance in that the original portion of the building is an example of the typical modest housing with late additions that are compatible with the Village character. The original location of the building on the lot and green open space to the south, east and north of the structure contributes to the streetscape and significant context.



7050 Second Line West, view from the southeast. The indent in the wall between the “V” in the roofline indicates the distinction between the front original portion of the house and the rear addition.



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7050 Second Line West in 1990 before the extensive alterations done in 2007.



Front façade of 7050 Second Line West in 1990.



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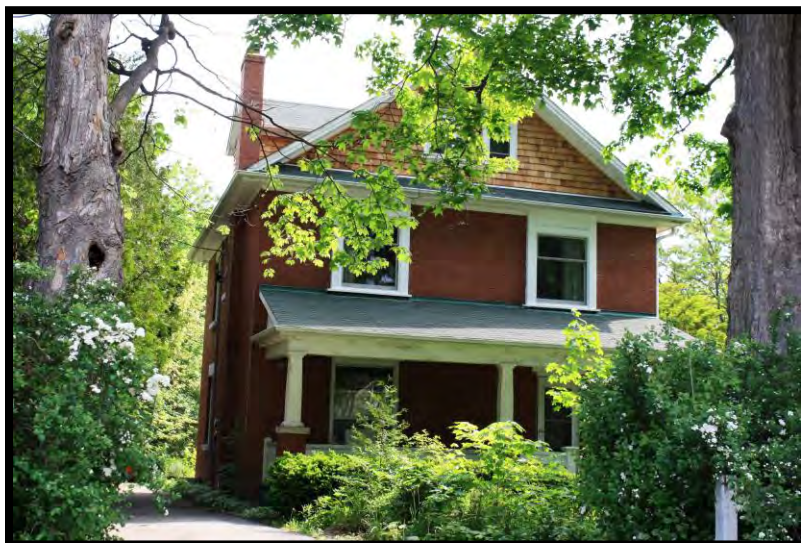


George and Catherine Gooderham shortly after their marriage in 1851. George resided at 7050 Second Line West, with his daughters Jessie and Jennie, from 1909 until his death in 1910 at the age of 86.



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Address: 7059 Second Line West

Date of Construction: 1918

Historical Background: This parcel of land was once part of the Gooderham farm which extended down the full length of Second Line West from Old Derry Road to past the Derry Road by-pass. When the Gooderhams sold the property in 1909 it went to George (Harold) South who took over the Gooderham farmhouse at the end of Second Line West just south of the Derry Road by-pass. South severed off a parcel of the land and built the two storey Edwardian style house for himself in 1918. In the 1960s, the land was subdivided where the South's daughter and her husband built a one storey bungalow next to her parents.

The property is one of the largest lots remaining in the Village and the property, including the house, has changed little in the last few decades. Therefore, it is another fine example of a property that has retained its original cultural heritage attributes which can be



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directly linked back to both the practical and aesthetic design George South envisioned for his property.

Description:

The two storey red brick house is the only Edwardian style structure in the Village HCD. The house has two bays on the front façade with a deep open porch across the front supported by wood columns on brick piers. The house remains fairly true to its original shape, form and design. Some windows have been replaced but in a traditional pattern, form and materials.

The house is setback from Second Line West with a row of mature trees along the front property line and a very generous side yard on the south side and rear yard. The house has maintained a country farmhouse appearance with its mature landscaping and open space.

Heritage Attributes:

- The original shape, form, massing, design and materials of the Edwardian style of architecture.
- Its location and landscaping of mature trees and open green space on all sides

Statement of Significance:

The house and property at 7059 Second Line West has historical association with the South family and the early twentieth century development of the Village. The house has architectural significance in that it is the only Edwardian style residence within the Meadowvale Village HCD and is a good example of this style in its style, shape, massing, form and materials. The context is significant as the property and residence contribute to the streetscape and illustrate the Village pattern of building within a large lot creating open green space on all sides with the retention of mature trees.



7059 Second Line West in 2010.



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Address: 7068 Second Line West

Date of Construction: 1981

Historical Background: This house was built in 1981, shortly after the establishment of the Meadowvale Heritage Conservation District. This is the first infill to have been constructed in the Village after this designation status. The property was formerly the back half of the property located at 7067 Pond Street until it was divided and given its own address on Second Line West. Both 7068 Second Line West and 7067 Pond Street were not surveyed initially into residential lots. These two properties were finally realized once the road allowance for the Village, noted on the 1856 Bristow Survey, was never utilised.

Description: A one-and-a-half storey frame structure with a shallow setback to Second Line West. The front elevation of the house has two levels but, as it sits on the edge of a ridge, the rear has additional storeys below the front grade. The house is finished in board and batten with an open porch on the front façade supported by bracketed wood columns. The roof is finished in wood shingles. There is a detached garage connected by a narrow covered passageway.



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Heritage Attributes:

- The style, shape, form and materials of the house are compatible with the heritage character of the HCD
- Its location and shallow set-back from the roadway make it highly visible with views to and from the building

Statement of Significance:

The house at 7068 Second Line West has historical association as the first residence to be designed and built as an infill project after the establishment of the Village as a Heritage Conservation District. Architecturally, the house was designed to be compatible with the Village character in its size, shape, form, materials and context.



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Address: 7079 Second Line West

Date of Construction: c. 1960

Historical Background: This property was severed from the property directly to the south at 7059 Second Line West, which belonged to the George South family (built 1918). Prior to South owning this property, it was under Gooderham ownership. Harold South's daughter Francis, who had married Alex Copeland, led to the land severance and building of this mid twentieth century modern one level red brick structure.

Description: A one storey frame structure finished in red brick and stone accents. The house has a generous setback from Second Line West which lessens the impact of this house on the streetscape. There is a large open space between the house and the road and a very large open yard to the north.



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Heritage Attributes:

- The modest scale and generous setback providing a great deal of open space between the house and road and large side yard retain the open character of the Village
- Its historical association with the South and Gooderham families

Statement of Significance:

The property at 7079 Second Line West has an historic association with the Gooderham and South families. The residential structure has a compatible architectural scale and form to the Village character. The context is significant in that the house location on the lot has retained an open green space to the west and north facades of the building to the roadway in keeping with the Village nineteenth century character of small, modest structures on large lots.



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Address: 7080 Second Line West

Date of Construction: House – built 2007
Blacksmith Shop – 1937

Historical Background: The Blacksmith Shop is associated with the property at 7067 Pond Street. The shop was built about 1937 by Ernie Martin. His property at 7079 Pond Street went through to Second Line West. Martin rented this property from the Sibbalds and eventually bought the property in 1946. Martin was the last blacksmith in the Village and he was able to serve the local population with a variety of blacksmithing skills. Mr. Martin was followed by his son, Howard, who continued to use the shop mostly for the repair and



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restoration of carriage parts. In 2005, the property was severed so that the Blacksmith Shop became a separate property fronting onto Second Line West. In 2007, the residential building was constructed and the Blacksmith Shop was retrofitted into a garage.

A cultural heritage easement between the property owner and the City was put in place to protect the conservation of the building.

Description:

The residential building is of new frame construction in 2007. It has a five bay façade with a central gable over the front entrance. The house is finished in horizontal wood siding, and the lower exposed foundation finished in red brick. An open front porch is across the front façade supported by simple wood posts.

The Blacksmith Shop is built of decorative cement block on a cement block foundation. As the shop and residence are built on the edge of a ridge, the lower portions, or cellar, are accessible at grade level at the rear. The Blacksmith Shop was fully renovated in 2006 to convert it from a Blacksmith shop whereby the original hearth and work areas were removed and the building was converted to a garage. Wood shingles have been used on both the house and Blacksmith Shop.

Heritage Attributes:

- The Blacksmith Shop is on its original foundation and retains original exterior materials of patterned concrete block and a restored wood shingle roof.
- The historical importance of the Blacksmith Shop as the last surviving Blacksmith Shop in the HCD and within the city of Mississauga
- The residential structure has a style, scale and form compatible to the Village character

Statement of Significance:

The former Blacksmith Shop structure at 7080 Second Line West has an historical association as the only remaining building constructed as a blacksmith shop within the Village HCD. The structure has architectural significance in its retention of the original style, shape, form and materials built of patterned concrete block. The context is significant to the streetscape being highly visible from Second Line West, on its original foundation.



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Blacksmith Shop – Showing City heritage plaque



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Address: 1101 Willow Lane

Date of Construction: 2000

Historical Background: This structure has an interesting history that spans across two countries over two centuries.

The present large two storey frame house was designed and constructed in 2000. The interior had been salvaged from a home dating to 1890 from Winnsboro, South Carolina. The wainscoting, flooring, interior staircase, base boards and crown mouldings were carefully removed from the original Victorian home, labelled and numbered, packed carefully and shipped to Meadowvale Village to be installed in the new home.

Two master carpenters lived on site for two years while they painstakingly hand crafted every piece of detailing inside and outside the home.

Also included in this work was the full restoration of the Gooderham-Southern House, which is currently being used as a pool house on the property.

The original stacked plank on plank cottage was built in about 1850 by William Gooderham. Over the years, many additions had been added to the house, obscuring its original modest Neo-



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classical design. The restoration involved removing all the additions and stripping it back to its original design. The cottage was removed from its original location and set further back to accommodate the construction of the new house. Today the cottage has been re-stuccoed and painted a medium Wedgewood blue.

The original barns belonging to the Gooderham family have also been retained and excellently maintained.

The five properties along Willow Lane were the area's first Crown Grants in 1821 and deeded to John Beatty, the man responsible for leading 14 Irish United Empire Loyalist families from New York State to Meadowvale in 1819. These properties have the longest association with the history of Meadowvale Village.

Description:

There are several buildings on this property. The original house built in the mid nineteenth century is a modest structure, one-and-a-half storeys, three bays, with a small gable on the front façade and gable ends. The wood windows have a two-over-two pattern. The building is constructed of stacked planks with a stucco finish. This building, once moved a short distance of about 10 metres, is located just to the rear and east of the main house.

The main house is a large two storey frame structure in the Italianate style. As stated above, the house is of new construction but with 19th century materials. The house has an irregular plan, the front façade having a projected wing and covered porch that wraps around to the east façade. The porch is supported by wood columns with decorative brackets. There are double brackets under the eaves. Directly over the front entrance there is a stacked porch with a walk-out on the second floor. The projected wing on the front façade has a bay window with double two-over-two wood windows, with a similar double window directly above on the second floor, also two-over-two. This house has horizontal wood siding and wood shingles. There is a good deal of detailed decorative wood work on the house typical of the Italianate style.

There are two outbuildings on the property. Both are located on their original foundations, just east of the house. One is a single storey, probably used more as a drive shed. It is finished in board and batten with wood shingles. There is a decorative bargeboard on the gable ends.



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The second outbuilding, to the rear of the property, is larger than the first, with one-and-a-half storeys, having a small gable on the front façade with an arched two-over-two window in the gable. This barn-like structure is finished in board and batten and wood shingles. The gable has decorative bargeboard in the same pattern as the drive shed.

Heritage Attributes:

- The original stacked plank house in its modest form, shape, size and materials
- The original two outbuildings, located east of the house on their original foundations, finished in board and batten, decorative barge board on the gable ends
- The shape, form and materials of the main house are compatible with the historical pattern and characteristics of the Village HCD while the craftsmanship of detail illustrates the workmanship of the nineteenth century
- The open yard and mature trees that provide views to and from the house and outbuildings to Willow Lane
- The tree lined walkway from Willow Lane aligned to the front door of the house

Statement of Significance:

The property at 1101 Willow Lane has an historic association with the early development of Meadowvale Village in the nineteenth century and association with the Gooderham family. The small, modest structure of stacked plank construction, located to the rear of the large main house, has architectural significance as the original house on the property. It represents the architectural style, shape, form, size and materials of the mid nineteenth century. The context has significance with the relationship of buildings from one to another within a large open green space and mature trees, highly visible from Willow Lane which contributes to the streetscape and Village character.



1101 Willow Lane, out buildings (photo: Heritage Mississauga)



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1101 Willow Lane. The small blue house in the background is the original home on the property built of stacked plank construction.



The original house as it appeared in 1976
(photo: Canadiana Room)

Historically known as the Gooderham-Southern House, it stood on the site of the current residence. In 2000 this stacked plank construction building was fully restored back to the original 1850s cottage by having its various later additions removed. This photo dates to 1990.



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Address: 1115 Willow Lane

Date of Construction: 2003

Historical Background: The five properties along Willow Lane were the area's first Crown Grants awarded in 1821 to John Beatty, who led 14 Irish United Empire Loyalist families from New York State to Meadowvale in 1819. These properties have the longest association with the history of Meadowvale Village.

By the latter half of the nineteenth century, this property was part of a larger parcel, which was owned by the Trevorrow family. This property was severed in the 1940s and sometime within the following decade, a small, one storey bungalow was constructed on this property. There is no evidence or knowledge of a previous structure on this property. At the rear of the property, at the time the HCD designation was adopted, there were the remnants of a concrete block structure. Although there is no evidence now of this structure, as it was removed in the process of constructing the new residence, it is rumoured to have been the site of John Orr's early twentieth century blacksmith shop.

The current house and detached rear garage were constructed in 2003.



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Description:

This is a one-and-a-half storey frame structure built on a concrete foundation. The house is raised about one metre on a high foundation built to meet flood control regulations as directed by the Credit Valley Conservation. The rear of this property does not abut the Credit River but it is close enough to be susceptible to flooding should the level of the river significantly rise.

The front elevation has five bays. The ground floor covered porch is the width of the house, supported by wooden posts with minimal decorative brackets. The base of the porch is supported by brick piers. There is a central gable with a simple six-over-six window on the front façade. The house has gable ends and is finished in horizontal wood siding.

To the rear of the house is a detached one-and-a-half storey double garage.

The house is located close to Willow Lane, which allows for a spacious open green rear yard.

Heritage Attributes:

- The size, shape, form, massing and materials of the house are compatible with historic pattern and character of the Village HCD

Statement of Significance:

The property at 1115 Willow Lane has historical association with United Empire Loyalist settler John Beatty. The current structure does contribute to the Village character in its architectural style, size, shape, massing, form and materials. The context of the building on the lot with a generous open green rear yard contributes to the streetscape.



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Former house at 1115 Willow Lane demolished circa 2001. Date of photo unknown



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Address: 1125 Willow Lane

Date of Construction: c. 1819

Historical Background: This is reputed to be the oldest structure in Meadowvale Village. The five properties along Willow Lane were the area's first Crown Grants deeded in 1821 to John Beatty, who led 14 Irish United Empire Loyalist families from New York State to Meadowvale in 1819. These properties have the longest association with the history of Meadowvale Village. It was on this site that John Beatty decided to begin clearing the virgin pine forests to construct his home and begin farming the land.

John Beatty was born in Ireland and arrived in Meadowvale in April 1819 with his wife Sarah Sproule and their six children: John Jr., James, Joseph, Elizabeth, Margaret and Mary plus 14 other United Empire Loyalist families. On April 22, 1819, Beatty petitioned the Crown Council for a land grant. He was awarded 200 acres on Lot 11 of Concession 3 in 1821. By 1835, Beatty had amassed over 1550 acres in Toronto Township and a further 400 acres in Albion. He became a fairly wealthy man by selling off portions of his lands over the years to enable him to live a comfortable life and pursue his true calling as a Methodist preacher.



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The oldest part of the house, dating to approximately 1819, is not the front facing facade but rather the back portion not visible from the main street. The Neoclassical, three bay, one and a half storey front façade dates to about 1840.

John Beatty was a staunch Wesleyan Methodist and his property became the centre of influence for religious ceremonies in the area as early as 1820. In 1821, the first recorded quarterly Methodist meeting was held in his home at what is now 1125 Willow Lane. Over 100 people attended that meeting from as far away as the Streetsville area and Brampton. Beatty quickly became regarded as a competent orator and enthusiastic preacher. By 1827, his reputation had reached the town of York (now Toronto) to which he travelled once a month to give free sermons to Methodist citizens there.

In 1830, Beatty was appointed preacher to the Bay of Quinte District, but was removed from that post a year later because he canvassed outside the District. Also in 1830, Beatty was appointed by the Canada Conference of the Wesleyan Methodist Church to head a committee struck to find a new location for their proposed Upper Canada Academy in Cobourg, Ontario. This was the first British Charter to a Non-Conformist body of any educational institution anywhere in the British Empire. This was also the first time that the Church was legally recognised as the Wesleyan Methodist Church.

In 1832, Beatty decided to abandon farming as a full time occupation when he was offered the stewardship post of the Upper Canada Academy. Beatty left Meadowvale Village and settled permanently at Cobourg for the remainder of his life. Beatty died there in 1864 while his second wife, Rebecca Brooke, who was the Academy's head mistress, died in 1887 at the age of 105.

Other significant history of this property includes it being the location of the James and Hugh Johnston's Mammoth Works Foundry operating in the mid nineteenth century. This foundry was quite unlike any foundry in Ontario as it made high quality farming implements for sale across the eastern half of North America. The Stillman Cheese Factory also operated on this site from 1896 until 1908.



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The early development of Meadowvale Village and, in particular, the Methodist Church is due in large part to the pioneering spirit and efforts of John Beatty.

Description:

This is a modest one-and-a-half storey house built in sections over a long period of time. All portions of the house are completed in frame construction. The rear of the property abuts the Credit River.

The front façade of the house is of Neoclassical design with three bays, the front entrance framed with wooden surround and a narrow cornice. The wood windows are a six-over-six pattern. The house has gable ends with cornice returns and an extension to the rear east side of the house. The current exterior finish is in board and batten. It is most likely that the house was traditionally finished in horizontal clapboard. The house rests on a shallow stone foundation. There is an external chimney on the west façade that was added some time in the twentieth century. By adding the chimney, a ground floor and upper window were removed.

The house has had renovations over its long period, but retained a modest scale, size, shape and form. The house is located a short set-back from Willow Lane and is therefore highly visible from the street, allowing views on both sides of the house through the open property to the Credit River behind. On the south side of Willow Lane is the remnant tail race from the mill.

There is an outbuilding to the east of the house with a minimal setback to the east property line. This storey-and-a-half frame structure is built on a concrete slab at grade and was built and used as an artist's studio space by the last property owner.

Heritage Attributes:

- The significant historic association of the house and property with John Beatty, founder and first European settler of Meadowvale Village
- The shape, form, style, massing and materials of this modest house, the Village's first dwelling
- The size, shape and form of the lot as it has not been altered since the 1856 Bristow Survey and the importance of this lot being the first settled in Meadowvale
- The original location of the house and its relationship to the road, Willow Lane, and the Credit River, to the rear of the property and to the former mill tail race directly to the south of the property



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- The open views from the road to the Credit River and open green space around the house forming an open yard to the river

Statement of Significance:

The property and structure at 1125 Willow Lane has historic association with Meadowvale Village as it was under the ownership of the founding first property owner and resident, John Beatty, in 1819, within the Village HCD. The house structure has significance in its size, shape, form, massing, materials and style, as it contains the earliest European Settlement residence in Meadowvale Village. The location of the residential structure on the lot has contextual significance as it has a shallow setback to Willow Lane, providing a significant streetscape to the structure's south, east and west facades and a large open green space to the rear toward the Credit River. The lot has both historical and contextual significance which has not altered size shape and form since the 1856 Bristow Survey and therefore retains its character. Its historical significance and relationship to neighbouring properties, and the Village, throughout time.



The Reverend Dr. John Beatty c. 1860. (PAMA)



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



1125 Willow Lane – detail of the upper east façade with cornice return and casement windows



The Beatty House in 1990 – front and west façade. 1125 Willow Lane – front and west facades of the white house in the centre, c. 1910 (1147 Willow Lane on the left side). The outbuildings to the right of the white house have long been removed. The tail race from the mill is seen in the foreground.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 1147 Willow Lane

Date of Construction: September 1899

Historical Background: On August 16, 1899, William Brigden purchased this vacant property for one dollar from Elizabeth Trevorow, the daughter of William Trevorow who purchased the Village cooperage plus the stave and chopping mills from Charles Horace (Holly) Gooderham in 1884. Shortly after purchase, Brigden apparently constructed the current two storey property with reclaimed wood siding that originated from the mill workers row houses called "Cooper's Row" which stood between Lots 71 and 72 behind the present property on lands now owned by CVC. Brigden quickly sold the property in October 1899 for \$300.

In April 1904, Bertha Moorhouse Haines purchased the property with her husband, renowned Canadian landscape artist, Frederick Stanley Haines. They lived in this house with their daughter Dorothy until they moved back to Toronto in 1930.

Fred Haines was the president of the Ontario Society of Artists, a founding member of Canadian Society of Painters of Watercolour, a founding member of Canadian Society of Etchers and Printers,



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

the curator of the Art Gallery of Ontario and a well-loved and most respected principal of the Ontario College of Art (OCA). He was a contemporary and close colleague to the Group of Seven and even convinced his cousin, Franklin Carmichael, to pursue a career as an artist. Carmichael, with Haines' help, would become the youngest member of the Group of Seven in 1933. As a more established and successful colleague of the Group of Seven, Haines invited Carmichael, A.J. Casson, Arthur Lismer and A.Y. Jackson to teach at the OCA, much to the benefit of its students. His relationship with artist John W. Beatty at the OCA in the 1920s may also have played a role in the student painting excursions to Meadowvale in the summers of 1920, 1921 and 1922 which were organised by Beatty. Haines was instrumental in greatly increasing student enrolment at the OCA, introducing new courses of study, and establishing a much wider participation of artists in the community by promoting advertising and industrial design, something which had not been done prior to Haines.

While they lived in Meadowvale Village, the Haines's were considered a quiet family. On sunny afternoons, Fred Haines could quite often be seen setting up his easel along Willow Lane or along the Credit River behind his property to sketch and paint. A hand written Meadowvale Village General Store receipt shows that someone in the Haines household purchased a window pane. A window was added on the second floor's south side sometime after its construction and it may have been the Haines's who added it.

In terms of ownership of this property, the Haines family were the second longest occupants at just over 26 years. However, the longest resident of the property is the current owner who has owned this property since 1968.

Description:

The structure is a full two storey frame structure with horizontal wood siding and a front gable end. The original wood windows are of a two-over-two design with simple wood surrounds. The front elevation has two bays, the front entrance having a covered porch with a gable end, supported by squared wood pillars. The house is 'L' shaped, with an enclosed veranda filling in the ground floor of the 'L' on the front elevation. There are four windows on the east elevation in a symmetrical pattern. There is a small one storey addition to the rear. A detached garage is located just behind the house at the east property line.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

The house is located very near the front property line, close to Willow Lane. On the south side of Willow Lane is the remnant tail race from the mill that ran to the Credit River. There is a generous set back from the west property line which provides for a large open green space to the west of the property and views from Willow Lane to the Credit River behind. There have been few alterations and changes to this property since it was built.

Heritage Attributes:

- The historic association of the property with Canadian artist Frederick Haines
- The original size, shape, form, massing and materials of the structure
- The location of the house on the property and its proximity to Willow Lane and the direct access to the Credit River at the rear of the property
- The open green space of a yard to the west and rear of the house

Statement of Significance:

The property at 1147 Willow Lane has an historic association with Canadian artist Frederick Haines who owned and resided at the property in the early 20th century. The house has architectural significance in that it is representative of a vernacular design, shape, form, massing and materials. There is contextual significance in the shallow setback of the structure to Willow Lane, contributing to the streetscape and providing generous open green space in the yards to the west and rear of the building through to the Credit River.



West and front façade of 1147 Willow Lane during a flood. Date unknown



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



1147 Willow Lane on the left, c.1910. In the foreground is the tail race from the mill which ran along Willow Lane out to the Credit River. (PAMA)



Painting – oil on canvas, by Fred Haines, “Indians on the Credit”, c. 1909. This painting, approximately 18 feet long, originally was hung over the blackboard, as a mural, at the front of the classroom in the Village school. It was removed when the school no longer functioned circa 1960. For many years it was located within the offices of the Credit Valley Conservation and is now located outside the second floor entry to the Council Chamber at the Mississauga Civic Centre. (PAMA)



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: 1155 Willow Lane

Date of Construction: c. 1880

Historical Background: The five properties along Willow Lane were the first Crown Grants awarded in the area and deeded to John Beatty in 1821, who led 14 Irish United Empire Loyalist families from New York State to Meadowvale in 1819. These properties have the longest association with the history of Meadowvale Village.

This land had once belonged to the Tevorrow family in the 1880s and was eventually severed to create this lot in the 1890s along with the property at 1147 Willow Lane.

The most well-known residents to have lived on this property were the Prebbles. George Prebble was known as a man of outstanding community spirit. He was a believer in maintaining the rural and modest appearance of the Village and advocated preserving the existing heritage of the Village in order to pass down to the following generations.

Prebble was most known for the pride he held in being a Meadowvale Village resident. On the land between the mill tail race and Willow Lane, he spelled out the name "Meadowvale



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Village” in stones painted white which had been taken from the Credit River. This was visible to all people who entered or left the Village along the west side of Old Derry Road. However, his most remembered project was the foot bridge across from his property which went over the tail race to Old Derry Road. Twice this foot bridge had been washed out due to flooding, with the most severe flooding happening during Hurricane Hazel of 1954. The bridge had supposedly floated down the Credit and ended up on the Sanford Farm, where Bill Iverson recognised the bridge and brought it back to Prebble who fixed it up, replaced some necessary parts and reinstalled it in early 1955. Prebble reconfigured the foot bridge to be raised and lowered to endure future floodings of the tail race area. It is believed that the bridge was removed after the Prebbles left the property in the mid 1960s.

The west side and rear of the Prebble property contain the remnants of the Toronto-Guelph radial line, which operated between 1917 and 1932. The radial bridge and tracks were removed in 1936 and the elevated ridge left in place as well as the bridge abutments along the Credit River at the rear of the property. This was a popular, but short lived mode of transportation and was the means by which high school aged students from the Village went to Etobicoke, where the closest high school was situated. The rail line was eventually shut down due to having an extremely high accident record and it became expensive to run.

Description:

This is a full two storey residence with a stucco finish, believed to be of frame construction. The house has a three bay symmetrical façade, the front porch now enclosed. The wood windows are a simple one-over-one design.

The house has gable ends, with half timbering in the gable and a dormer on the front façade with a single window. The house is ‘L’ shaped with an extension to the rear. A single storey addition has been placed on the east façade.

This house is situated on the last property on Willow Lane. On the south side of Willow Lane is the remnant mill tail race. To the west of the property is the Credit River which curves around to the rear of the property. There is a generous open space to the east of the house. There is a detached garage set back from the house close to the east boundary.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Heritage Attributes:

- The original size, shape, massing and form of the house on the property and its original materials
- Historic association with the Prebble family
- The location of the house relative to Willow Lane, the remnant mill tail race and the Credit River
- The open green space and view of the house from Willow Lane
- The existing railway bed and bridge abutments along the entire west side of the property down to, and including, the Credit River

Statement of Significance:

The property at 1155 Willow Lane has historic association with the Prebble family and long term relationship to Willow Lane and Meadowvale Village. The house has architectural significance in that it is representative of the local vernacular style in its size, shape, massing, form and materials. It has contextual significance in its location at the terminus of Willow Lane, contribution to the streetscape being highly visible from the roadway and views across an open green yard to the Credit River.



1155 Willow Lane as it appeared in 1990.



1155 Willow Lane c. 1925 – with the tail race from the mill in the foreground.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Foot bridge over the mill tail race in front of 1155 Willow Lane, c. 1950. At the far left of the photo is the remnant abutment for the electric railway. (PAMA)



The radial bridge immediately to the west of 1155 Willow Lane, over the mill tail race to the Credit River, c. 1925. (PAMA)



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: Bridge - Old Derry Road at the Credit River

Date of Construction: 1949

Historical Background: A wooden bridge, 110 feet long, was built at this same location by Frank Sibbald in the 1870s. Sibbald used lumber from his steam powered sawmill located on the south side of Old Derry Road approximately where the former gas station sits today. In 1894 the wooden bridge was destroyed by an ice jam and was replaced with an iron bridge. The current bridge was constructed in 1949 and was dedicated by the Premier of Ontario, Thomas Laird Kennedy.

The bridge was refurbished in 2007, a project which included the refacing of the concrete support abutments. In this application, the original date stamp of the bridge's construction was lost.

Description: The iron structured bridge, spanning the east and west side of the Credit River, on Old Derry Road, was designed in the Pratt truss manner which provided a lighter, but strong bridge. This bridge design was particularly useful in colder climates with heavy winter snow loads. This was the most prevalent bridge design used over short length water courses between 1870 and 1960 throughout North America. The bridge proved its strength, having survived the power of Hurricane Hazel in 1954.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Heritage Attributes:

- Historic bridge, original materials and Parker Camelback (Pratt) Truss Bridge design
- Original location of the bridge over the Credit River as an entry point into the Village HCD
- Views and vistas both to and from the bridge provide an opportunity to experience the landscape within the Credit River floodplain and the meadow-like conditions which retain a rural character

Statement of Significance:

The bridge at Old Derry Road and the Credit River has historical association as one of a series of bridges that has provided access to Meadowvale Village at this site since the 1870s. The bridge has architectural significance in its original design, style, and materials. The context is significant as it marks the entryway into the Meadowvale Village HCD from the west access on Old Derry Road and provides views and vistas of the Credit River floodplain and rural character.



Second bridge over the Credit River constructed in 1894. Photo: c. 1900 (PAMA)



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Third bridge constructed in 1949. Photo taken c. 1955. In the refurbishment project of 2007, the concrete support abutments were refaced and the date stamp removed. (PAMA)



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Address: Road right-of-way, Streetscape and Public Realm

Date of Construction: N/A

Historical Background: Since the establishment of the earliest European settlement in Meadowvale Village in 1819, several roadways and public areas have been subject to construction and maintenance. The roads and streetscapes connect the properties and provide for the overall character of a community. The roadways have evolved and changed over time, which is evident when comparing what exists with photographs taken at the turn of the century.

Most of the industrial and commercial development of Meadowvale has disappeared. However much of this former industrial past is the reason Meadowvale has grown through the nineteenth and into the twentieth century. Elements of the industrial past, such as the mill, mill race and tail race, are now part of the public realm and environment.

In 1894, Albert Lambe coordinated and raised the funds necessary to put in the first concrete sidewalk on the south side of Old Derry Road. All of the necessary labour and materials were donated and came from as far away as Streetsville. At the same



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time, the group responsible for putting in the sidewalk also planted trees to create a shaded streetscape.



The first concrete sidewalk was installed on the south side of Old Derry Road in 1894. (PAMA)

Old Derry Road most likely has experienced the greatest amount of change, as it was the centre of the Village's nineteenth and early twentieth century commercial core. By 1920, Old Derry Road became the major axis for vehicular traffic in and out of the Village. Even the name, "Old Derry Road", is fairly recent. This portion of Derry Road West within the Village became "Old Derry Road" to distinguish it from the Derry Road West by-pass, opened in the mid 1990s to re-direct traffic to the north of the Village.

There was no organized street lighting in Meadowvale Village until December 31, 1963, when standard 'cobra' style light fixtures were introduced. Up to that date, there may have been individual property owners who had lighting by the street outside their residences or businesses. However, streetlights placed and managed by a public utility, or the City, is a more recent intervention.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Second Line West – the first house on the left is #7030, followed by #7050, c. 1905 (PAMA)

Description:

The roadways and streetscape of Meadowvale Village vary from one street to another, yet there are general characteristics that apply to all streets. With the exception of Old Derry Road, the paved streets are narrow in comparison to other residential areas of the city. For example there are no curbs or formalized shoulders to the roads on Meadowvale Village's side streets. In most areas of the Village the streets are also lined with mature trees, often forming a canopy from one side of the street to the other. The transition from public to private property is usually blurred in that one does not find fencing or specific demarcation of private property.

The public perception of space and streetscape is essential in maintaining the character of the Village where property owners have a common interest in the streetscape that binds them. These soft elements of the streetscape provide for a very pedestrian friendly environment, which encourages walking, biking, and the use of the roads as a common public space. The overall character is very green with a park-like setting.

Street signage has been kept to a minimum. There are required signs such as street names, speed posting and some directional signage. Village residents have added locally made wooden signs dotted around the community to remind visitors they are in Meadowvale Village.



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Set between Old Derry Road and Willow Lane is the former mill tail race. Today this appears as a naturalized, wet lowland feature. In reality, however, they are the remnants of a constructed tail race which exited from the grist mill which had been situated on the corner of Old Mill Lane and Old Derry Road. The water originally flowed into the mill by way of the mill race that lay to the west side of Old Mill Lane. The mill race was fed by the mill pond further north of the Village which had been dammed on the Credit River close to where the current Derry Road By-pass is situated. Once the mill had utilised this water flow, the water exited the mill via the tail race which flowed under the bridge on Willow Lane and out to the Credit River beyond the properties on this street.

Water still continues to flow down the tail race during the spring thaw or during times of heavy rains. Historically, there have been significant attempts to construct bridges across the tail race to reach Old Derry Road. The most memorable was the Prebble Bridge located on the south side of Willow Lane between the properties now known as 1147 and 1155 Willow Lane. For nearly 50 years, a wooden foot bridge stood here to allow people to cross the tail race. It had been washed out twice in its history, including during Hurricane Hazel in 1954, where it washed up 12 miles south along the Credit River onto farmland. George Prebble, the owner of 1155 Willow Lane, reconstructed the bridge in 1955, this time with a mechanism to allow the bridge to lift and lower in case of high water. This bridge was eventually removed in the 1960s. However, there are still likely some abutments still situated on either side of the tail race to indicate where the bridge stood.



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

At the end of the tail race, along the west side of 1155 Willow Lane, are the remnants of the Toronto-Guelph Radial Line. This radial line operated between 1917 and 1932. The existing remnants are significant heritage features as they have changed little since the railway was in operation. The original raised rail bed is intact as are the abutments on either side of the Credit River and along the tail race. Even the original telegraph poles that serviced the rail line still stand in the fields on the south side of Old Derry Road. The only features missing are the steel bridge across the tail race and Credit River, plus the rail lines and some wooden ties, which were dug up in 1935 to be used along other rail lines as replacement materials in the region. Therefore, the existing heritage features are a culturally significant remnant of early 20th century railway transportation in Mississauga.

The mill tail race is a very significant historic feature of Meadowvale Village and an important reminder of both the area's history as a milling centre from 1845 to 1954 and as a location of early twentieth century rail transportation from 1917 to 1932.

All these features, both natural and man-made, should be protected and conserved to maintain the cultural and natural heritage attributes of the Village.

Heritage Attributes:

- Narrow paved streets of a rough or macadamized surface appearance
- Green open space uninterrupted from the paved edge of the road through to buildings and structures
- Soft shoulder on the roadways with no curbs or siding (with the exception of Old Derry Road) with green, grassed edges often leading to a shallow ditch
- Street trees on the public right-of-way, supplemented by mature trees and green space on private property
- Wooden utility poles
- Standard 'cobra' design street lighting which acknowledges modern lighting but does not draw attention to itself
- The former mill tail race which runs between Willow Lane and Old Derry Road from the mill ruins out to the Credit River
- The concrete abutments, remnants of the former electric rail line, and its associated berm, north of Old Derry Road, west of the termination of Willow Lane



Heritage Conservation District Plan, 2014

Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B

Statement of Significance:

The public realm, which consists of roadways, creeks, park land and publicly owned lands reflect the development of Meadowvale Village from its early 19th century settlement through its development as a milling centre into the quieter 20th century community of today. The road pattern and lotting has not changed since the survey of 1856, which is reflected in the layout and pattern of its streets and laneways today. The narrow roadways and soft, often undefined shoulder, are a remnant of the Village in an earlier time and significant to its character as a pedestrian friendly environment.



Old Mill Lane, 2012, looking north from Barberry Lane. The narrow paved road surface and generous open green space makes for a pleasant pedestrian friendly environment.



Old Derry Road looking west at the intersection of Second Line West.



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Meadowville Village Heritage Conservation District Plan, 2014: Property Inventory, Schedule B



Historic photo of the mill tail race. On the left is 1101 Old Derry Road historically known as Mill Cottage. On the right of the mill tail race is Willow Lane, c. 1900. (PAMA).



The radial line bridge c. 1925 over the mill tail race. Old Derry Road is to the left. (PAMA)



Remaining telegraph poles from the Toronto-Guelph Radial Line.



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The mill tail race as it appeared in 2012.

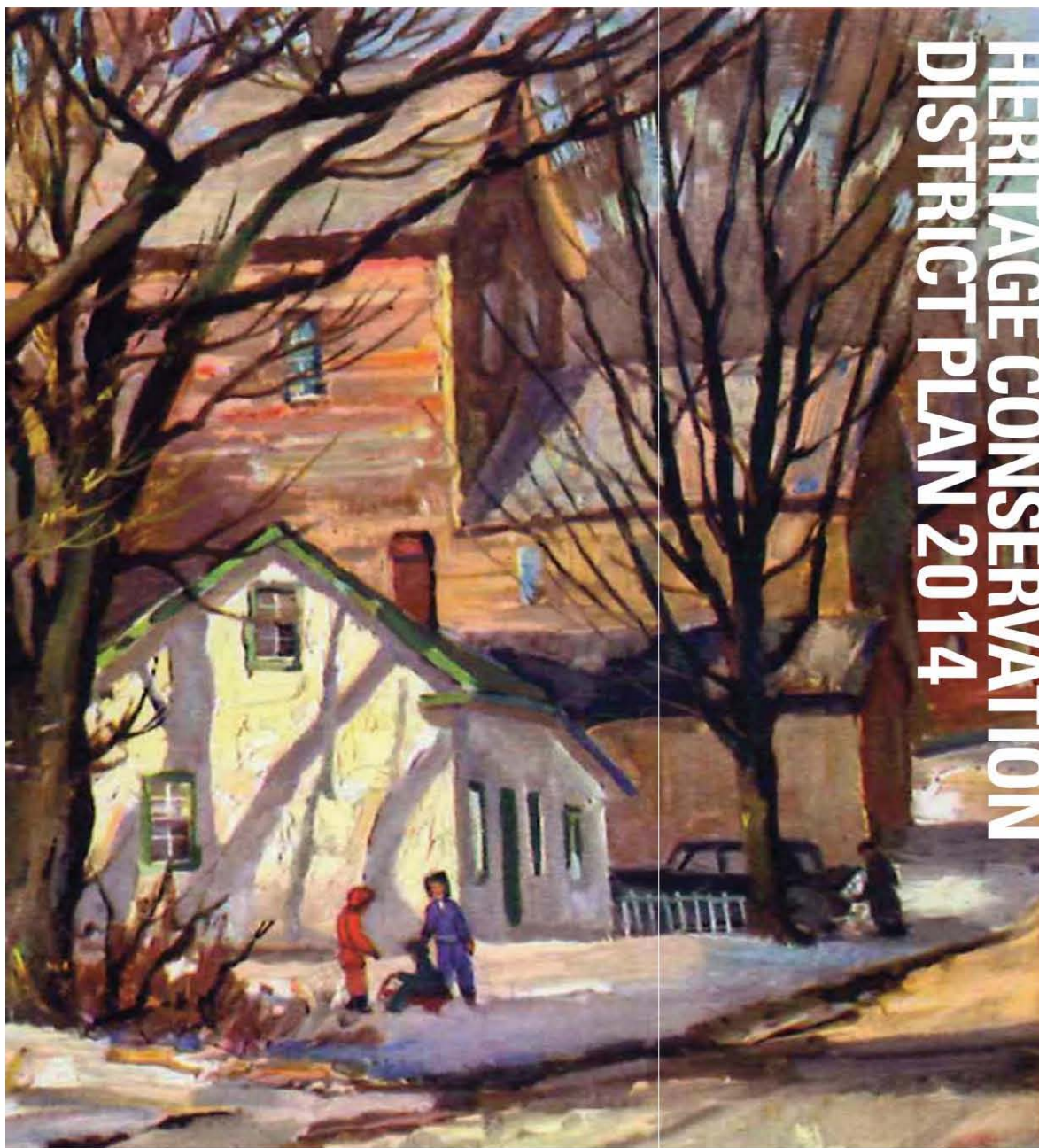


1125 and 1147 Willow Lane with the mill tail race in the foreground, c. 1900. (PAMA)



The Prebble bridge over the mill tail race in front of #1155 Willow Lane, c. 1950. (PAMA)

HERITAGE CONSERVATION DISTRICT PLAN 2014



MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT PLAN, 2014:
CULTURAL HERITAGE ASSESSMENT OF MEADOWVALE VILLAGE AND AREA,
SCHEDULE C



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C

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Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C

Introduction

Meadowvale Village Heritage Conservation District (HCD) was established through the concern of its residents to protect the village's historic character and rural-like quality of life. Beginning in the late 1960s the local residents foresaw that urban development would one day threaten their small village which had endured for 150 years. By the late 1970s, the City of Mississauga was on its way to becoming a major Canadian city and the residents of Meadowvale pursued protection of the village through the Ontario Heritage Act, 1974. The village had always been known as Meadowvale, but after the development of the Meadowvale residential and corporate community of the 1970s, the residents adopted the name *Meadowvale Village*, to distinguish it from the modern Meadowvale community to the west.

On November 27, 1980, Meadowvale Village became Ontario's first adopted heritage conservation district under city By-law 453-80. As this was the province's first heritage conservation district, the HCD Plan was written without the benefit of having a precedent model to influence its development. However, the Meadowvale Village Heritage Conservation District Plan went on to become the model for other HCD Plans in the 1980s and has served the Village well for many years. In 2005 there were significant amendments to the Ontario Heritage Act and, as a result, the 1980 HCD Plan no longer meets the standards of heritage conservation and lacks the necessary tools to be effective.

The purpose of this report is to document the background research and data which was not completed prior to the 1980 HCD Plan. This background report provides the prehistoric and historic research on the Village in general, its phases through time from early native occupation, the 1819 first settlement, through to the present. This report provides a history and description of each property within the Village as well as the statement of cultural heritage value and consideration of its natural heritage. The history and development of the HCD since 1980 has been documented only in the recording of physical changes to property. A history of development and social change within the Village since 1980 has not been included in this report.

Most importantly this report provides insight into how and why the Village developed the way it did. There are numerous heritage resources within the Village which have never been known until the completion of this report. The Village has a definitive physical character and a rich history documented by current research which reinforces why it should continue to be protected as a heritage conservation district.



Heritage Conservation District Plan

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A Living History Document

As with any other document based on historical research and analysis, this report should not be considered a “completed heritage” document. Rather, it should be considered as a “living heritage” document which will continue to grow and expand into a deeper understanding of the Village as new stories and information are uncovered in the future.

According to the UNESCO 2003 *Convention for the Safeguarding of the Intangible Cultural Heritage*, the intangible cultural heritage, or living heritage, is the mainspring of humanity's cultural heritage and diversity. It is defined by the following statement:

“Intangible Cultural Heritage means the practices, representations, expressions, knowledge, skills – as well as the instruments, objects, artifacts and cultural spaces associated therewith – that communities, groups and, in some cases, individuals recognize as part of their cultural heritage. This intangible cultural heritage, transmitted from generation to generation, is constantly recreated by communities and groups in response to their environment, their interaction with nature and their history, and provides them with a sense of identity and continuity, thus promoting respect for cultural diversity and human creativity.”

Continued research will provide new trends in understanding how the development of Meadowvale contributed to the development of the City of Mississauga as a whole. Future insights, which may be uncovered in the future, will also permit the development of new planning initiatives that will drive forward the protection and conservation of identified cultural heritage attributes that have gone previously unnoticed or are at risk throughout the City of Mississauga. By doing so, Mississauga will be able to manage its cultural heritage features and heritage conservation districts well into the twenty-first century and beyond.



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Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:

Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C

Statement of cultural heritage value or interest

The Meadowvale Village Heritage Conservation District is characterized and defined by its inherent heritage value, size, shape, and form adjacent to the Credit River at the intersection of two roadways, Old Derry Road and Second Line West. The relationship of the historic village to the Credit River has not altered since its founding in the early nineteenth century. The village plan with lotting and road pattern has been retained since the 1856 Bristow Survey. The grid road pattern, aligning with the early established concession road and the inter-relationship of the lotting pattern as it relates to the topography, the river valley and ridge, is distinct within Mississauga. The village is situated in the low river valley, bordered to the south and east by a shallow ridge that establishes the table lands above the floodplain. The location of the Village, adjacent to the Credit River, illustrates the dependency of the early settlers on the river for its resources of water, travel and natural open space of a meadow and vale. These same conditions are not found elsewhere in Mississauga. Native populations, prior to pre-contact with European settlement, inhabited the area for over 10,000 years. The village's property plan, street pattern and physical layout have changed very little, although the once rural village is now within an urban context of the larger City of Mississauga.

The original Meadowvale Village Heritage Conservation District Plan from 1980 is under review. This comprehensive review proposes a boundary study area enlarged from the original 1980 HCD Plan to include the Meadowvale Conservation Park to the west and Old Ridge Park to the south, both of which are significant to the development of the village. Entry points to the Village from all directions will also be considered in this review to ensure that the transition to the historic village is conserved.

The Meadowvale Village HCD has maintained a pedestrian friendly scale, with the exception of Old Derry Road, whereby streets have a rural community lane-like appearance with soft shoulders, mature street trees, varied building set-backs and consistency of building size. What was once a commercial core, along Old Derry Road supporting a mill-based village has now become mostly residential with a few reminiscent commercial buildings, creating a quieter version of an earlier era. The narrow side streets retain an open character with views and vistas both to and from residential properties, void of privacy fencing, united by large open yards of green space and mature trees. In general, there are modest design and scale homes set on larger lots within a soft naturalized landscape. Historic photographs indicate that much of the vegetation in the area was cleared in the mid to late nineteenth century. The Village and immediate area were farmed for both wood products (sawmill production) and mixed agrarian farming. Today's public lands have become naturalized with a good deal of random mature



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tree growth of both native and invasive species. Private, residential lots also retain many mature trees and open space that provide a generous spacing around buildings and frame residential lots. The character of the Village is defined by the narrow roads, mature trees, open space and lack of density in building form. Some of the traditional late nineteenth century landscaping, including simple picket fences have begun to be reintroduced. The variety of lot size, changed very little since the mid nineteenth century, and generally smaller structures on large lots has been protected and conserved by the Village's heritage conservation district status since 1980. Low volume lot coverage and retention of mature trees are significant characteristics to be conserved. The positioning of varied modest size structures on the lot, which vary throughout the Village, is a characteristic of this rural community development over time as opposed to a more urban, standardized and conventional setback. The varied setbacks, providing wide-ranging open space and streetscapes, are an important aspect of the Village character.

Archaeological resources are a significant element of the cultural heritage resources within and around the village. There is a high potential for pre-contact archaeological resources and known historical resources within the village. The extant mill ruins, mill race and tail race, remnant mill pond, and other archaeological references, are to be conserved.

Entry points into the village from the west and north have maintained a rural character. To the west there are farmlands on the south side of Old Derry Road, open green space to the north, the metal c. 1948 Pratt (Parker, "camelback") truss design bridge over the Credit River, all contributing to the agricultural past that surrounded the village for over a century. To the north, along Second Line West, the west side of the road retains a natural environment, reminiscent of the rural past, conserved within the Meadowvale Conservation Area. The late subdivision homes, of differing scale and form on the east side of Second Line West are mostly positioned high on the table lands above, retaining a naturalized road right-of-way at the street level, enhancing the former rural character.



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Description of heritage attributes

- a significant location, adjacent to the Credit River, in a cultural heritage landscape of integrated natural and cultural heritage elements within the river's low floodplain to the gentle sloping ridge
- an ecological feature and tradition of a floodplain meadow on the Credit River that has existed for hundreds of years
- a land pattern that retains the layout and plan of generous lots and pedestrian oriented and narrow roadways since the 1856 Bristow Survey spatial organization of narrow soft landscaped streets with no shoulder, mature trees in a random pattern and a visual relationship that blends from public to private space among front and side yards void of privacy fencing
- long term tradition of rural village-like streetscapes, without curbs with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting
- a consistency of building types, modest in architectural detail, vernacular style and size, reflecting the nineteenth century development of a milling village
- later 20th residential styles that are compatible with the district character from a scale, materiality and massing perspective;
- a common use of stacked plank construction with exterior stucco finish or wood siding, one-and-a-half storeys and limited use of brick
- structures of compatible size, shape, form and style, many of which are modest historical residences, contribute to the overall character of the village
- visual identity of rural character roadway entry points to the village from the west on Old Derry Road and from the north along Second Line West, and the open green space of Old Ridge Park to the south
- individual properties of particular character and significance are identified in "The Meadowvale Village Heritage Conservation District Plan Review List of Properties".
- archaeological resources, including, but not limited to, the extant mill ruins, mill race and tail race at Willow Lane and Old Derry Road and remnant mill pond



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Archaeological Resources

The City of Mississauga contracted the services of an archaeological consultant to complete a Stage 1 Archaeological Background Study in the summer of 2012. A comprehensive archaeological review of the Meadowvale Village area has never been conducted before now on the Meadowvale Village HCD review study area. It is suspected that the area has a high potential for archaeological resources based on the physiological nature of the Credit River valley, associated landforms and the knowledge of local history. This assumption has been substantiated by the archaeological report.

There are no registered archaeological sites within the current or proposed HCD boundary. However, within close proximity there are 36 registered archaeological sites that vary from early Aboriginal sites to much later Euro-Canadian sites. This wide range of archaeological activity substantiates the assumption that people have lived in the area for thousands of years.

The pre-contact period of Aboriginal occupation of the Meadowvale area dates back to what is known as the Archaic period, a wide range from the Early Archaic of 10,000 years ago, to the Late Archaic of 2,800 years ago. There is little evidence of occupation during this time, but a few finds not far outside of Meadowvale do account for some presence by Aboriginals who lead a very mobile hunting and gathering subsistence. The Woodland period which follows the Archaic saw more of a presence of Iroquoian tradition (c. 1000 AD to 1650 AD) in this area. The Woodland period sees the introduction of pottery along with some agriculture and therefore a slightly more settled population. The appearance of Late Woodland cultures utilized the river for fishing and floodplains for farming within a matrilineal society of densely populated longhouse villages.

Following the Late Woodland is the beginning of the contact or historic period whereby European explorers and traders had initial contact and influence on the Aboriginals. It is generally accepted that about 1650 A.D. begins the historic period for this area. It is also about this time that the Mississauga moved into this area from the north, after the land had been vacated by the Iroquoian tradition. Trade among Aboriginal groups and European (mostly French) traders quickly spread the use of metals and new tool technologies.

The British defeated the French in 1760 which resulted in the Royal Proclamation of 1763, which established a procedure for land acquisition for European settlement from the Aboriginals. By this date this area was established by the Mississauga nation. Only the Crown, or British government, could acquire lands which were then redistributed to settlers.



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The first lands to be surrendered by the Mississauga were the Niagara Purchase of 1781. This purchase was for lands west of the Niagara River. In 1805, another agreement was made known as the Mississauga Purchase, or Treaty 13a, which deeded land south of what today is Eglinton Avenue to the Crown and the Mississauga retained lands one mile on either side of the Credit River. The land acquired by the Crown under this agreement was known as the Old Survey. In 1818, Treaty 19 was negotiated whereby the lands north of the Old Survey, or what became known as the New Survey, deeded land to the Crown and thereby opened the area for settlement. Lots and concessions were created in a traditional grid pattern. The concessions were numbered from Hurontario Street as a centre line, and lots were numbered south to north. James Beatty was one of the first to settle in the New Survey, arriving in what would become Meadowvale in 1819.

The development of Meadowvale from the early 1800s to the present has been fairly well documented. We know from research that many of the nineteenth century industrial and commercial developments have been removed. Much of the residential character of Meadowvale has remained, but its businesses have disappeared and become below grade archaeological resources. Very high potential for archaeological remains of the mill sites, which include the grist mill, saw mills, oat mill, stave mill, mill races and other features do exist due to the minor amount of disturbance on what are the CVC lands. The conclusion from the Stage 1 archaeological investigation was the Meadowvale Village HCD and proposed boundary area continues to hold high potential for both Aboriginal and Euro-Canadian archaeological resources. It is, therefore, important to keep in mind that any future development within the study area be further investigated to ensure that archaeological resources are not destroyed.



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The Early Loyalist Settlers of Meadowvale Village

Meadowvale Village owes its existence to a few hearty souls who arrived in the spring of 1819 to carve a new life for themselves out of the pine forests which once existed on either side of Old Derry Road. What makes the Village particularly exceptional historically is that it is one of the earliest pre-Confederation communities still retaining much of its cultural and natural heritage in Ontario. Because of this, Meadowvale Village has maintained a distinct historical character which makes it a significant cultural asset within the modern urban landscape.

In terms of the early settlers, there are three pioneers in particular who have helped shape the history and development of Meadowvale Village. They are John Beatty, James Crawford and John Simpson. The first of these pioneers to arrive was John Beatty.

In early 1819, a group of twenty-nine Irish families from New York City had grown disillusioned with the anti-British sentiment still prevalent in the United States after the 1776 War of Independence. The anti-British sentiment worsened still after the War of 1812. These early settlers also felt they were facing religious persecution for their Wesleyan Methodist beliefs, which were not popular under Republican Americanism. These twenty-nine families were like many other United Empire Loyalists who decided to leave the United States to come to Upper Canada where the British Crown Council offered these Loyalists free grants of land to relocate. Beatty's group of Loyalists packed up everything they had into their wagons and headed north to remain under British rule.

The twenty-nine families entered Upper Canada through the Niagara Peninsula and they followed the shoreline to York (later Toronto) where they investigated possible tracks of land to



settle upon. While camping along the shores of Lake Ontario at what is now Port Credit, the group split into two parties. One group, led by Thomas Graham, decided to remain in the Port Credit area. The other half went northwest with John Beatty to settle in Meadowvale. John Beatty was born in Ireland and arrived in Meadowvale in April 1819 with his wife Sarah Sproule and their six children: John Jr., James, Joseph, Elizabeth, Margaret and Mary. Also part of this group were Beatty's brothers David and James, plus 14 other United Empire Loyalist families. Each settler was awarded between

Photo of John Beatty c. 1860 (PAMA)

100 and 200 acres of land. However, they would not be deeded the grant by Crown Council until they had cleared at least twenty acres and built a house. On April 22, 1819, Beatty



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petitioned the Crown Council for a land grant. He was awarded 200 acres on Lot 11 of Concession 3 in 1821 after passing more than the minimum requirements for his land grant.

Only John Beatty and his brothers James and David, plus William Wheeler and Joseph Carter were awarded 200 acres by the Crown as they cleared nearly forty acres of land. The rest of the settlers received their land grants for only 100 acres.

When the settlers arrived, they found the landscape covered in densely thick forests of white pine with soft grass meadows near the vale along the Credit River. The settlers agreed that the soft meadows were what attracted them to the area. The settlers hoped that once the land could be cleared of the pine forests, the land along the river could be converted into fertile farm fields. The settlers decided upon the name of Meadowvale for their new settlement because of the grassy meadows near the river.

By 1835, John Beatty had amassed over 1550 acres in Toronto Township and a further 400 acres in Albion. He became a fairly wealthy man by selling off portions of his lands over the years to enable him to live a comfortable life and pursue his true calling as a Methodist preacher. This comfortable life led others to view him as a gentleman farmer and he was highly regarded as being both an intellectual and spiritual leader of the new community of Meadowvale.



John Beatty was a staunch Wesleyan Methodist and his property, located at the present 1125 Willow Lane, became the centre of influence for religious ceremonies in the area as early as 1820. In 1821, the first recorded quarterly Methodist meeting was held in his home on Willow Lane.

Location of Meadowvale's first residence constructed in 1819. (May, 2012)

Over 100 people attended that meeting from as far away as the Streetsville area and Brampton. Beatty quickly became regarded as a competent orator and enthusiastic preacher. By 1827, his reputation had reached the town of York to which he travelled once a month to give free sermons to Methodists citizens there.



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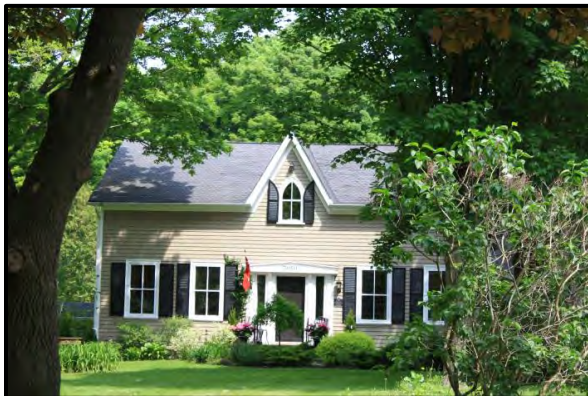
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In 1830, Beatty was appointed preacher to the Bay of Quinte District, but was removed from that post a year later because of canvassing outside the District. Also in 1830, Beatty was appointed by the Canada Conference of the Wesleyan Methodist Church to head a committee struck to find a new location for their proposed Upper Canada Academy in Cobourg, Ontario. This was the first British Charter to a Non-Conformist body of any educational institution anywhere in the British Empire. This was also the first time that the Church was legally recognised as the Wesleyan Methodist Church.

In 1832, Beatty decided to abandon farming as a full time occupation when he was offered the stewardship post of the Upper Canada Academy. Beatty left Meadowvale Village and settled permanently at Cobourg for the remainder of his life. Beatty died there in 1864 while his second wife, Rebecca Brooke, who was the Academy's head mistress, died in 1887 at the age of 105.

Before Beatty left Meadowvale permanently, he sold his original 200 acre land grant to James Crawford in 1833. Crawford is believed to have built the Neo-Classical addition on the front of the Willow Lane property. Crawford built the first sawmill in the Meadowvale area and attempted to dam the Credit River to build sufficient water reserves to run the mill. Unfortunately, the dam did not work and Crawford's mill was a failure. In the meantime, it is generally believed that Crawford built the house which would later be known as the Silverthorn House located at what is now 7050 Old Mill Lane in 1844. It is generally described as the oldest frame house in Meadowvale. At the time, the house was oriented toward Old Mill Lane and Crawford built it as his permanent residence near to where his mill would have been located. There is no record of Crawford in Meadowvale after this, so it is believed that he left the area in

about 1845 after he could not make his saw mill a success.



House constructed by James Crawford in 1844 (May, 2012)



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The next pioneer in Meadowvale who made a significant impact on the development of Meadowvale was John Simpson. He is generally credited as being the first successful owner of an industry in the region and he became the catalyst for further industry, particularly milling, in Meadowvale. According to the Perkins-Bull Collection and the Tweedsmuir Histories, Simpson is considered the founding father of Meadowvale because he built the first successful saw mill and carding mill, which led to further milling in the region.

Simpson was born in Kirkbymoorside, North Yorkshire in 1804 and immigrated with his wife, Mary Sigsworth, and young family to Upper Canada in 1836. They came by sailing ship, where Simpson's daughter, Hannah Simpson Reeve, later recalled that Mary Simpson was ill the entire voyage. They brought with them three horses, four cattle, six sheep, several fowl, two dogs and several trunks full of possessions. They arrived in York (now Toronto) where Simpson's brother George met the family. Although Simpson acquired 300 acres of land in Meadowvale in 1836, the Simpsons stayed the winter months in Whitchurch, Ontario where they provided food to soldiers fighting in the Rebellion of 1837, but did not participate in the fighting themselves. Later in 1837, the Simpsons took up residence on their 300 acres along the south side of the present day Old Derry Road from Second Line West down to Creditview Road. They settled on the Credit River at what is now 1200 Old Derry Road and called their farm "Credit Grange". Here, John and Mary Simpson cleared forty acres of land and built a log cabin where they



continued to reside until they built a grand brick house in 1860. This brick house, referred to by many now as the Simpson-Humphries House, was designated in 1983 under the Ontario Heritage Act as a property of cultural heritage significance in Mississauga.

In 1838, Simpson built the first successful sawmill in

The Bell Hotel constructed between 1837 and 1850 (May, 2012)

Meadowvale as he was able to better utilise the Credit River over Crawford. Simpson began to cut down large amounts of pine forest and sold the raw logs to the British Admiralty for ship



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masts. White pine was the preferred choice of wood for ships masts because of their lightness and durability especially for power ships such as frigates and schooners. Simpson's sawmill also did a great business and many Meadowvale pioneers would have come to him between 1838 and 1840 to purchase lumber boards to construct the earliest stacked plank on plank houses in the area.



Simpson also operated a carding mill where residents would drop off their wool bundles to be carded into wool threads. This venture, however, did not last long as sheep farming did not develop into a major industry in the Meadowvale area. Sheep farmers based in Caledon tended to take their wool to Georgetown, then to Streetsville's Barbertown

Methodist Church built 1862 (May, 2012) Mill in the 1840s so, presumably, Simpson couldn't compete and found saw milling a much more profitable business.

Because of Simpson's success in starting up a thriving milling industry, seasonal mill workers in search of employment began to enter Meadowvale. These workers needed a place to stay



while they worked at the sawmill and Simpson leased some of his land to William Bellas, including the parcel of land at what is now 1090 Old Derry Road.

According to Land Registry records on this property, Simpson leased the land with a Leasable Resource, meaning there was something of high value on the property. It was leased for \$650, a

House built for Thomas and Mary Jane Graham in 1862 (May 2012)

large sum of money in 1837. The building that sits on this property is the Bell Hotel, believed to have been constructed for George Bell in 1844. However, Land Registry records state that Bell did not acquire this property until 1856. Further in-depth research may conclude that it might



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have been Simpson who constructed this hotel to house the workers coming to his saw and carding mills as the house does display some 1830s Georgian characteristics. Simpson may have leased it to William Bellas in 1837 under the agreement that Bellas would operate the hotel, thus relieving Simpson to allow him to focus on his mill

operations. Knowing that Simpson was a shrewd businessman who sought any opportunity to make money, it is quite feasible that Simpson built the hotel as another business venture.

Unlike Beatty, John Simpson was born a Quaker. But he became a fervent Wesleyan Methodist as a young man and shared many of Beatty's beliefs. Simpson donated land in 1860 to the local Methodist congregation to construct the current United Church located at 1010 Old Derry Road. Simpson, apparently, did not seem as keen on education as he was on religion. He sold the land behind the Church, located at what is now 6970 Second Line West, to the School Trustees in 1871 for \$200, a staggering amount of money for a small piece of vacant land at that time. Simpson also gave land away to his daughter, Mary Jane, upon her engagement to Meadowvale resident Thomas Graham in 1861. Thomas Graham's father, Joseph, then built them an impressive brick house for their wedding gift in 1862. This property still exists and is located at 1020 Old Derry Road. As for John Simpson, he tragically drowned in his mill pond at the age of 75 on December 14, 1878. His death marked the end of the pioneer link to Meadowvale's humble beginnings.

The development of Meadowvale Village as a thriving mill town in nineteenth century Toronto Township can be traced back to the hard-working, pioneering spirit of these three earliest families to the area. Without their hard work and dedication, subsequent Meadowvale families such as the Silverthorns, Gooderhams, Cheynes, Switzers, Trevorrows, Sibbalds and Lambes may have carved out their paths much differently.



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The Milling History of Meadowvale Village: 1833-1954



Meadowvale Mill, c. 1910 (PAMA)

The history of milling in Meadowvale Village is a long and varied one spanning over 120 years. Saw and grist mills were the dominant industries which sprung up along water courses all across Ontario in the nineteenth century. Meadowvale Village was no exception.

The very first industry in Meadowvale was farming. Each pioneer family was given between 100 and 200 acres by the Crown as a land grant, where they were required to clear at least twenty acres and build a homestead. Many of these earlier pioneers who arrived in 1819, with John Beatty, did not stay more than a decade before they uprooted and moved to more prosperous locations such as York or Durham counties. The few hearty souls who stayed and made a subsistence living at farming found other ways to work the land to their advantage. Some of those families who stayed still have descendants today in the regions outside the Village such as the Neelands, Whaleys and McCrackens.

James Crawford bought out Beatty's land claim in 1833 and was determined to find a way to sufficiently dam the Credit River to create a strong supply of water to run a sawmill. The dense pine forests were in great demand for both ship and canal building across Ontario and Crawford wanted to take advantage of this profitable resource. It is believed he built his sawmill on the



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banks of the Credit River on the north side of the present Old Derry Road iron bridge. However, this location proved insufficient to provide the necessary water supply to make the sawmill function. Crawford abandoned his idea and went back to farming and cutting down the pine trees on his land by hand to sell these raw logs to regional lumber merchants.

In 1836, John Simpson arrived in southern Ontario from Yorkshire, England and bought 300 acres of land on what is now the south side of Old Derry Road from Second Line West to Creditview Road. In 1837, Simpson succeeded in damming the Credit River sufficiently to operate Meadowvale's first commercial saw mill. Simpson built it on Lot 10, Concession 3, which Simpson owned all of. Therefore, we do not know the precise site of Simpson's saw mill, but two locations have been speculated by various historical accounts over the last century. One site is believed to have been located approximately where the current property of Old Ridge Park is located behind the properties on the south side of Old Derry Road near the Credit River. The second site was on his homestead at what is now 1200 Old Derry Road. This is the more probable location as the 1877 Peel Atlas clearly indicates a mill just south of the main house location. It has been documented in Perkins-Bull that Simpson's mill race was fourteen feet wide and crossed over 200 acres, all of which had been dug by hand by Simpson and several hired men. The Credit River was dammed to allow the water to flow into the mill race and mill pond on his property.



Lambe General Store, c.1900 (PAMA)

Simpson also operated a carding mill on his property at about the same time. There is no mention of this carding mill in any source after 1840, so it appears he ceased operations to focus on the saw mill. Simpson won several contracts to supply raw logs to the British Admiralty for ships masts as well as lumber sold by the board foot. Simpson became a wealthy lumber producer but his mill

burned down on November 19, 1874.

According to the Perkins-Bull Collection, Simpson lost everything, including the building, equipment, lumber and shingles. The estimated loss then was about \$5,000 or approximately \$100,000 in today's currency. Simpson was not insured for his loss. Simpson did rebuild as his son-in-law, Thomas Graham, took over the saw mill until about 1880. John Simpson tragically



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drowned in his own mill pond on December 14, 1878 at the age of 75. It is speculated that he was crossing the mill pond along a foot bridge where he accidentally lost his footing and fell into the mill pond.

He is buried, along with his wife and a couple of their children, at the Churchville cemetery. Simpson's death marked the end of the pioneer phase of Meadowvale's development. It is Simpson, and not John Beatty, who has been regarded by most historical sources as being the true founder of Meadowvale Village, for it was his efforts that brought new settlers to the area seeking work in his sawmill or as forestry workers to cut down the trees he processed.

There is a sidebar, however, to the John Simpson story. His adopted son, Albert Lambe had great success himself as a saw mill owner in Meadowvale. Albert Lambe was born Dennis Lambe in Chinguacousy in 1854. When his own parents died in 1860, Lambe, at the age of six, was adopted by John and Mary Simpson and renamed Albert Simpson Lambe.

Lambe probably learned many of his business skills from John Simpson and, because of this, became a multifaceted entrepreneur. Among his business ventures in the later half of the nineteenth century, Lambe operated a saw mill, the Lambe General Store and he purchased the Bell Hotel in 1890 where he reconfigured the interior to turn it into a rooming house rather than a short stay hotel. Although the grist mill was beginning to wane in the later years of the 19th century, Albert Lambe was doing quite well with his saw mill. One of his major contracts was to the T. Eaton Company, supplying thousands of board feet of lumber per month, presumably for Eaton's furniture business and kit home constructions.

Lambe's other claim to fame is that he was the Village's first car owner in 1905. He received the car in lieu of payment for lumber at his sawmill. He never drove the car and it mostly sat in the shed until his death when his son William acquired it. Despite never driving, he did survive a car crash in which his son was driving. The car, owned by William and the second car in the Village, was struck by a train on the tracks at the Meadowvale station in 1918. The only injury to Albert was a scratch on the face.

Lambe died on November 5, 1925, and had been blind for the last 12 years of his life. Upon his death, the sawmill was shut down as William was not interested in taking over and there were no immediate buyers for the mill. This brought an end to nearly a century of saw milling history in one Meadowvale family.

As lucrative as sawmilling was for one family in Meadowvale, the true lifeblood of the Village was the grist mill. Even though John Simpson was the founder of both Meadowvale and its overall milling industry, it was Francis Silverthorn who would transform milling in the region



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into a newly profitable and booming economy. Francis Silverthorn came to Meadowvale in about 1836, where his father Aaron owned about 100 acres including some lots in the present village. Francis purchased several parcels of land from James Crawford who decided to leave the area to find prosperity elsewhere after the failure of his saw mill. Silverthorn came from a family of entrepreneurs. His father Aaron was a mill co-owner in the Niagara region around the time of the War of 1812.



According to the Perkins-Bull Collection, the Silverthorns are counted as some of the very first United Empire Loyalists to arrive in Canada in 1786. Francis was born in Etobicoke in 1815. He decided to come to Meadowvale to follow in his father's footsteps as a mill owner. Silverthorn's first venture was to create a saw mill in 1840 along the banks of the Credit River in what is now the Credit Valley Conservation lands, just north of the old mill ruins site on Old Derry Road. This saw mill location can be seen on the 1856 Bristow Survey of Meadowvale. It is reported in the Perkins-Bull Collection that Silverthorn produced 10,000 board feet a day, which were eighteen feet long by three inches thick, and sold for \$4.50 a board. In some respects, Silverthorn gave John Simpson a run

Francis Silverthorn, c. 1890 (PAMA)

for his money as he landed the first contract to supply all the board lumber to create Peel County's first corduroy road. It stretched from Meadowvale to Port Credit along Hurontario Street and took approximately two years to complete.

Silverthorn, however, saw bigger and better opportunities to make use of the Credit River beyond the lumber business. As other towns and villages in the province were experiencing an up-surge in new grist mill constructions, Silverthorn felt there was enough previous success in damming the Credit River in Meadowvale to produce enough water power to support a grist mill. As part of the land he purchased from James Crawford in 1845, Silverthorn chose the present location of 1095 Old Derry Road (the current location of the post office box gazebo) as the site to build his grist mill the same year. James Crawford also sold part of his land grant that was left from the John Beatty era, to Aaron Silverthorn in 1847.

This first mill did not survive long and, to date, no documents or log books have been found concerning this first grist mill built by Silverthorn. The *Brampton Conservator* reports that the



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mill burned down shortly before midnight on November 21, 1849. Not to be deterred or defeated, Silverthorn sought help in rebuilding the mill. There is no mortgage registered on title for the mill property before 1852, so it is unclear if Silverthorn rebuilt the mill without a mortgage or if he had to wait until 1852 to rebuild. Regardless, the mill he constructed was a two storey wood frame building. Although many mills in Ontario were constructed of stone, Silverthorn chose wood as he had access to his own saw mill as well as that of John Simpson to supply the materials. The earliest known photograph taken of the mill is the silver nitrate coated tin plate below of the second Silverthorn Mill in about 1852. This is also the earliest known photo ever taken in Meadowvale.



Second Silverthorn Mill, c. 1852 (PAMA)

Silverthorn had success with this second mill in the early years following its construction. When Britain entered into the Crimean War in October 1853, Silverthorn saw his selling price for barrels of flour jump from \$1.50 per barrel to \$3.00 per barrel. Because of this rise in flour prices, Silverthorn began to stock pile his reserves in hopes that he'd continue to cash in even after the War would finally come to an end. However, the opposite of what Silverthorn had hoped for occurred.



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Something serious happened to Silverthorn's financial situation in the mid 1850s that has not been made clear in the historical records left behind. Silverthorn's first recorded mortgage on the mill property, and its associated land holdings, was a private mortgage held with John Wilmot on February 18, 1852. We do not know if this was to rebuild the mill or if Silverthorn was increasing his costs by adding more men and more shifts in order to produce as much flour as possible to stockpile to take advantage of a prolonged boom time during the Crimean War. On April 7, 1854, Silverthorn's father Aaron signed over the remaining land he owned in Meadowvale to Francis, likely as a means to increase his net worth because fourteen days later on April 21st, Francis got a private mortgage from William Gooderham. But the timing of this second mortgage could not have come at a worse time for Silverthorn.

In the spring of 1856, Francis Silverthorn contacted Arthur Bristow, a land surveyor based in Streetsville to discuss his desire to get the Village surveyed into town lots. Bristow came to survey the Village on July 1, 1856 and the Plan was registered as Tor-5 on July 21, 1856. Because of the relatively quick succession of his two mortgages, the stockpiling of flour and a war dragging on, Silverthorn had the Village formerly surveyed likely to sell off his lands to raise the capital needed to keep his business viable. Unfortunately for Silverthorn, when the War ended in 1856, the price of flour plummeted from \$2.50 a barrel to \$1.00 a barrel. It is not known exactly how many barrels worth Silverthorn had stockpiled. However, it was enough for him to incur even more financial difficulty by trying to unload the stockpile. Adding to this dilemma was the financial recession which swept Upper and Lower Canada at the time. Work was scarce for many and prices of other commodities such as lumber to build homes and coal to fuel fires became almost unaffordable to some larger businesses, which had a trickle down effect to the common person. Feeling the financial crunch again, Silverthorn attempted to increase his cash flow by consolidating his debts again with another mortgage through the Bank of Upper Canada on October 26, 1857. William Gooderham was named as part of a group of Bank Trustees who owned this mortgage. In a desperate bid to keep his head above water, he starting to sell off some of his lands in 1859. However, it was too little too late for Silverthorn. William Gooderham, a Director of the Bank of Upper Canada, called in Silverthorn's mortgage for the mill site in 1859, where the mill immediately transferred to James Gooderham on August 18 of that year. It has been generally believed in the past that Silverthorn lost his property directly to William Gooderham as a result of his mortgage being recalled in 1859. However, land registry titles for property owned by Silverthorn show that most of his property did not pass to Gooderham until 1865 after a series of other transfers to other people, including John Wilmot, who held Silverthorn's first mortgage. Further research should be conducted to determine why there was a succession of owners between Silverthorn and Gooderham.



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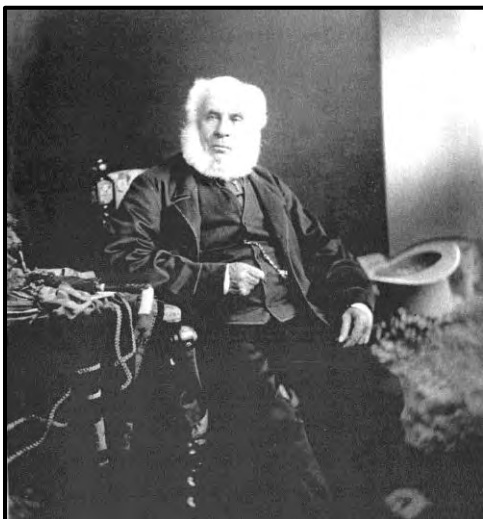
In the end, Silverthorn lost his mill to the Gooderham and Worts firm of Toronto and left the Village in 1860 for his family's property, Cherry Hill, near Etobicoke where he farmed quietly until his death in 1894.



William Gooderham was the family patriarch of one of the largest, most successful businesses in the history of Toronto. He co-founded with his brother-in-law, James Worts, Gooderham and Worts in, 1832. Gooderham and Worts started out in the milling business along the Don River in York. Upon the suicide of James Worts in 1834, William Gooderham continued as

Gooderham Distillery, 1950. (Ontario Archives)

the soul proprietor of the business until he brought on James's son, James Gooderham Worts, as a partner in 1845. This was the time when Gooderham and Worts really expanded their efforts into the distilling business and



began plans to build a massive distillery on Toronto's waterfront. Construction on the distillery began in 1859 and was completed in 1861. Because of its location, the distillery was well connected to several rail lines. In the first year of production, in 1862, over 700,000 litres of spirits were produced. The facility peaked to just over two million litres of spirits in the 1880s, making it one of the most productive

distilleries in the world. It was also considered to be one of the top five employers in late nineteenth

William Gooderham c. 1875 (Ontario Archives)



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century Toronto, employing roughly 3,000 people. This number does not include seasonal workers or those who were hired by the company to work on the various wheat farms the Gooderhams owned to supply the distillery.

In 1859, when William Gooderham ended up acquiring the Silverthorn grist mill in

Meadowvale, he already had his hands full with the start of his distillery in Toronto. Because he could not be in two places at once, William sent his two younger sons, James and Charles Horace “Holly” to Meadowvale to look after his business interests. Lands Registry records show that it was James Gooderham who owned the grist mill in the beginning of the Gooderham years in Meadowvale and it was James who put many improvements into both the mill and the community in general. It was during the 1860s, under the Gooderhams, that Meadowvale experienced the biggest boom in its history.

It is believed that James Gooderham added the third storey to the mill as a ventilation floor and increased production to an output of 320 barrels of flour per day. James also built a couple of buildings associated with the mill. One was a mill office, located directly at the rear of the mill, between the building and the end of the mill pond as it entered the mill. This office was later relocated across the street approximately in the 1920s to what is now 7017 Old Mill Lane. The



THE OLD GOODERHAM & WORTS STORE

This typical “General Store” in Meadowvale in the early boom days did a thriving business.

second building, originally constructed by Francis Silverthorn was a general store, believed to have been located on the land in between the current properties of 1051 and 1059 Old Derry Road. This store was expanded to directly compete with James Ward’s general store that was already in the Village. It was a very substantial business that employed twenty people who included local residents such

Gooderham Store, c. 1885. (PAMA)

as Elizabeth Trevorror as the dressmaker. She alone had six assistants who worked as a men’s tailor, milliner, wedding dress maker, shoemaker, and two alteration experts. The other departments in this store included a grocery section that supplied a full range of fine products from imported pickles and condiments and canned goods; fresh produce supplied by local



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farmers; a cod fish display out on the veranda, a paints and hardware section; home decorations such as curtain materials and light furniture; salt and lantern oil sheds out back and a general and varied supply of candles and oil lanterns. This store was so extensive in its products, it had customers from as far away as Streetsville and Brampton. Sadly, we do not have any historic photographs of the store except for the lithograph above, which was produced sometime in the 1880s for an unknown source.

When the Gooderhams left Meadowvale, the store was sold to Charles Switzer who continued to run it for several years before selling it to J. H. Whitlam in 1890. The store eventually burned down in 1907, ending one of the last links to the Gooderham years in the Village.

James also served as the village postmaster in 1862 until his father decided he needed another family assignment. When James Gooderham left Meadowvale in 1865 to go to Streetsville to



look after his father's milling and farm interests there, Charles Horace "Holly" took over from his brother. Holly was only eighteen when he and James arrived in 1860 and William decided that Meadowvale would be a good place for young Holly to learn about milling and farming operations. However, ownership of the mill and much of its associated properties, remained under the ownership of James and their father William until it was finally transferred to Holly in 1876. In many respects, it appears Holly was really a manager of the family's business interests for most of his time in the Village.

Charles Horace "Holly" Gooderham, c. 1880 (PAMA)

It is not known if Holly made any changes to the mill in addition to those his brother James had made. One change Holly did make to the Village was the construction of a "country home" in 1870 located at what is now a Montessori school at 929 Old Derry Road.



Holly would remain in Meadowvale until the early 1880s, so he wanted a home that would reflect his family's wealth as well as accommodate his own growing family. This home, known then by residents as the "Gooderham Mansion", was constructed in 1870 at a cost of \$30,000.

Gooderham Mansion c. 1900 (PAMA)



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Nothing is known of this home during Holly Gooderham's ownership. We do not know how many domestic staff served here, where in the house they may have lived, if there were vegetable gardens out back and no interior photos of the family or furnishings are known to exist. The Perkins-Bull Collection and the Tweedsmuir Histories are quite silent on Holly Gooderham, giving further suggestion that Holly simply was a manager in Meadowvale and, otherwise, lived a quiet life while living there.

The Perkins-Bull collection Holly Gooderham overseeing a private school, separate from the Village school, for his own children. These children were tutored by their nannies and the building was said to have been "on Gooderham Property". Whether this meant the school was on the Mansion property or elsewhere in the Village where the Gooderhams owned property, is not presently known.

When William Gooderham died in 1881, Holly Gooderham went back to Toronto to work in the distillery business. His brother James had, unfortunately, been killed in a train accident in 1879 on the Port Credit Railway, a railway he helped to financially back and was instrumental in getting a station built at Streetsville, not Meadowvale. Help was needed in Toronto to continue running the Gooderham and Worts business. Holly Gooderham sold off all his land holdings and left the village in 1882. The mill then transferred to Edward Wheeler of the Wheeler Brothers milling company from Stouffville, Ontario on March 1, 1882.

Little is known about the Wheeler brothers who purchased the mill, and its surrounding sixty acres of land from the Gooderhams. They owned mills in Georgetown, Erin, Toronto and Cheltenham which specialised more in livestock grist and products, other than flour, such as oatmeal, cornmeal and ground flax seeds for linseed oil production. Although the Wheeler brothers owned the mill until 1895, they did not prosper in terms of efficiency or output like the Gooderhams. In fact, the mill only operated sporadically in 1892 and stood completely silent from the winter of early 1893 until the spring of 1897. It was one of the lowest points in the economic history of Meadowvale.



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The mill found life again when Henry A. Brown bought it in 1895. He spent nearly eighteen months fixing up the mill by replacing worn boards, repairing the windows, refinishing the flooring, upgrading the existing small turbines and installing the first hydro powered turbine in the cellar. The mill started up operations again in 1897. By 1900, Brown had increased



production to about 280 barrels of flour a day, as farmers came from all over the area to bring their grain. The Perkins-Bull Collection describes farmer's wagons being lined up from the mill west along Old Derry Road to the other side of the Gooderham Mansion, waiting to unload their grain. Residents recalling those days in the Village said production and activity at the mill had not been at that level since the early days of the Gooderham ownership.

Henry Brown, c. 1893 (PAMA)

Henry Brown was a direct descendant of the pioneer Brown family who came to Toronto Township in 1822 and farmed the land along the present day Derry Road in north Mississauga. The Brown Homestead farmhouse, constructed in 1866, still exists and is located at 6970 Vicar Gate Drive. Henry Brown grew up at this house and knew Meadowvale well. Much like Francis Silverthorn who preceded him, Henry Brown had big visions for Meadowvale's future when he purchased the mill in 1895. However, Brown's vision went far beyond just the milling operations.

Brown envisioned a community that would become a tourist destination for hundreds of people each summer to what he would call Willow Lake Resort. It took Brown a few years of planning and in about 1906, he set his plan into motion.

The first part of his plan was to widen the mill pond and turn it into a lake. In order to accomplish this, Brown removed a number of larger trees outlining the mill pond. He next built a larger dam further north along the Credit River to allow water to flow into the region where the trees had been cut.



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Willow Lake c. 1910 (PAMA)

He then planted a few replacement willow trees around the perimeter of this new lake he called Willow Lake. According to the Tweedsmuir Histories and the Perkins-Bull Collection, Brown supposedly built cabins along Pond Street which faced the lake. It is not known on which side of Pond Street these cabins stood. It would appear likely that they stood on the water side of the street on land now owned by the CVC.

Brown also landscaped along the lake's edge to create picnic grounds and playing fields. He also converted the residence located at 7070 Pond Street, into a boat rental facility for visitors. The back of the property was outfitted with two large, barn like doors which would swing open to reveal the boat rental facility inside. Visitors could rent canoes, small rowboats and even two-seater paddle boats. The dock to the lake was attached to the back of the property so it was a short distance. The building was given the name "The Boathouse", a name which has survived to the present day. It is believed that this house, prior to 1907, was a semi detached residence for workers at the mill site.



In order to get visitors to Willow Lake and Meadowvale, Brown arranged for a horse and wagon to pick people up at the Meadowvale train station, located at the corner of Old Derry Road and Creditview Road. It is reported in the Brown Files at PAMA that several hundred people came out in the summers to take advantage of the lake resort.

Willow Lake Resort Promotional Flier, 1910 (PAMA)



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Brown also organised special events and posted fliers outlining events happening at the Willow Lake Resort throughout the year. Winter skating costume contests, special weekend picnics in the summer, craft bazaars, Church socials and children's parties were among the events Brown planned for Willow Lake. These fliers were posted as far away as Caledon and Toronto to attract urban residents to come and enjoy the quiet, rural setting that Meadowvale offered. Although Brown made the grist mill prosperous again, it seemed that Willow Lake Resort was his passion in life as he put a lot of time and effort into promoting it and growing the resort's popularity.



Another significant change Brown is said to have made is to the Silverthorn house at 7050 Old Mill Lane. Sometime between 1900 and 1910, Brown is alleged to have lifted the house and turned it to face its present orientation. The story told in the Tweedsmuir History is that Henry Brown's wife, Lillie, did not like the way the house was oriented to

face Old Mill Lane. She thought a view toward the mill would be more "aesthetically pleasing". Brown is said to have argued for the move in order to have a better view of the mill in case he was required to go down at any hour of the day or night. In preparation of this move, records survive showing that he removed three outbuildings that existed on the front lawns of the property dating back to Silverthorn's ownership of the property. These outbuildings included the piggery where the first Methodist camp meeting was held in 1848. The other two buildings were barns which not been used in several years prior to Brown taking ownership. The Brown family lived at 7050 Old Mill Lane for most of the year, but would live at either the Boathouse or in the small property that existed at 7143 Pond Street in the summer months while using their main residence as a vacation home for visiting family members and friends.

It would be interesting to see just how far Brown's plans for Meadowvale would have gone. But, unfortunately, Brown died suddenly, and very tragically, in March 1911. He and a young mill apprentice had gone out one early March morning to the Willow Lake flood gates to release them. Spring came very early in 1911 and the ice flows from the Credit River melted much more quickly than in previous years. Brown had already released one gate to allow water to drain slightly from Willow Lake through the mill's tail race. The next step was to release the flood gates at the north end of Willow Lake, to allow the lake to fill back up. Unfortunately, the force of the water rushing into Willow Lake was too powerful for either man to contain. Both



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men were swept into the lake and the force of the rushing water created such a strong down current that they both were sucked to the bottom and could not swim back to the surface. Eyewitness accounts from Perkins-Bull remember seeing the water gushing into the lake from the flood gates. But no one knew of the tragedy that befell Brown or his assistant. When Brown did not show up at an afternoon meeting at his mill, his wife Lillie was alerted. She said she had not seen him since he left the house to go to the flood gates.

A search party was rounded up and it was not long before both men's bodies were found. Brown was found partially submerged near the end of the mill race. His body had been tangled up in an ancient pine tree root. The ironic part of this story is several years before, Brown made a concerted effort to remove all the pine tree root stumps that had been dumped into the mill race several decades before by John Beatty and James Crawford. Brown had missed removing a couple of those root stumps. Citizens believed, at the time, that it was one of these stumps that Brown got ensnared in. Devastated and left on her own with a school aged daughter, Lillie Brown now had to decide what to do with the mill, the Willow Lake Resort, and the properties they owned in Meadowvale. The Peel Archives has a letter, written to Lillie Brown in October of 1911 by Henry's sister, Lucinda Brown, who was living in Los Angeles. It reads in part:

"Received a letter from Grace yesterday. I'm so glad for all your sakes that Margaret and Elizabeth are back and Gracie will not feel so terribly alone. You will feel it a comfort to know they are near and see them around.



I presume you are still busy trying to get things straightened up. I hope things are coming out pretty good for you. I hope a good buyer will come along for the mill, for of course you can do nothing with a property like that and it may be slow in selling.

Poor Lillie, what trouble and confusion you have been plunged into, but I do hope everything will come out all right. Oh, I do feel so sorry for you and Gracie, both of you so young to be left alone and how lonely at times you must feel. Life holds a mighty lot of sadness in its grip! And it seems to me you have had considerable already in your life – still it is not for us to question the dealings of Providence..."

Lucinda Brown in Los Angeles, c. 1905 (PAMA)



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It turns out that a buyer did come along for the mill. William Brett bought the mill, and its associated lands in October 1911. Lillie and Grace Brown left Meadowvale, once everything was sold, to take up residence in the Brown homestead on Derry Road (now Vicar Gate Drive). Willow Lake Resort ceased to exist and any dreams of further expansion of this enterprise, and others, died with Henry Brown on that March day in 1911.

Little is presently known about William Brett's tenure as mill owner even though he owned the mill for thirty-two years, which was the longest consecutive ownership of the mill throughout its history. He not reside long at 7050 Old Mill Lane which, since Francis Silverthorn's time, had been the mill owner's residence. Brett, instead, lived for a time in the Graham-Pearson House at 1020 Old Derry Road, because he was married Emily Pearson. Once Emily's brother took over the house, she and William chose to reside at the quiet and rural modest home that once stood at 7143 Pond Street. Brett, unlike Brown, did not want to see the mill at all hours of the day and night, so chose to live in a residence which sported no view of the mill site at all. Brett was active with the local Church and Fortnightly Club in Meadowvale and lived an otherwise quiet life in the Village. Although it has not been proven, it is believed that the mill office, built by James Gooderham, was relocated from the back of the mill to a property across the street on Old Mill Lane during Brett's ownership. The office structure is now the house located at 7017 Old Mill Lane.

Stanley Gorman was the next owner of the mill and did not have the mill long before it passed to Luther and Grace Emerson in the 1946. Grace Emerson, was Henry Brown's daughter and when she married Luther Emerson, they relocated to Meadowvale to take up ownership of the mill. However, the heyday of the mill was long over and it was slowly sliding into a perpetual state of disrepair and irregular use. It was in 1950 that the last barrel of flour was produced. The Emersons continued to own the mill, where it was used as a storage facility.

Although Willow Lake was eventually reduced down to a small mill pond size, and fell into disuse after the death of Henry Brown, the area which had once been the outer edges of the lake was now filled back in with meadows and small seedling trees. The Emersons decided to try to make use of the lands and tried to farm it by growing wheat. Unfortunately, this was not an easy venture and they abandoned their attempts by the late 1950s. In terms of the mill, it too came to a sad end.

In 1953, public concern began to arise over the safety of the mill buildings. The Women's Institute, founded in 1910 and compilers of the Tweedsmuir Histories for the Village, argued that the building was a fire hazard as it was being neglected. Because of the immense size of the structure, they argued a fire could potentially threaten the rest of the community by



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sending embers high into the air and landing on nearby houses. The structure was over a century old and its timbers were likely very dry and would burn hot. Toronto Township councillors weighed in their support for both the removal of the mill and also for its protection, saying it was a local landmark and a historic link to Meadowvale's development. Some argued for an adaptive reuse of the building such as a possible artists' studio/display area. In the end, Luther and Grace Emerson were ordered to have the structure demolished. According to Alan Emerson, son of Luther and Grace, his father was so angered by Council's decision that he demolished most of the structure by hand with a sledge-hammer and left all wood to rot in a pile where it fell. None of the equipment in the cellar was reportedly removed and is still believed to be there, including all the turbines. The only removals from the site were what people could physically carry away. Some residents came with trucks to load up the wood to use as either firewood or to construct outbuildings on their property. What was not removed eventually settled and was filled in over the years, creating the slight ridge that exists from the site of the gazebo down to the entrance to Willow Lane off Old Derry Road.

In addition to the forced removal of the grist mill, the Emersons lost their lands to the Credit Valley Conservation Authority in 1963, ending the last ownership lineage between the mill and the mill lot parcels, which had its foundations in Francis Silverthorn's time.

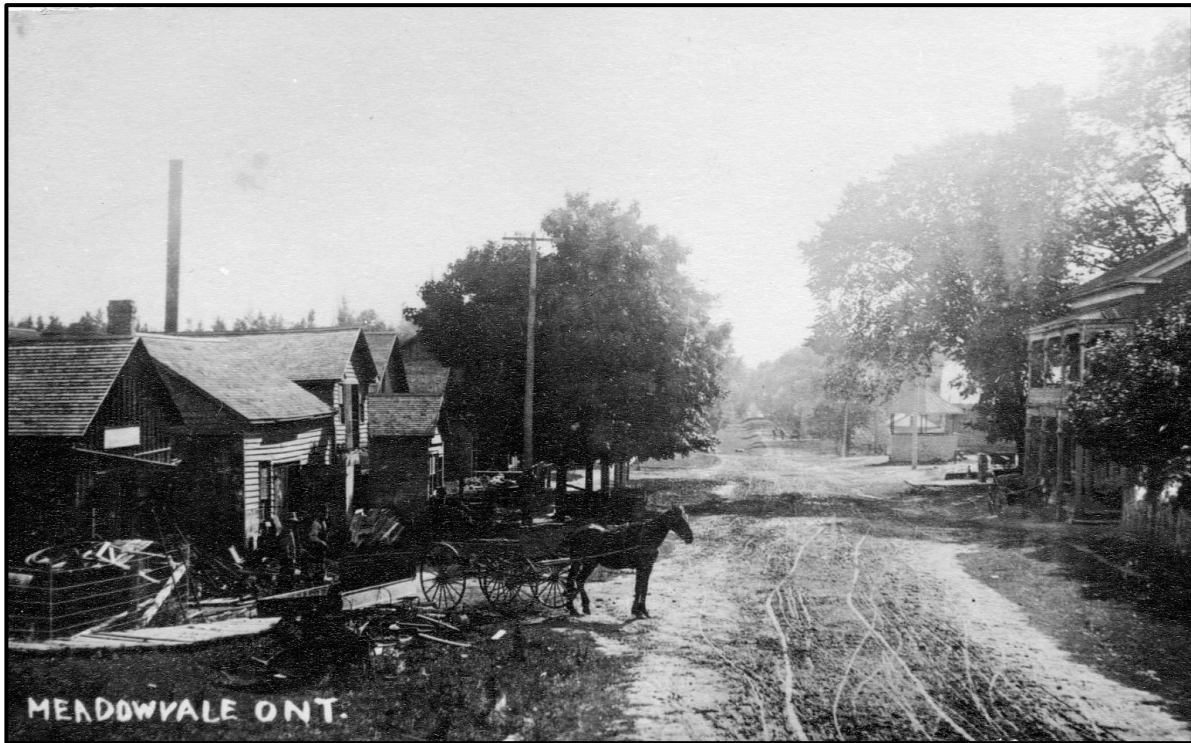
The Meadowvale grist mill, rebuilt by Francis Silverthorn in 1850, lasted for well over a century, employing hundreds of people and producing tens of thousands of barrels of flour. When the mill ceased operations for the last time in 1950, the last commercial link to the early development of the Village was lost. Meadowvale had stopped being a mill town. Meadowvale transitioned from a working community to a residential community which would continue to honour its milling past.



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Other Commercial History: 1840 – 1980



Meadowvale's Main Street, now Old Derry Road, c. 1890 (PAMA)

Although saw and grist mills were the lifeblood of Meadowvale Village's development, those industries created spin off businesses that became lucrative in their own right. From mercantile shops to coopers to blacksmiths, Meadowvale developed smaller commercial industries that grew with the community and serviced the needs of residents far and wide.

Past historical accounts have focused on Old Derry Road as being the so called "commercial" core of nineteenth and early twentieth century Meadowvale. However, research indicates that this was not the case. A great number of small factories, mills and blacksmith type shops operated along present day Willow Lane, which was called Water Street in the nineteenth century, and in other various locations throughout the Village. These early industries were crucial in the early development of the Village as they served as a foundation for the growth of other businesses that arose later in the century, such as the grist mill and general stores. Without these businesses, the ones that followed would not have developed in the way they had over time. Therefore, the extent of Meadowvale's commercial properties has been expanded from what was previously believed to have been the main commercial core of the Village.



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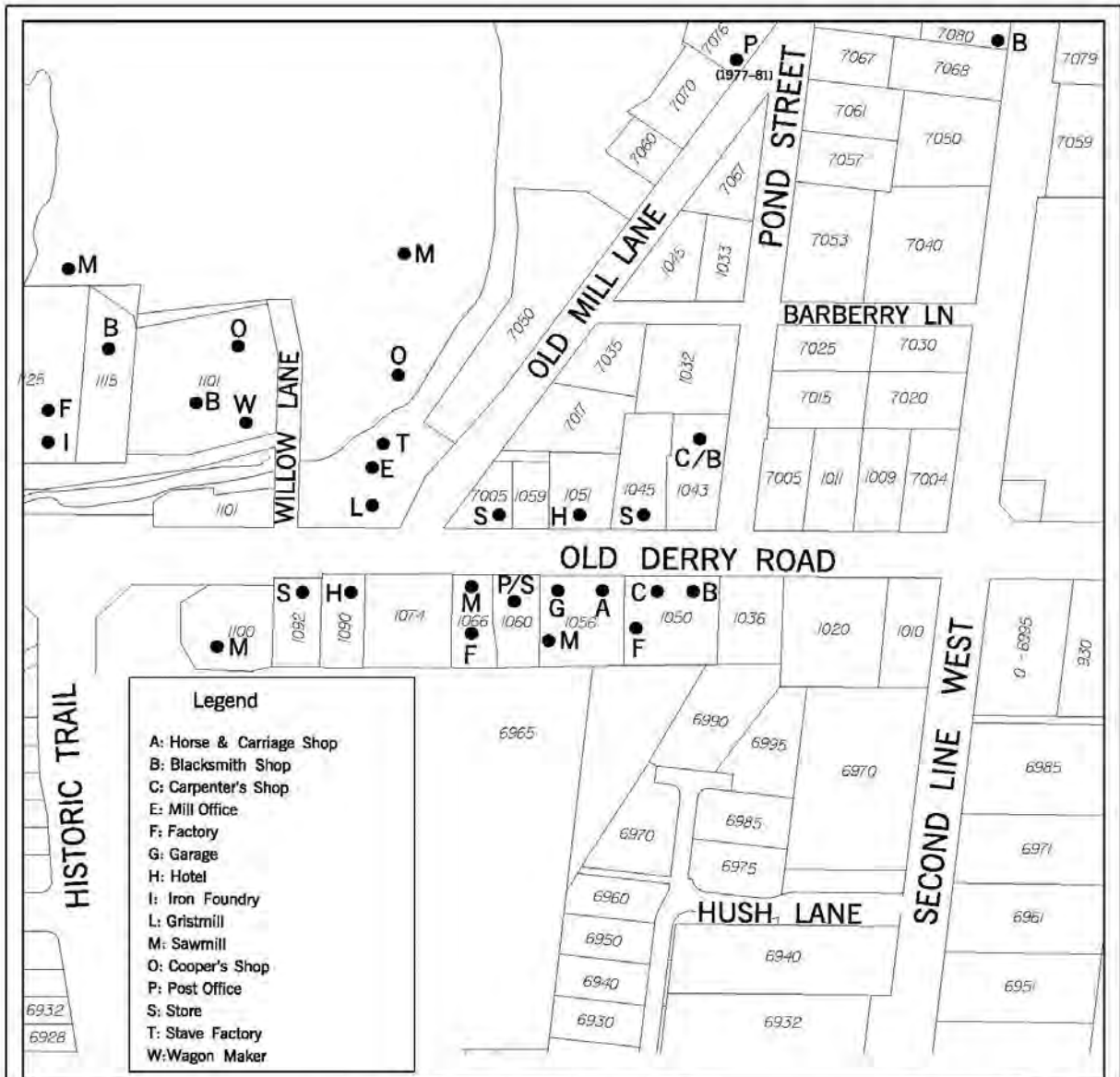
The following is a full scale map of Meadowvale businesses from 1836 – 1960 that have been identified through a number of sources, including the Tweedsmuir Histories, Perkins-Bull Collection, various family histories that have been written, interviews with current and past residents, Census reports and various business directories dating back to the mid nineteenth century.



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Meadowvale Commercial Properties: 1836 – 1960

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Some businesses were more prevalent than others because of the large volume of business conducted which everyone in the Village utilised. There would be the general stores, blacksmith and carpenter shops. There tended to be more than one of these establishments because of the volume of work conducted or services needed. Other businesses were specialised, like a wagon maker, and tended to be just one establishment for the Village. What follows is a general breakdown of common businesses, specialised businesses and their known or presumed locations in Meadowvale.

General Stores

During Meadowvale's boom years from 1860 to 1870, there were three general stores operating in the Village and all were doing very good business. According to the Tweedsmuir Histories, the Perkins-Bill Collection and Harry' Spiers' "Souvenir of the Village of Meadowvale-



THE OLD GOODERHAM & WORTS STORE
This typical "General Store" in Meadowvale in the early boom days did a thriving business.

on-the-Credit", the very first store was opened in 1847 by Jonathan Robinson. Although the location of this store is not precisely known, it is believed to have been located at 1045 Old Derry Road. This was not a true building but has been described more as a "stand" rather than a building one would enter. Robinson did not have this store

Gooderham General Store, c. 1885 (PAMA)

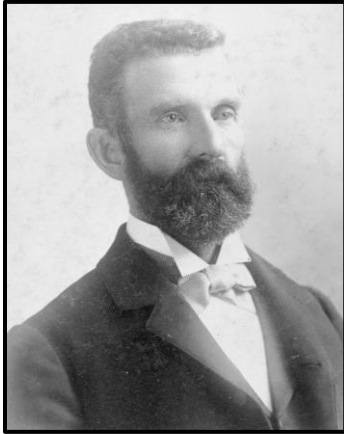
long. James Ward built a proper store building on this same site after dismantling the previous stand. Ward's store sold basic dry goods such as flour, sugar, coffee, tea, candles and other basic consumer goods. The store eventually passed to Matthew Laidlaw, who was the builder and first owner/operator of the Commercial Hotel located at 1051 Old Derry Road. Laidlaw's store burned down in approximately 1892 and Albert Simpson Lambe then bought the land and constructed, in 1893, the house that still stands there today. His house was directly across from the general store he had owned.

Perkins-Bull also notes that Silverthorn operated a grocery store directly across from the grist mill, but does not mention when that store began operation. It is generally thought that this is the store that James Gooderham expanded in 1861. Further research to determine where, and if, this Silverthorn grocery store existed would be of great benefit to understanding a portion of the early commercial history of the Village.



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By the time Gooderham and Worts assumed ownership of the grist mill after Francis Silverthorn's bankruptcy, there was a definite economic shift that brought boom times to the Village. James Gooderham built a new general store to compete with Ward's store directly to the east of him on Old Derry Road. This new store by Gooderham was the largest general store Meadowvale would ever experience. There were twenty employees including tailors, wedding dress makers, milliners, a post office clerk, fish mongers and grocery and produce clerks.

Charles Switzer, c. 1870 (PAMA)

The store was managed by Joseph Sutcliffe, who had worked for the Gooderhams for several years before as a clerk and book keeper in other locations. The only known photo of the Gooderham Store is the grainy lithograph above dating to about 1885.

When William Gooderham died in 1881, his son Holly sold up his father's interests in Meadowvale and left in 1882. The store continued on for a number of years with a succession of different owners, including Charles Switzer, who seems to have had the most success with the store. Unfortunately, the store burned down in 1907. The store's location was believed to be just east of the driveway at the present property, 1059 Old Derry Road. Charles Switzer was a well-connected Meadowvale resident who also served as the Village post master from 1882 to 1907, was a member of the Meadowvale Band and served for a time as a Justice of the Peace. Charles and his wife adopted Mary (Lambe) Switzer as an orphaned two year old in 1860. She was the sister of Albert Simpson Lambe, who was raised by John and Mary Simpson.

Albert Simpson Lambe also ran a store that was located on the opposite side of Old Derry Road. This was a small dry goods store which existed at the same time as Switzer's store, but was much smaller. Albert's son, William, continued on with the store, relocating it to 1060 Old Derry Road in 1921. The store closed at this location in the 1960s, ending over a century of general store businesses in the Village.

Blacksmith Shops

Regardless of the existence of saw and grist mills, every thriving community required at least one blacksmith shop. Blacksmiths provided basic farm equipment and supplies like horseshoes, bridle clamps, foot stirrups, carpentry and other hand tools all the way up to more decorative features such as iron gates, door knockers and boot scrapes.



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There were a number of blacksmith shop locations throughout the Village. There were, however, at least three well known places that had large forges which could serve the entire community. The rest were small shops that would essentially do personal work or work for nearby neighbours.

The first mention of a blacksmith in Meadowvale is from the *Brampton Observer* in 1909 and one note in the Perkins-Bull Collections was George Bell, the alleged builder of the Bell Hotel in 1844. However, Land Registry abstracts show that Bell did not own property in the Village until 1856. Beyond this, it is not known when exactly he arrived in Meadowvale or the location of his forge.

The first known location of a blacksmith shop in Meadowvale was located at 1125 Willow Lane in 1848. James Johnston was the blacksmith here. In 1852, business was doing so well that James went into partnership with his brother, Hugh, to create an iron foundry called Mammoth Works Foundry. According to Perkins-Bull, there was no other iron works foundry like it in Ontario. Here, the Johnston brothers made top quality farm implements such as reapers and ploughs, which were sold all over Ontario and down into the farming communities along the eastern seaboard of the United States. It is not known when the foundry ceased operation here, but it is known that Harold Stillman operated the Stillman Cheese Factory on this site from 1896 until his death in 1908.

The next location was along Old Derry Road, approximately where today's residence at 1050 is located. It is not known who was the first blacksmith in this location, but one known blacksmith was John Orr, which is mentioned in Harry Spier's "Souvenir of the Village of Meadowvale-on-the-Credit" from 1904. Spier also mentions that the blacksmith shop and foundry employed a number of people who lived in small, quickly built cottages along the north side of Old Derry Road and along both sides of Pond Street.

The third known location of a blacksmith shop was the site of the last blacksmith shop in the Village. This was owned and operated by Ernie Martin from 1937 until the 1960s at 7080 Second Line West. This is the only blacksmith shop that survives in the Village. Previous to this location, Ernie Martin is supposed to have rented out the cottage at 7005 Pond Street, where he used the former McKee carpenter shop as his temporary blacksmith shop before relocating to Second Line West in 1937.



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Other Businesses on Old Derry Road

There were a number of other small businesses on Old Derry Road from about 1850 to 1950.



These included a carriage maker, wagon wheel maker, lumber merchants and in 1908, Meadowvale was reported to have received its first bank. The *Brampton Conservator* reported in 1908 that the Merchants Bank of Canada had recently opened a branch in Meadowvale, Ontario which was open three half days a week, including Saturday mornings. However, there is no evidence in the land registry abstracts for the Village to substantiate this claim by the *Conservator*. The Merchants Bank merged with the Bank of Montreal in 1921.

William Trevorrow, c. 1890 (PAMA)

So records may exist in the Bank of Montreal archives to indicate whether the bank owned a property in Meadowvale. According to Village folk lore, the Merchant's Bank was located on the property of present day 1036 Old Derry Road. As no land registry records for this property indicate that a bank was here, it is possible that the bank operated out of another establishment. Further research might conclude whether a bank existed along the south side of Old Derry Road.



Other businesses in Meadowvale included the Gooderham and Worts cooperage shop, behind the main grist mill. James Gooderham had this shop built in 1862 to make barrels for the grist mill. This shop continued to operate after the Gooderhams left Meadowvale in the early 1180s. William Trevorrow took over the Gooderham cooperage, including the chopping mill and stave mill, in 1884. His daughter, Elizabeth, was a very active member of the Women's Institute of Meadowvale, being President for many years. She was one of the key contacts for gathering oral histories

Elizabeth Trevorrow, c. 1915 (PAMA)

from Meadowvale residents about the development of the Village and was the main organiser of the "Souvenir of Meadowvale Old Home Rally", published in 1922. Thanks to her efforts, historians and current residents of Meadowvale Village have a snapshot of how the community developed from pioneer times to the early twentieth century.



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Factories

There were a number of factory style industries as well which produced high volumes of products in Meadowvale. These included a stave factory, located behind the grist mill, which operated for nearly as long as the mill itself. There was also a shingle factory, which was run by Albert S. Lambe in conjunction with his saw mill operation at 1066 Old Derry Road. This factory produced roofing and siding shingles made from the scrap wood that could not be turned into longer lengths of lumber. Lambe sold his shingles to people roofing in Meadowvale as well as in Brampton, Streetsville and Toronto. Lambe's contract to supply lumber to the T. Eaton Company also extended to his shingle factory.

There were a number of smaller factory style productions in existence. However, their location is approximate and cannot be precisely pinpointed. For example, Francis Sibbald was rumoured to have a washing machine factory that made ringer washing machines in the late nineteenth century. He was believed to have been in association with Albert Lambe by running a coordinating steam powered saw mill as well. Where precisely this steam saw mill and washing machine factory were located is not precisely known.

Willow Lane held a number of early businesses in the Village, particularly on the properties of 1101, 1115 and 1125 respectfully. There were at least two blacksmith shops located here, one cooperage, a wagon maker, a cheese factory and perhaps one of the most substantial early businesses before the rise of the grist mill.

Located at 1125 Willow Lane, brothers Hugh and Horatio Johnston owned Mammoth Iron Works and Foundry. This foundry built quality farm implements such as reapers and ploughs. Their production was so complex, that it is said in Perkins-Bull that there was a separate cooperage and blacksmith shop to produce the secondary items needed, like horse bridles and barrels for shipping some parts to be assembled when the product reached its destination. This foundry sold their products as far away as the eastern seaboard of the US and all throughout Ontario. Further research might be able to conclude if any of these implements survive in private collections, or if a product stamp still exists displaying the company logo.

Meadowvale has a rich history of businesses and recent research indicates that these establishments were not restricted to Old Derry Road as was previously thought. These businesses were located from Willow Lane to Old Derry Road to Pond Street and continued to thrive well into the twentieth century independently of the grist mill.



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Transportation

The history of organised transportation in Meadowvale is a relatively unexplored area. Prior to Loyalist settlement in Meadowvale, the Credit River was a major transportation route for the First Nation's people who lived in the area. Although we do not know historically how the Credit was used or utilised, we do know that there is a high potential for First Nations archaeological resources in the Meadowvale area. Perhaps one day, through additional research and findings, we may be able to piece together a history of the human uses of the Credit River in Meadowvale prior to 1800.

In terms of European settlement in the area, little is known about the early forms of transportation from the period of the First Survey (1806) up to about 1850. We do know that Samuel Street Wilmot surveyed the land south of Meadowvale in 1806. However, the region around Meadowvale was not surveyed until 1818.

Roads in and Around Meadowvale



The first constructed roads in Toronto Township would have been the corduroy road. These would have been found along the major routes that divided the concessions into defined sections. These major roads in Toronto Township would have included Hurontario Street, Dundas Street, Trafalgar Road and Burnhamthorpe Road.

Corduroy Road in Northern Ontario, c. 1900 (Library and Archives Canada)

Corduroy roads date back to Roman times and were very popular in twelfth century Britain and Germany. These roads were constructed by stringing logs of near equal lengths, side by side, in perpendicular fashion to the direction of the road. Sometimes, but not in all cases, the logs



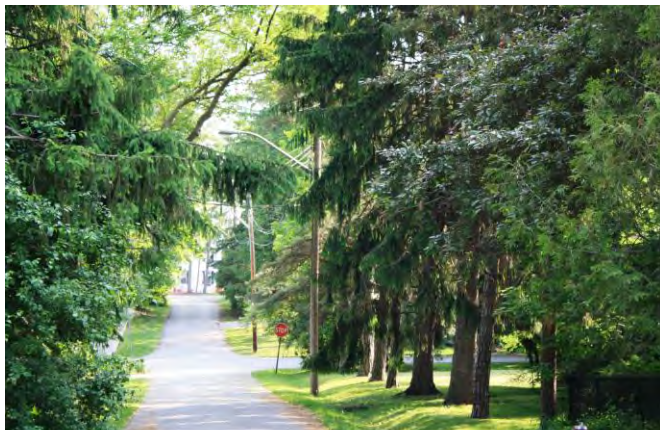
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were covered with sand to help smooth out the road surface. Corduroy roads were being built as late as the Second World War in Europe to move troops and war supplies to remote locations. These roads were preferred as they were relatively quick to construct compared to paved roads. Remote locations in northern Ontario still use corduroy roads, which were laid several decades ago to provide access to forestry and mining camps.

The first corduroy road in Peel County was reportedly constructed by Francis Silverthorn in the early 1840s. Silverthorn arrived in Meadowvale in about 1840 to build a saw mill. His mill produced 10,000 board feet a day, which were eighteen feet long by three inches thick, and sold for \$4.50 a board. Based on this success, Silverthorn was awarded the contract to build a corduroy road along Hurontario Street from east of Meadowvale down to the lakeshore in Port Credit.

Beyond the contract Silverthorn was awarded to construct Peel's first corduroy road, little is known about the early roads to and from Meadowvale in the early nineteenth century. When the Village was surveyed in 1856 by Arthur Bristow, four street allowances were added to the survey. All four road allowances were between Second Line West and Pond Street, allowing easy access to both streets. Of the four roads allowances, only two were realised. These two were First Street and Second Street. First Street was in use for over a century and eventually closed in the 1970s due to disuse. This is why the house located at 7020 Second Line West is oriented away from Second Line and toward First Street.



Barberr Lane Streetscape, May 2012

Second Street was eventually renamed Barberr Lane. It is not known when this change happened, for it does not reflect in the land registry records for the road allowances. However, modern Village folklore indicates that Barberr Lane was used long before the street's formal renaming. Barberr comes from the Barber family, who lived at the top of

Barberr Lane in the old schoolhouse in the 1920s, long after it was

converted into a private residence. Since the Bristow Survey of 1856, Barberr Lane has changed little in terms of its width, elevation and alignment. It still runs parallel today to Old Derry Road and stretches from Second Line West in the east through to Old Mill Lane in the West. This retention of Barberr Lane's original gently sloping grade, soft edges and mature



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tree lines streetscape is a significant heritage attribute for Meadowvale Village which is a direct link back to Meadowvale's nineteenth century transportation roots.

The third and fourth road allowances, further along Second Line West, were surveyed in 1856 but never realised. The third road allowance lies between lots 12 and 21 on the north side and lots 11 and 22 in the south side. This road allowance was never named on the survey and the double workers' cottage, located at 7067 Pond Street, lies directly in the middle of the road allowance. Prior to the discovery of the Survey's existence at the Brampton Land Registry office in 2012, it had been believed that this double workers' cottage was built in the 1840s. Research has now shown this is not possible as the Survey would have recorded the cottage. Because the cottage was built over the road allowance, it is now believed that William Gooderham never intended for the road allowance to be realised when he acquired Francis Silverthorn's lands through bankruptcy in 1859. Gooderham's intention was to expand the mill operations that he had acquired from Silverthorn and, to do this, he needed to build worker's cottages to house the extra workers he would be hiring for the mill.

The fourth road allowance is located at the north end of present day Pond Street between the addresses 7105 and 7091. This was intended to curve around to have access to Second Line West. However, sometime in the twentieth century, Pond Street continued north to Second Line through lots 48-53. This access was closed to vehicular traffic in the 1990s and now Pond Street ends at address 7155 at lots 50 and 51. The former road is now accessed only by pedestrians who can still make their way through to Second Line West.

Meadowvale's Railway History

Although little is known at the present about the development of the road system in and around Meadowvale Village, more is known about train transportation. It was the anticipated coming of the railways which had citizens excited about further development of Meadowvale. However, it was the arrival of the railways and, specifically, where the stations were located, which had a direct impact on Meadowvale's eventual economic decline in the later half of the nineteenth century.

Both Upper and Lower Canada, with southern Ontario in particular, were hotbeds for Canadian railway development in the mid nineteenth century. From the first operating public railway from St. Jean to Laprairie, Quebec in 1832 to Sir John A. Macdonald's national dream of a coast to coast railway finally realised in 1886 at Gastown, British Columbia (renamed Vancouver in 1887), the steady economic and population growth of Canada can be directly attributed to the development of these early railways.



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There were four major railways that passed through Toronto Township in the nineteenth century. Those railways were the Great Western Railway, the Grand Trunk Railway, the Credit Valley Railway and the Toronto-Guelph Radial Railway. Of these four railways, only the Toronto-Guelph Radial Railway passed directly through the Meadowvale settlement.

The railway which had an economic effect on the development of Meadowvale was the Credit Valley Railway. On February 15, 1871 the Credit Valley Railway was incorporated with George Laidlaw named as its first president. Laidlaw was the promoter of both the Toronto, Grey and Bruce Railway and the Toronto and Nipissing Railway. Laidlaw was considered the ideal choice to both promote and head the new Credit Valley Railway venture. The railway would stretch from Toronto's Parkdale area to Orangeville with stops in between. No one knew at incorporation in 1871 just exactly where the stops through Toronto Township would be but a few places were suggested including Meadowvale and Streetsville.

The land was surveyed in 1873 and in 1874, all rail stations were determined and Meadowvale lost out to Streetsville. Many residents in Meadowvale had hoped the train would stop in their village as this would bring much needed commerce and supplies to the area to help it expand and grow. However, the Gooderham family, particularly William and his son James, argued for a stop in Streetsville instead. Although they owned the grist mill in Meadowvale, they also owned a couple of mills and other businesses in the Streetsville area. James was one of the early partners of the railway and was able to persuade Laidlaw to make Streetsville a full station stop because of the larger commercial centre and milling business in the area over Streetsville. Full station stops consisted of a larger building where both passengers and cargo could be loaded and unloaded. A stop was simply just a platform or small rail building where passengers only could embark or disembark. Gooderham also drummed up financial support for the railway by encouraging Streetsville business owners and residents to purchase shares in the railway. The more shares that could be raised in a particular community, the more likely the railway would eventually come to that community. The Gooderham family had deeper roots financially and socially in Streetsville and generally seemed to view Meadowvale as an "acquired investment" only by virtue of Silverthorn's mortgage debt to them. Unfortunately for Meadowvale, this lobbying for Streetsville as a rail station along the Credit Valley Railway line would become a turning point in the village's economic future.

James Gooderham tragically died on September 19, 1879 on the railway he helped fund and bring to Streetsville. This was also the official opening day of the railway where the Governor General of Canada, the Marquis of Lorne, cut the ribbon at Parkdale where the first train bound for Orangeville departed. Gooderham attempted to board the train near his home in



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Streetsville, which was an unscheduled stop along its inaugural route. He was boarding to join a business partner, Frank Shanley, who was responsible for surveying the railway through the Streetsville area in 1873. Unfortunately, Gooderham lost his footing and fell under the train. Not knowing that Gooderham had fallen and was under the train, the engineer let go of the brake and Gooderham was crushed. Gooderham was fifty-three years old at the time of his death and left his father William devastated by his death. The Tweedsmuir history of Meadowvale states that William never recovered emotionally from the loss of his second and favoured son.

Two years later, William Gooderham died and the Gooderham family now saw a reason to sever their business ties in Meadowvale. But it was the railway's bypass of the area which hurt the growth of the village more than the loss of the Gooderhams. It meant that supplies to and from the village had to be transported further. The closest stop to Meadowvale along the Credit Valley Railway was located at the corner of present day junction of Old Derry Road and Creditview Road.



Credit Valley Railway's Meadowvale rail stop building, c. 1925 and the second car in Meadowvale (PAMA)



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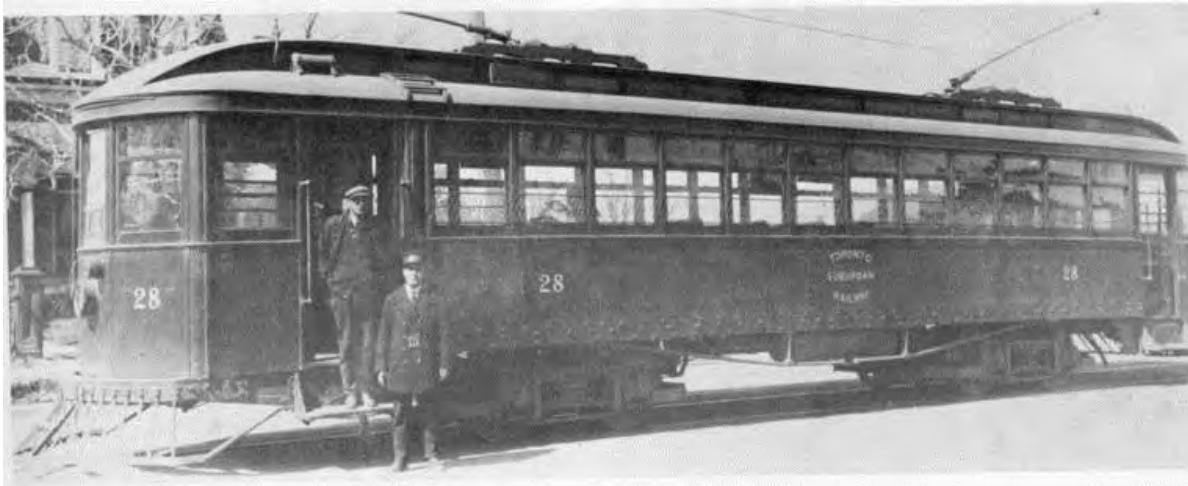
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Today, the only visible sign of this stops existence is the early twentieth century telegraph pole which stands alone in a clearing beside where the station once stood. In 1976, it has been recorded by Heritage Mississauga that the original rail building, which stood at this corner, was relocated to the rear of the property at 1101 Old Derry Road. The white wash exterior was reputed to have been turned inward and the letters spelling “Meadowvale” can be seen from the interior of the present structure. This is a village legend which has not been proven and further research into this story’s validity would add another layer to the heritage character and attributes of Meadowvale’s contribution to Mississauga’s railway history.

The next railway to have an impact on Meadowvale is the Toronto and Guelph Radial Line, which was part of the overall Toronto Suburban Railway system. This was a commuter train service which commenced at Lambton, situated on the east bank of the Humber River in Toronto, and ended at south Guelph on Dundas Street, which is now the present day Gordon Street.

With the population growth in Toronto Township, the Toronto Suburban Railway organisers felt that expansion to Guelph was a viable economic option. The line was surveyed in 1911 and construction commenced in July, 1912. It would take nearly five years to complete the rail line as engineers had difficulty in constructing structurally sound bridges for the trains to cross the



Brill car from the Toronto and Guelph Radial Line, c. 1918 (Ontario Archives)



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Humber River portion of the track. Meadowvale was a scheduled stop along the railway and the tiny platform and shelter was located on the south side of Old Derry Road, right across from the end of the grist mill tail race along Willow Lane. The train crossed Old Derry Road and ran along

the western property line of the house located at 1155 Willow Lane. From here, the train crossed the Credit River and proceeded on to its next stop located at Churchville.

The railway officially opened in 1917 and, in the first few years, experienced high ridership numbers. Memoires of former Meadowvale residents at the Region of Peel Archives describe how



Radial bridge over the mill tail race along Willow Lane, c. 1920 (PAMA)



children from Meadowvale would take this train to attend high schools in Etobicoke, a journey which would take more than an hour in each direction every day.

Unfortunately, the Toronto and Guelph Radial Line had the dubious reputation for being an unsafe, accident prone route.

Telegraph poles from the Toronto and Guelph Radial Line through Meadowvale, 2012



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There had been at least sixty deaths recorded on this line alone between 1918 and 1929. It was also deemed to be more expensive to operate than originally calculated during the time of the 1911 survey. At the time of the initial survey, an economic assessment of the potential rise of the automobile, and how that might affect ridership, was not considered as part of the study. The rise of the automobile did gradually increase throughout the 1910s and accelerated greatly in the post Great War years of the 1920s. In 1910, only two percent of Toronto residents owned an automobile. By 1930, that number had risen to thirty-three percent (Statistics Canada, Report of Automobile Ownership, 1931 Census). The combination of the accident rate and the gradual decrease in ridership meant that the Toronto and Guelph Radial Line was closed in 1931. The tracks and ties were fully removed along the line by 1936 and reused in other Toronto Suburban Railway lines.



Meadowvale stop 47 shelter on display at the Milton Railway Museum (Flickr).

Today, the only evidence of the existence of this rail line through Meadowvale is the raised rail bed beside 1155 Willow Lane as well as the cement rail bridge abutments on either side of the Credit River. Another remnant of the railway's existence still in Meadowvale is the line of telegraph poles in the fields on the south side of Old Derry Road, west of the Credit River bridge. These telegraph poles would have helped to have supplied the power for the operation of the radial line as well as send messages from station to station. The original Meadowvale shelter was relocated to the Railway Museum in Milton where it has been refurbished and is on public display.

Transportation, through roads and railways, helped to shape the development and economy of Meadowvale from its very early Loyalist beginnings through to the early twentieth century. But



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perhaps the most substantial impact on Meadowvale, as with most communities in Canada, has been the introduction of the automobile.

The first car owned in Meadowvale belonged to Albert Lambe who didn't actually purchase it himself. This car was a 1905 Ford Model T touring car, which Lambe acquired as trade for lumber and shingles from his saw mill. The car's original owner, said to have been a Brampton resident, had acquired a newer model vehicle and was looking to sell. Lambe acquired the car but never learned to drive as his eyesight slowly began to decline throughout his life. Lambe eventually went blind and his son, William, ended up driving the car and acting as chauffeur to his father.

When the nineteenth century houses were constructed in Meadowvale, most property would have had an out building, called a driveshed, to house a horse drawn buggy and at least one horse if not two. Over the years, as horse power became phased out with the advent of engine power, these drivesheds were converted into car garages. Some of the most notable early period outbuildings which exist today in Meadowvale include the garages found at 7004 Second Line West, 1101 Willow Lane and 7067 Old Mill Lane. These outbuildings are important heritage attributes to the Village. With further research, evidence may be found in the future to substantiate whether these building held horses and a buggy or other additional uses.

In the decades since the first car arrived in the village, Meadowvale has seen an influx of vehicular traffic. By the late 1970s, just before Meadowvale was designated as a heritage conservation district, over ninety percent of households owned at least one vehicle and traffic flow in and out of the village was greatly evident. Old Derry Road, then simply named Derry Road, was a major thoroughfare that led traffic as an alternative to Highway 401. The increase in vehicle traffic and ownership, which had a spin off effect of new subdivisions popping up around Meadowvale, was the catalyst for Meadowvale's residents to pursue a heritage conservation district designation to protect and conserve the nineteenth century village character. Further efforts to decrease traffic flow and reduce the number of car accidents through the Village continued into the 1990s when the Derry Road Bypass was constructed to divert traffic away from the village core. The result of this Bypass included the dead end at the top of Second Line West near the Meadowvale Conservation Area, which put an end to traffic coming down from Brampton, and the renaming of Derry Road to Old Derry Road, to distinguish it from the newly constructed Derry Road Bypass. Yet, the ever increasing presence of the car and its effect on all Village residents' daily lives has continued to increase. Many village properties, which did not have driveways in the nineteenth century, or little room to put one vehicle by the 1950s, now support two or more vehicles. Because of the siting of the



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residences, many property owners are forced to park on the street, which in 2013, is detrimental to the overall nineteenth century heritage character of the Village.

Transportation, over time, will continue to evolve and have an impact on the heritage resources of Meadowvale Village as a heritage conservation district. Yet, creative solutions and careful stewardship of each property will ensure that the heritage attributes of the nineteenth century Village will be maintained for all to enjoy well into the future.



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Meadowvale in the early 20th century and Canadian Fine Art

At the turn of the twentieth century, Meadowvale had become a well-known location for its picturesque beauty. Many well-known and celebrated Canadian artists visited Meadowvale from about 1900 to 1930 to take advantage of its natural and cultural beauty. Fred Haines and J.W. Beatty both taught at the Ontario College of Art and brought students to the Village. Their friendship and working relationship with many artists, including the Group of Seven, may have inspired many to capture the beauty of the Village and immediate area.



J.W. Beatty with students from the Ontario College of Art, 1921 (PAMA)

The following are some of the better known artists that captured Meadowvale's early 20th century landscapes in their painting, sketches and drawings.



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Frederick S. Haines, 1879-1960 (*National Gallery of Canada*)

Fred Haines owned and occupied 1147 Willow Lane from 1904 to 1930. He was born in Meaford, Ontario, March 31st, 1879. At the age of 21 he married Bertha Morehouse and the two of them moved to Meadowvale in 1904. At this point in his early career he was already well established having graduated from the Ontario College of Art and supporting himself and his family as a full time artist. His work varied from portraits, landscapes, engravings and prints. He became President of the Ontario Society of Artists (1923-27), founding member of the Canadian Society of Painters of Watercolour, founding member of the Canadian Society of Etchers and Printers, the curator of the Art Gallery of Ontario (1928-1932) and Principal of the Ontario College of Art (appointed 1932). From 1920 to 1951 he was the Commissioner of Fine Arts for the Canadian National Exhibition whereby he travelled the world to bring the best in art to Toronto. He was a contemporary to the Group of Seven and his cousin Franklin Carmichael, became the last member of the Group of Seven.

Haines' greatest contribution to the Village was his mural entitled, "Indians on the Credit", which was painted in oils on three roller blinds, a total of 18 feet long, and hung above the blackboard in the Village School. The original "Indians on the Credit" now hangs outside the Council Chamber in the Mississauga Civic Centre. Haines was well known for his murals which included work at Parkwood, home of auto baron R. Samuel McLaughlin (founder of General Motors of Canada) in Oshawa, now a National Historic Site.



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Ontario Society of Artists, 1925 (Ontario Archives). Haines is third from the left seated in the front row. A.J. Casson is on the left standing in the back row.



Close-up, one of three panels of "Indians on the Credit", by Fred Haines.

Haines was well known and connected to the artistic community. As he lived in the Village for many years, it is very likely that he had visitors and guests who are well known Canadian artists who painted in Meadowvale. Long term research may reveal many other noted artists and their works related to Meadowvale.



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John William Beatty (1869-1941)

J. W. Beatty, born in Toronto, did not live in Meadowvale Village, but as a teacher at the Ontario College of Art (1912-1941), he brought students to study and paint in the Village in the early 1920s. As a teenager, Beatty served in the military stationed at the Northwest Rebellion. After his military service he became a house painter, like his father, and studied fine art in his spare time. He then became a firefighter in Toronto continuing his studies in the evenings and doing portraits of his colleagues. In the late 1890s he and his wife went to Paris so Beatty could study at the Academie Julian. In 1901 he returned to Toronto where he opened a gallery and began teaching at the Ontario School of Art and Design. He became a close friend of many within the Group of Seven living at their studio and apartments in Toronto, particularly with Tom Thomson whom he accompanied many times on northern canoe trips. Beatty carved the stonework memorial cairn at Canoe Lake. He was an official war artist and member of the Royal Canadian Academy and the Ontario Society of Artists. His works are known internationally.



J.W. Beatty (National Gallery of Canada)



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The "Old Mill", J. W. Beatty (Private Collection)



Photo of the mill taken about the same time as Beatty's sketch above, c. 1910 (PAMA)



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Georges Chavignaud (1865-1944)

Georges Chavignaud was born in Finistère, France, his father being a musician, author and collector. He studied in Paris and Antwerp where he became a follower of Impressionism. He came to Toronto in 1884 and worked as an art director for a publishing firm. In 1904 he spent most of the year painting in Belgium, France and much of Europe. In 1909 he exhibited at the Ontario Society of Artists show and sold a painting to the Ontario Government, now at Queen's Park. Chavignaud was traditional in his work and as a result did not agree with the direction of the Ontario Society of Artists and the Group of Seven, resigning from the Society.



Georges Chavignaud in 1929.

Land registry records indicate that Chavignaud purchased the Gooderham Mansion in December 1904 for \$3,000 and sold it ten months later in October 1905 to MPP William S. Curry. Chavignaud relocated to Etobicoke, then Kleinburg, before returning to Meadowvale in 1929. It is unknown where Chavignaud lived when he returned to Meadowvale, as no known land registry abstracts indicate he owned property in 1929. It is, therefore, speculated that he rented a property instead. His obituary states that he died in Meadowvale at age 79, in 1944.

Chavignaud used the Village as his inspiration for many works. The following are some of his works clearly based upon the Village during his years living there.



Chavignaud's "Credit River", c. 1905. The photo on the right is from PAMA of the Credit River taken at about the same time period and same location as Chavignaud's painting.



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*Chavignaud's
"Road into the Village"
(Private Collection)*



Post card entitled "Pretty Residences, Meadowvale, Ont." c. 1920 (PAMA)



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There is a great deal of similarity to the post card “Pretty Residences” and Chavignaud’s “Road into the Village” as seen in comparing the two images. The Siverthorn House (7050 Old Mill Lane) is clearly seen in each, the trees growing directly in front of the house, the curved roadway, and trees to the right of the road. Chavignaud has taken ‘artistic licence’ in removing the houses on the east side of the road and replacing them with a more pastoral and rural setting.



Cottage Near Meadowvale, by G. Chavignaud (Private Collection)



Chavignaud’s “Village Street” (Private Collection)

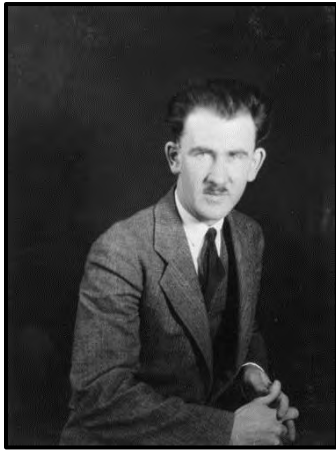


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A.J. Casson (1898 – 1992)

Alfred Joseph Casson was born in Toronto, grew up in Guelph and Hamilton, and moved back to Toronto in 1915. In 1919 Casson became an assistant to Franklin Carmichael at the art firm of Rous and Mann. Casson joined the Arts and Letters Club meeting many artists of the day whereby in 1925 he, Carmichael and F.H. Brigden founded the Canadian Society of Painters. In 1926 Casson was invited to join the prestigious Group of Seven. Unlike others within the Group, Casson remained a commercial artist working full time from 1927 to 1957 at the firm of Sampson-Matthews. Perhaps due to his full time work, Casson travelled less than the others and became well known for his depiction of small town Ontario.



Portrait of A.J. Casson by Hammond, a member of the Ontario Society of Artists. (Ontario Archives)

A.J. Casson had a few connections to Meadowvale. Casson's grandmother was Isobel Hardy, who lived at what is known as the Mill Cottage at 1101 Old Derry Road. Casson was also on the Board of the Ontario Society of Artists at the same time as Fred Haines who was then living in the Village. Casson also worked with Carmichael who was a cousin of Fred Haines. In a 1989 interview with the CBC, a few years before his death, Casson recalled his summer visits as a child to Meadowvale. He would be fascinated to watch Fred Haines set up his easel to paint along Willow Lane and would "pepper Haines" with questions about what it was like to be an artists. And Casson said that Haines gladly, and patiently, answered Casson's questions. Casson died in Toronto in 1992 at the age of 93. In his lifetime he was well recognized with numerous awards, degrees, including the Order of Canada and the Order of Ontario.



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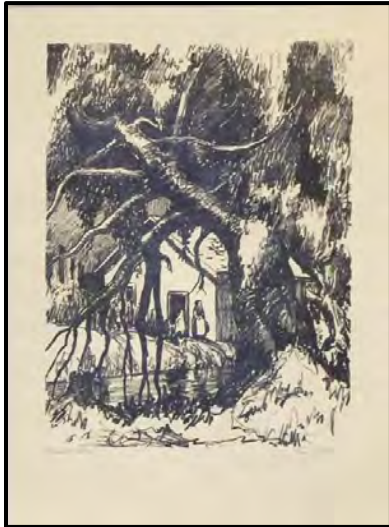
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Thomas (Tom) Albert Stone (1894 – 1978)

Tom Stone was born in Fownhope, Herefordshire, England. He came to Canada in 1914, starting in Edmonton, then moving to southern Ontario in 1921 to study at the Ontario College of Art where he graduated in 1925. He became known for his work in oils and lithography. Stone spent a few years in Europe studying, then returned to Ontario in 1929. He became a member of the Ontario Society of Artists and associated with members of the Group of Seven. Stone was a close friend to A.J. Casson and as such probably visited the Village on many occasions. His engraving, “Meadowvale”, is believed to be the Mill Cottage on Old Derry Road.



Tom Stone, The Daily Times, 1971



Tom Stone's, 'Meadowvale', 1930

Stone spent much of his life with his family in Caledon. He moved to Cataract in 1951 where he died in 1978.



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Henry (Harry) Spiers (1869-1947)

Harry Spiers was born in England and trained at the Académie Julian in Paris. It is not known when he arrived in Canada, but he was known to have exhibited at the Art Institute of Chicago in 1917. Spiers lived in the Village just after the turn of the 20th century. In 1904 he produced a “Souvenir of Meadowvale Village”. The booklet contained his drawings of various buildings and properties in the Village as well as a brief history of each. It is believed that Spiers, in order to raise a bit of income, went door to door asking \$1.00 to draw the property and include it in his booklet. He became a member of the Ontario Society of Artists and therefore likely had numerous introductions to Meadowvale through many of its members.



“Springtime on the Credit River, Meadowvale, 1902” by Harry Spiers (Private Collection)



(historic photo of approximately the same location) c. 1915 (PAMA)



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Cottage on the Mill Race, by Harry Spiers, c. 1911 (Private Collection)



Meadowvale cottage 1911?

#9017

Mill Cottage, c. 1911 (Ontario Archives)



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Owen Staples (1866- 1949)

Owen Staples was born in England and moved to Canada in 1870 at the age of four. Staples was an illustrator and eventually art director for the *Toronto Evening Telegram* from 1885 to 1908, then specializing in historical painting and etching of architectural views and landscapes. He became a full member of the Ontario Arts Society in 1889, President of the Canadian Painter-Etchers and member of the Canadian Society of Painters in Water Colour (1925) and the Arts and Letters Club. His work, a six volume edition, *Landmarks of Toronto*, was a collection of historical buildings and landmarks of the old town of York, 1792-1833 and of Toronto from 1834-1914. Staples was also known for his murals installed in the old City Hall, the Royal Canadian Yacht Club and the Hydro-Electric Power Commission.



Owen Staples painting in Rowancroft Gardens in June, 1923 (Photo by M.O. Hammond)



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Tom Roberts (1908-1998)

Tom Roberts, born in Toronto, came from a very artistic family, his mother, Frida, an artist and his father, Percy, the proprietor of the Roberts Art Gallery, which was established by his grandfather in 1842 and has the distinction of being the oldest art gallery in Canada. Roberts studied at Central Technical School in Toronto and at the Ontario College of Art under J.W. Beatty and Fred Haines. His association with both of these artists probably brought him to Meadowvale in the late 1920s and 30s. Roberts' works depicting the small village scene provided the inspiration and love of a subject for which he was so aptly recognized during his lifetime, Meadowvale being a fine example of such a village. Roberts was considered an established artist by 1928 and went on to have a very successful career as four-season Canadian artist whose works were painted in each province.

He was a full member of the Royal Canadian Academy and the O.S.A. He lived in Port Credit where he died in 1998.



Tom Roberts, Winter Mill Stream, 1949 (PAMA). This is the mill cottage on Old Derry Road looking West.



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Tom Roberts, Late Winter – Meadowvale, 1950 (PAMA). The mill cottage with the grist mill to the East.



Tom Roberts, Riverside Willows – location and date unknown. (PAMA)



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Carl Ahrens (1862-1936)

Carl Ahrens was born in Winfield, Ontario, and began his career as a dentist in Nebraska City, Nebraska. Ahrens took up painting as a hobby and decided in 1886 to move back to Toronto where he began painting full time in his own studio. In only three years he had joined the Society of Artists and had his first show. By 1891 he was an associate of the Royal Academy of Arts. He had an entry and exhibited at the famous 1893 World's Columbian Exhibition, Chicago. Shortly thereafter Ahrens, his wife and children, moved onto the Ojibway Indian Saugeen Reservation near Southampton, Ontario. He and his family were adopted by the tribe and given native names.

In 1899 Ahrens met Elbert Hubbard, founder of the Roycroft Campus, East Aurora, New York State. Ahrens and his family moved to East Aurora and joined the Roycroft colony as a ceramic artist. For a number of years Ahrens worked an adventurous career in the United States. He was commissioned to go to California to document and paint the old Spanish Missions whereby Ahrens, his second wife and baby, travelled by horse and wagon through mountain trails from San Diego to San Francisco. In 1907 they returned to Ontario settling in Meadowvale for about one year when an illness forced him to move back to Toronto.

At a 1907 exhibit of Ahrens' work in Toronto, he met a benefactor, Malcolm Smith Mercer who offered to buy all of Ahrens' works for the next three years. This included Ahrens' Meadowvale paintings. Mercer took Ahrens' work of 31 paintings on an international tour where he had offers of up to \$100,000, but Ahrens refused the payment and the exhibit was halted due to the start of WWI.

Ahrens continued to work in both Canada and the United States until he finally settled in Toronto months before his death in 1936 at the age of 74.



Carl Ahrens in his Toronto Studio (Roycroft Art Museum)



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Carl Ahrens as a young man in Toronto, c.1895. (www.carlahrens.com)



Woodland Ford, 1930 (unknown)



Plains Indian Camp with Tepee, 1905 (unknown)



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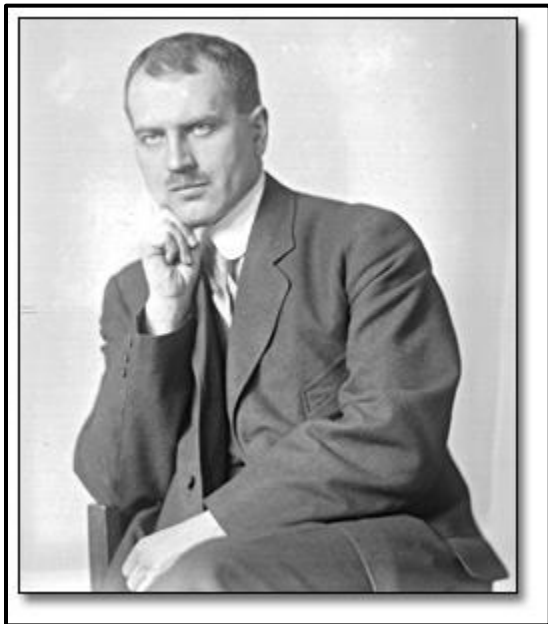
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Photographers

Melvin Ormand Hammond (1876 – 1934)

M. O. Hammond was born in Clarkson, Ontario, where he lived and worked on a farm until a teenager of 14 when he got a job as a journalist for the *Oakville Star*. By 1890 he had moved to Toronto where he was hired by the *Toronto Globe*. His interest in history and photography was well supported by his work as a journalist. He was well known and respected as a photographer, a founding member of the Arts and Letters Club and exhibited his work at the Canadian National Exhibition. His research and photographic inventory has documented many historical sites and monuments that no longer survive. Many of Hammond's photos can be found at the Archives of Ontario.

Hammond knew many contemporary artists of his time and photographed many who had worked in Meadowvale including Staples, Beatty, and A.J. Casson among others from the Group of Seven.



M.O. Hammond, Self-Portrait, c. 1910 (Ontario Archives)



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Owen Staples, by Hammond, 1916 (Ontario Archives)



J.W. Beatty, by Hammond, 1912 (Ontario Archives)



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John Boyd (1865 – 1941)

John Boyd was an amateur photographer who worked for the railway covering the rail lines from Toronto to Sarnia. In his spare time he photographed much of Southern Ontario with a particular interest in historic sites and natural history. The Archives of Ontario have many of Boyd's photos in its collection.



John Boyd, Self-Portrait, circa 1895 (Source unknown)



Meadowvale Mill, Photo by John Boyd c. 1920 (Ontario Archives)



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Stacked Plank Construction

Although it has its origins in Denmark as a construction style in the Renaissance and was common in Jacobean England, the use of stacked plank on plank construction was not very common in Canada despite the country's lumbering history. However, it does have an early history within Canadian settlement, particularly in Ontario and Quebec. Those locations in Ontario that do see a high number of buildings in this construction style, such as Meadowvale, needed to have certain factors available to support this construction style. Firstly, a community needed to have readily available access to a very productive saw mill with an abundance of quality lumber and inexpensive nails. Another factor that helped promote this style in the early years of Loyalist settlement in southern Ontario was home builders did not need to be carpenters or even be skilled woodworkers at all. This construction style could easily be done by anyone who could swing a hammer or cut boards to certain lengths and only a minimal understanding of dovetailing was required.

The method seemed easy enough: build a box-like structure by stacking planks on top of each other, nailing them together, then cutting out entries for windows and doorways. There are a variety of plank construction methods depending upon how large the building would be. However, the one used in Meadowvale Village is referred to as stacked plank construction, or horizontal plank-on-plank. In this method sawn planks, approximately one and a half to two inches thick and about eight inches wide, are horizontally stacked, nailed one atop the other, with a slight offset. The offset allows for textured surface that was often stuccoed on the exterior and plastered on the interior.¹ This was done to avoid the expense (and skill) of laithing, while creating that void in the offset to allow plaster to adhere to the planks. In other methods, different width planks would be ordered with some being six inches wide and others being eight inches wide. These planks were stacked in alternating widths and nailed into place this way. This would create a staggered wall on the outside, where plaster stucco was applied. The inside wall, therefore, would be smoother and would require larger amounts of plaster to create a finished interior wall.

It is believed that the walls were constructed of stacked lumber and afterward the doorways and windows were cut out where required. The houses were built on shallow stone foundations, usually without footings. The stacked plank houses of Meadowvale Village were modest in scale, size, shape and form.

¹ Rempel, John I. *Building with Wood; and other aspects of nineteenth-century building in central Canada* (Toronto: University of Toronto Press, 1967) p. 174



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Since a homeowner did not need to be a skilled carpenter to construct this type of dwelling, the plank on plank method seemed to be the preferred choice among the early builders in Meadowvale. Post and beam construction needed more skill and it has been argued that the structure could be lifted and turned into place by as little as two strong men.²

Considering Meadowvale's early saw mill and lumbering history, it makes sense that this construction style would have been prevalent.

Communication with several southern Ontario municipalities has indicated that stacked plank construction is rare in most communities, where at most two or three noted plank houses were found within an entire municipality. Meadowvale's concentration of fourteen known properties, or 25%, with stacked plank construction, in one small village (HCD), is exceptional within Ontario. Very little is known about plank construction in Ontario. There have been no studies or reports to date that could be found.



Houses along Pond Street, c. 1900 (PAMA)

All of the houses in this c. 1900 photo of Pond Street are stacked plank construction and remain in place today. The following properties within the Meadowvale Village HCD have been identified as being built with stacked plank construction:

² Jordan, Stephen B. "Horizontal Plank" in *Old House Journal* May-June 1993, p.38.



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Property	Retained	Demolished
1101 Willow Lane	✓	
7085 Pond Street	✓	
7079 Pond Street	✓	
7067 Pond Street	✓	
7053 Pond Street	✓	
7025 Pond Street	✓	
7015 Pond Street	✓	
7005 Pond Street	✓	
7070 Old Mill Lane	✓	
7050 Second Line West	✓	
7030 Second Line West	✓	
7004 Second Line West	✓	
1066 Old Derry Road		Yes (fire, 2011)
1101 Old Derry Road	✓	



1101 Old Derry Road – Note the stacked plank construction on the lower half of the structure. The upper floor has been modified from the original structure.



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Detail of corner, stacked plank construction.

Many of the properties have been altered in some fashion. The plank house at 1101 Willow Lane has been restored to its original size, but is no longer the principal residence on the lot. Others have had additions to enlarge the living space, or a raised roof to allow for more room on the second floor. Although just outside the HCD boundary, the former Gooderham house, 7235 Second Line West, is also of stacked plank construction. Other properties throughout Mississauga have been found to be of stacked plank construction. Mississauga appears to have the highest concentration of stacked plank houses in Ontario.



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Property Alterations within the HCD since 1980

There have been many changes within the Village since its heritage designation in 1980. Some have been very minor, such as subtle changes to structures, and others have been more significant such as land division and new construction. It is evident from the list below that a heritage conservation district is not static but may change with guided property alterations.

There have been eight demolition/removals within the Village since 1980. They vary from loss due to fire, removal of outbuildings or removal of selected houses to be replaced with new construction. Partial demolitions have taken place whereby a portion of a building, such as a porch, has been removed and replaced or an older addition removed to restore the building to its original character.

Property alterations between 1980 and 2012:

Address	Demolition/removal	Partial Demolition	New Construction
1033 Barberry Lane	House removed		Restored heritage house relocated from Richmond Hill in 2000
1045 Barberry Lane	House removed		New house in 1992
929 Old Derry Road	Two barn structures		Additions built in 2004 New barn (gymnasium) in 2009
1009/11 Old Derry Road	One house removed and the lot divided		New house, one residence per lot in 1990, with shared garage
1010 Old Derry Road		Rear wing removed	Rear wing in 2000
1020 Old Derry Road		Side porch removed	West side addition built in 1994
1066 Old Derry Road	House lost to fire in 2011		



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Address	Demolition/removal	Partial Demolition	New Construction
1090 Old Derry Road	Outbuilding removed		
7005 Old Mill Lane			Region of Peel pump house in 1986
7010 Old Mill Lane			Canada Post gazebo
7050 Old Mill Lane			Rear additions in 1999
7070 Old Mill Lane		Rear portion removed	House restored and new addition in 2000
7005 Pond Street			West porch added (based on historical photos) in 2007
7025 Pond Street		Front porch removed	Front porch replaced in 2009
7053 Pond Street	Outbuilding removed	North wing removed	New wing added in 2003
7057 Pond Street			New house in 2003
7067 Pond Street		Portion of building removed	Reconstruction and addition in 1987
7079 Pond Street	Garage removed	Portion of building removed	Reconstruction and addition in 2004, new garage in 2009
7085 Pond Street	Garage removed		New garage built 2005



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Address	Demolition/removal	Partial Demolition	New Construction
7135 Pond Street	House lost to fire		New house in 1998
7143 Pond Street	House lost to fire (same as above)		New house in 2000
7155 Pond Street			New house and garage in 2000
7020 Second Line West			New garage built in 1990
7030 Second Line West		Rear portion removed	House set back and rebuilt with addition in 2007
7040 Second Line West		Old foundation ruins removed	New house in 1995
7050 Second Line West		Rear portion of house removed	House rebuilt and additions in 2009
7068 Second Line West			New house in 1980
7080 Second Line West			New house in 2007
1101 Willow Lane		Portions of house removed	Original structure restored and new house added to property in 2000
1115 Willow Lane	House removed		New house in 2003
1125 Willow Lane			New studio/outbuilding in 1988



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The chart above does not include the numerous permitted small additions and other alterations that have taken place within the Village since 1980. The amount of new construction within the Village is approximately 30% of the total fifty-five properties. There are 30, or 23% of the properties within the HCD which have had no alterations since the heritage designation. The remainder, about 53% have had minor alterations, such as dormers, porches, window replacement, etc., at some time over the past 30 years.

Over the past 30 years there have been numerous changes to individual properties. However, all of these changes have not greatly altered the character and reasons why Meadowvale Village retains its heritage value as a heritage conservation district. Guided changes and growth can be compatible with the goals of heritage conservation as proven over the history of Meadowvale Village as an HCD.



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Natural Heritage

Meadowvale Village HCD is privileged to have a balance and integration of both natural and cultural heritage elements. The natural heritage resources within and around the Village contribute in a very significant way to its character and are the very reason why the Village, located adjacent to the Credit River, developed at this location.

The Credit River

The formation and flow of the Credit River in the immediate area known today as Meadowvale Village has had human occupation for thousands of years. Human interaction and use of these lands over many years has had both natural and cultural influences.

The Credit River is approximately 90 kilometres long, originating in the north at Orangeville flowing south to Lake Ontario. Native populations relied on the river for basic subsistence, while the early settlers not only used the river for transportation, subsistence, but also industrialization. Today the river is a recreational and natural heritage resource for all of Mississauga.

The Meadowvale Village area of the Credit River provides a very distinctive circumstance whereby today's natural areas adjacent to the river may closely resemble what the area would have been like during the contact period and early settlement in the late eighteenth century. This is due to the low valley conditions creating a perpetual floodplain of meadow-like conditions. Annual ice flows would clear these lands of any trees and shrubs, keeping the area open to grasses and wildflowers.

Just beyond the low floodplain there has always been a tradition of forested areas. The timber was harvested in great amounts. By 1858 there were 57 sawmills on the Credit, mostly in the southern portion. By 1911 only 8.7 percent of the original forest covers remained.³ The removal of the forests brought increased farm land producing wheat and other grains which led to the development of gristmills. The Credit River provided water for both sawmills and a significant grist mill in Meadowvale. This industrial use caused concern as early as 1846 when the lack of fish and polluting of the waters with sawdust was noted. Not only were the salmon eradicated from the river, but the ponding of water for mills also altered the natural flow of the river and had a great effect on the natural vegetation as well as wildlife. Atlantic salmon are believed to have left the Credit as early as 1842.

³ Michael Puddister, "A River Runs Through It – The Life and Times of the Credit River", 2002, "Mississauga; The First 10,000 Years"



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The community and local government recognized the devastating effects that industry and suburban sprawl had on the river and therefore sought a method to promote natural heritage conservation. On May 13, 1954 the Credit Valley Conservation Authority (CVCA) was established to protect the watershed.

Credit Valley Conservation Lands

In 1963, Credit Valley Conservation Authority began acquiring important conservation land along the Credit River in the old Meadowvale area. The establishment of a large multi-use conservation area stretching from Churchville in the north to Meadowvale in the south was a key recommendation of the landmark 1956 CVCA report, which identified the area as an important environmental and recreational resource for the watershed. The first major purchase was known as the Emerson Parcel in 1963, which took in a large portion of the lands on the east bank of the Credit and lots within Meadowvale Village itself. Features on the acquired lands included the Silverthorn house, remains of the Silverthorn Grist Mill and its related water features (including the location of the former Millpond and Mill race). After 1963, the Authority used the renovated and expanded Silverthorn house as its Administrative Office. This use continued up until 1988 with the creation of the new office on the west side of the river (Meadowvale Botanical Gardens Parcel).

Development of the Meadowvale Conservation Area for recreational purposes began in earnest in the mid 1960's and continued in the 1970s. CVC completed works to create a large parking lot, washroom facilities, trails, and a bridge over the river, as well as a Tree Nursery operation on site. This initial development remains to this day is the primary recreational development on the lands. In 1989, after CVC's office move, the lands were subsequently leased to the City of Mississauga for conservation and recreation purposes and to manage the lands as a free public park. This management regime continues to present day with cooperative action on issues of joint concern. CVC maintains use of the Meadowvale Shop building at 7060 Old Mill Lane for operations and storage.

Recent planning and study activities for the area include the Credit River Parks Strategy, the Mississauga Landscape Scale Analysis and the forthcoming Natural Heritage Strategy. Key recommendations of these documents focus on the restoration and protection of natural heritage features of the property and the continued investment in the popular and well-managed Culham Trail connection. The lands are presently enjoyed by the local community as the main public park in the neighbourhood and also sees weekend visitation by regional users for larger group picnics.



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There are 337 floral species and 81 faunal species noted within the park and adjacent areas. There are 11 vegetation communities⁴:

- dry-fresh sugar maple deciduous forest type
 - dominated by sugar maple but includes bur oak, American beech, white pine and white ash
- fresh-moist willow lowland deciduous forest type
 - dominated by willow, red ash, American elm, balsam poplar, eastern cottonwood, red maple and black maple – standing water in spring drying by mid summer
- dry-fresh white ash deciduous forest type
 - an early stage of succession dominated by white ash, American elm, bur oak and sugar maple
- fresh-moist poplar deciduous forest type
 - an early stage of succession dominated by trembling aspen, balsam poplar, Manitoba maple, green ash and black walnut
- willow mineral deciduous swamp type
 - dominated by white willow, hybrid crack willow, balsam poplar, eastern cottonwood and trembling aspen
- forb (broadleaf herb) mineral meadow marsh type
 - dominated by reed canary grass, giant manna grass, Jerusalem artichoke, elecampagne, cow parsnip, wild parsnip, purple loosestrife, jewelweed, and spotted Joe-pye weed
- pondweed mixed shallow aquatic type coniferous plantation
 - located in shallow water with vegetation of lesser duckweed, water smartweed and common plantain
- dry-moist old field meadow type
 - consists of white pine, Manitoba maple, Siberian elm and sugar maple, with a meadow of bittersweet nightshade, teasel, tufted vetch and orchard grass
- open aquatic
 - there is no vegetation within the open water of the Credit River
- manicured open space
 - the open cultural portion of the park with picnic areas, gravel trails, parking and play grounds

⁴ City of Mississauga Natural Areas Survey (2011)



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The City of Mississauga Natural Areas Survey was updated in 2011 and notes the following significant flora and fauna and related natural heritage observations:

- Butternut (*Juglans cinerea*) is considered a species at risk , some in the area are infected with butternut canker and dead butternut has been found
- Barn swallow (*Hirundo rustica*) is a species considered threatened
- Snapping turtle (*Chelydra serpentina*) is considered a species at risk
- Woodland satin grass (*Muhlenbergia sylvatica* var. *sylvatica*) is considered rare within the province
- 4 rare plant species: tall bur-marigold (*Bidens vulgate*), marsh seedbox (*Ludwigia palustris*), woodland satin grass, and dog skullcap (*Scutellaria lateriflora*)
- This is a fish migration corridor with Coho salmon and Chinook salmon
- Floodplain provides floodwater storage for the Credit River
- The area is designated as an Environmentally Significant Area
- The area is used for nesting, migrating and wintering bird species
- Migration periods are significant with a good deal of diversity in bird species (63)
- A white-tailed deer herd occurs through this area and immediate Credit River corridor



Woodland Satin Grass



Dog skullcap



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Butternut



There are invasive species in the area; garlic mustard, purple loosestrife, common buckthorn, Tartarian honeysuckle, policemen's helmet and Norway maple. Although these plant species make it difficult for native species to survive, they do provide a green cover. Hopefully over time these invasive species can be controlled allowing the native species to thrive. Residents of the Village are encouraged to remove and control invasive species on their own lands thereby contributing to the eradication of invasive species in the area.

For further information and reference residents are encouraged to view the City of Mississauga link, **"Neighbours of Mississauga's Natural Areas"**:

<http://www.mississauga.ca/file/COM/NMNA06.pdf>

and **"Mississauga's Natural Areas"**,

<http://www5.mississauga.ca/rec&parks/pdfs/MississaugaNaturalAreas.pdf>

Natural Heritage within the Village

Meadowvale Village lies within the Credit River valley, with the exception of the east valley wall which forms a ridge to the south and east of the village. The ridge has been an important natural and cultural feature for many years. In the 1990s when the Village was taking part in the Ontario Municipal Board hearing with respect to the future development around the Village, the ridge was a topic of interest which was protected by placing Old Ridge Park to the south of the Village. This provided a natural buffer to the HCD from what later became the residential subdivision to the south.

Other than the ridge which runs through the Village, the majority of the Village is characterized by a floodplain landscape. The area was once heavily forested prior to European settlement at



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the turn of the nineteenth century. Photographs and paintings from the late nineteenth century have provided some indication of how the Village respected old tree growth by maintaining natural elements throughout the Village.



Old Mill Lane c. 1910 (PAMA)

The study of historical photographs indicates large mature trees have always been appreciated and encouraged to grow throughout Meadowvale Village. Late nineteenth century photos also indicate the planting of street trees along what is now Old Derry Road and Pond Street. These trees were approximately ten feet apart which over time would have provided a street canopy and shade to the streetscape and a changing landscape with the seasons.



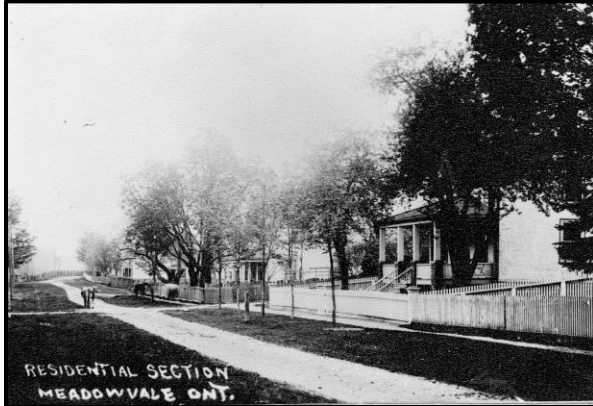
Old Derry Road c. 1910 (PAMA)

Other observations from studying early photographs of the Village indicate that in addition to street trees there were an abundance of shrubs, ornamental trees and fruit trees on private property. The residential yards were delineated and protected with picket fences. The fences were necessary to keep out both domestic and wild animals.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C



Pond Street with a wandering cow on the road, c.1900 (PAMA)

Fence lines were built close to the property line which provided a boulevard for grass and street trees on both sides with a much reduced single dirt lane compared to today's paved roads. The soft road shoulder and informal sidewalks have been a tradition in the Village that greatly enhance the pedestrian experience. Pond Street appeared much more open in the early years because of the mill pond and development of Willow Lake in the early twentieth century. Since the lake was drained the area to the west of Pond Street has naturally grown and filled in as a natural area (now owned by the CVC).

Since the Village was established in the mid nineteenth century there has always been an open view from the street to private residences thereby connecting the homes to the street and resulting streetscape. As a result the front and side yards have for many years been visually accessible and a significant part of the streetscape.



Gooderham Mansion later known as "Rose Villa" c. 1890 (PAMA)



Heritage Conservation District Plan

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Ornamental gardens were found at most residential properties much as they are today. The Rowancroft Gardens immediately west of the Village, located south of Old Derry Road would have been an inspiration and supply of both annuals and perennials. Rowancroft was started in 1914 operating as a nursery featuring lilacs, peonies, iris and other prize winning species. The owner, Ms. Blacklock, was well known in the Village and respected on an international level for her horticultural knowledge. No doubt her influence was found throughout the Village and area. Rowencroft closed operation in the late 1960s.



Lily pond at Rowancroft Gardens (date unknown)



Peonies at Rowancroft Gardens (PAMA)

From 1929 to 1966 a small public library stood at the northeast corner of Old Derry Road and Old Mill Lane. The property was owned by the Meadowvale Women's Institute and was known as the Village Green. This small green space in the middle of the Village was a local community asset for public functions. This property is owned and managed by the Region of Peel and retains the open public access.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
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Meadowvale Library, owned and operated by the Meadowvale Women's Institute 1929 – 1966 (PAMA)

The natural heritage characteristics of the Village have a long tradition dating from the late nineteenth century. Mature trees, informal gardens, open views to both private and public property, soft shoulder roadways, informal paths all contribute to a village character of a soft landscape that largely survives today.



To the west and north of the Meadowvale Village HCD is Meadowvale Conservation Area, parkland owned by Credit Valley Conservation, managed and operated by the City of Mississauga as a passive park. This area of river flats, although outside the current HCD, has an interesting history very much tied to the development of Meadowvale as a village.

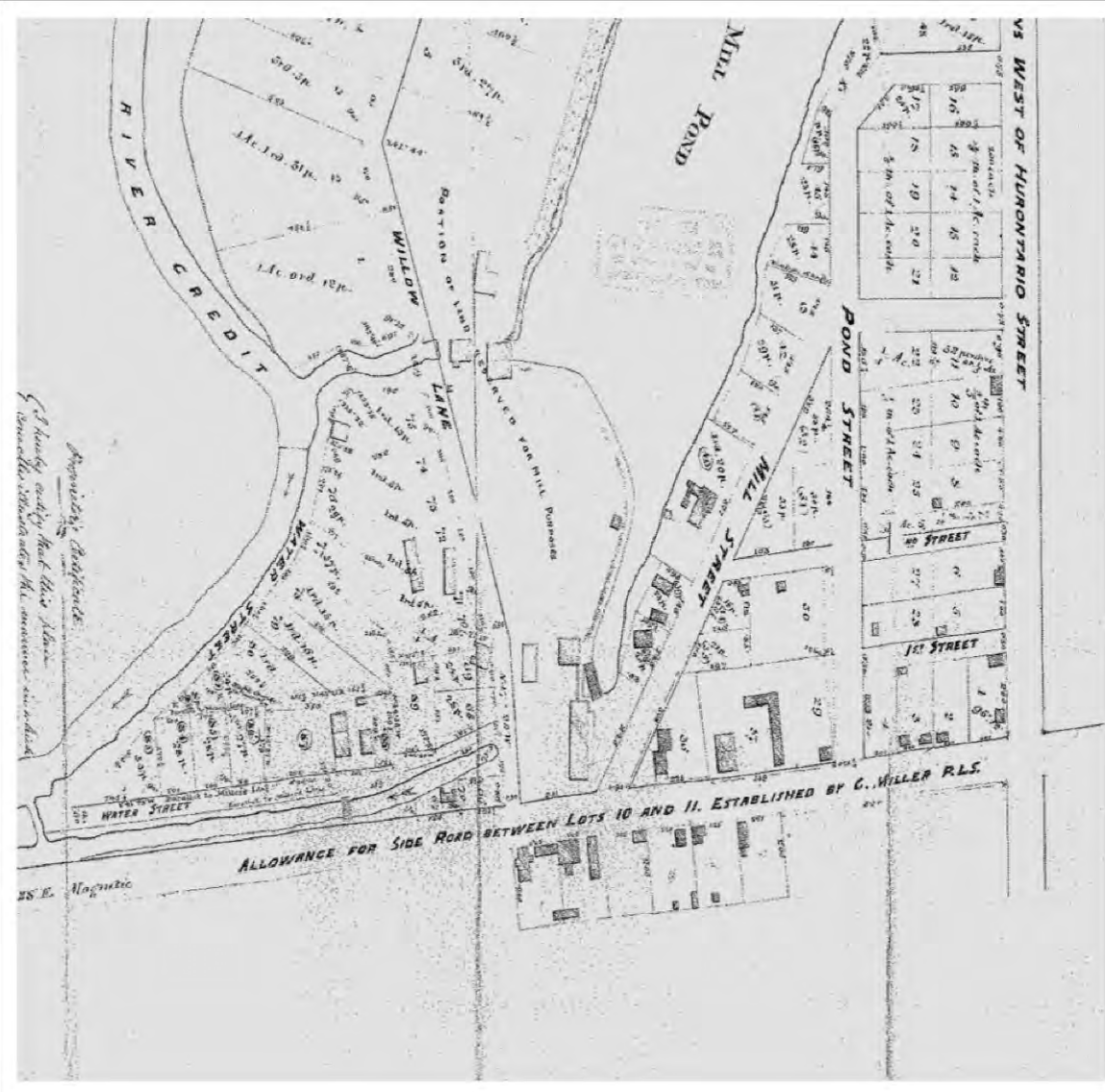


Francis Silverthorn acquired all of the lands north of Old Derry Road and west of Second Line West in 1845. By 1856 the village had grown along with Silverthorn's businesses of the grist mill, sawmill, stave factory, and numerous land holdings. Silverthorn commissioned to have the lands surveyed and broken into lots for future development. The plan was entitled "Plan of Building and Park Lots in Meadowvale", registered July 1, 1856, by surveyor Arthur Bristow.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
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Bristow Survey, 1856 – detail of the southern portion of the Plan, similar to the area covered by the HCD today. (Peel Land Registry Office, Brampton)

One can see from the 1856 survey that the lands known today as the Meadowvale Conservation Area were surveyed for development. Willow Lane was proposed to continue north from Old Derry Road up past the mill pond to what today would be the north end of the park. This development in the northern half of today's park was never realized which left the lands north of the mill and west of the mill pond undeveloped. However the survey clearly



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:

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defines the saw mill owned and operated by Silverthorn as well as additional workers cottages, roadways and other commercial properties on the Conservation lands. Today the mill pond has disappeared, the saw mill removed, and a few remnants of the grist mill remain close to Old Derry Road. Although these features, integral to the development of Meadowvale as a business community, are no longer in place, this industrial era in the village's past is extremely significant. For this reason it is proposed that the heritage conservation district be extended from its current geographical boundary to include the lands owned by CVC, known as Meadowvale Conservation Area.

Meadowvale Conservation Area land has been integrated into the Village for many years. Once the mill operations slowed at the end of the nineteenth century, Henry Brown, acquiring the vast property in 1895, enlarged the mill pond creating Willow Lake. It was his vision and goal to re-invent Meadowvale as a tourism destination. He installed a picnic area, boats on the lake, walking trails and cottages to rent. What is known today as the CVC lands were once the tourism draw to Meadowvale. At the time of Brown's occupation and management of the lands, the area would have been very open and park-like, offering views from Pond Street across Willow Lake to the Credit River. After Brown drowned in 1911, the tourism side of Meadowvale dwindled. Willow Lake was drained and Luther and Grace Emerson (Grace was the daughter of Henry Brown) farmed the lands up until 1963 when the CVC bought the lands to be protected for their natural heritage value. It would have been around this time that the lands began to take on a more natural vegetation appearance with the growth of trees and shrubs that have developed into the roughly 14% wooded areas of today.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
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Willow Lake, c. 1910 (PAMA)

The City of Mississauga has been meeting with the CVC to discuss the importance of the neighbouring Meadowvale Conservation Area and the proposal to include these lands into the heritage conservation district. CVC has been supportive of the proposal and recognize both the cultural and natural heritage significance of the area. A heritage conservation district is all inclusive; both the natural and cultural heritage elements are integrated into one cultural heritage landscape. Local residents use the park, its trails and access to the river on a daily basis.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C



Willow Lake, c.1910 (PAMA)

Below is an aerial photograph of water systems in and around Meadowvale Village, produced by Credit Valley Conservation. The overlay indicates how the Credit River has changed course over the years and where the mill pond and Willow Lake were in comparison to the area today. The illustration, which follows, also indicates where the water, sourced by the Credit River, entered into the milling operation from the north and where it emptied by the tail race back into the river past the terminus of Willow Lane.

Following is an illustration of the proposed boundary which indicates the inclusion of the Meadowvale Conservation Area into the expansion of the Meadowvale Village Heritage Conservation District.



Heritage Conservation District Plan

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Aerial photograph of Meadowvale Village with an overlay indicating water systems of the changes in the Credit River and the former mill pond. (Credit Valley Conservation)



Heritage Conservation District Plan

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Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C

Areas for Further Research

As with any kind of historical research, newly uncovered information can lead to further questions and need for analysis. There are a number of historical questions which would benefit from further research in the future. These sample questions will better help those in the future understand the nuances which shaped the history of Meadowvale's early development. The following questions are not meant to be exhaustive for new questions and theories will arise in the future. These questions simply address some holes in the research as they exist in 2013.

1. Location of the Gooderham School. It is supposed to have been located on "Gooderham property" and was eventually demolished and the wood used to build the band stand (gazebo) in the centre of the Village. Did this mean the building was located at the Gooderham Mansion or elsewhere in the Village?
2. Location of Jonadab Hardy steam mill and the reason for his court order with Francis Sibbald.
3. Why did the Jacksons subdivide, sever and re-amalgamate their lands over time?
4. Precise location of the Gooderham and Ward Stores?
5. Did Silverthorn have a grocery store as is reported in Tweedsmuir? Where was it and was it the one James Gooderham expanded?
6. Conduct an archaeological investigation through a ground penetrating survey of the mill site to determine if the turbines still are in place as has been reported in the past as well as the extent of all underground ruins.
7. What was the nature of Albert Lambe and Mary Lambe being adopted by the Simpsons and Switzers respectfully? Did the Lambes have a Quaker background like Simpson? There were eight children born in the Lambe family, so did they go to other residents in the Village? Did the Switzers/Simpsons/Lambes all know each other before the children were adopted? The connection, if any, to these pioneering families might fill in some gaps about the social history of religious development in the Meadowvale area.
8. Continue further research into the use of stacked plank on plank construction in the early Loyalist history of Meadowvale and compare this to other municipalities.



Heritage Conservation District Plan

Meadowvale Village Heritage Conservation District Plan, 2014:
Cultural Heritage Assessment of Meadowvale Village and Area, Schedule C

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A By-law of The Corporation of the City of Mississauga to create a single application process to obtain Heritage Permits for heritage properties designated under Part IV, or located in Heritage Conservation Districts designated under Part V of the *Ontario Heritage Act*.

WHEREAS approval from the Council of The Corporation of the City of Mississauga is required for the alteration or demolition of properties designated under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended (the "Act") and for properties located in heritage conservation districts designated under Part V of the Act;

AND WHEREAS approval from the Council of The Corporation of the City of Mississauga is required for repealing in whole, or in part, any designating by-law that was enacted pursuant to Part IV of the Act;

AND WHEREAS sections 33 and 42 of the Act, respectively, provide that Council may delegate its authority to consent to alterations of properties designated under Part IV of the Act and to alterations of properties located in a Heritage Conservation District designated under Part V of the Act;

AND WHEREAS the Council of The Corporation of the City of Mississauga wishes to create a single permit system whereby landowners may obtain necessary approvals for the alteration, erection, demolition, or removal of properties designated under Part IV of the Act or located in Heritage Conservation Districts designated under Part V of the Act and for requests for the repealing of designating by-laws made under Part IV of the Act;

AND WHEREAS pursuant to sections 33(15) and 42(16) of the Act, the Council of The Corporation of the City of Mississauga consulted with its Heritage Advisory Committee;

NOW THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

PART I - SHORT TITLE

1. This By-law may be referred to as the "Heritage By-law".

PART II - DEFINITIONS

2. For the purposes of this By-law:
 - (1) "Act" means the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended;
 - (2) "alter" means to change in any manner and includes to restore, renovate, repair, erect or disturb and "alteration" and "altering" have corresponding meanings;
 - (3) "City" means The Corporation of the City of Mississauga;
 - (4) "Clearance Certificate" means a certificate issued by the City in a form approved by the Director which states that alterations proposed by an Owner are not prohibited by the City

- (5) “Council” means the elected Council of The Corporation of the City of Mississauga;
- (6) “Designated” means a Property that is designated as a heritage property under Part IV of the Act or a district that is designated as a Heritage Conservation District under Part V of the Act, as the case may be;
- (7) “Director” means the City’s Director, Culture Division;
- (8) “Heritage Advisory Committee” or “HAC” means, the advisory committee of Council which makes recommendations to Council on matters relating to proposed and Registered and Designated properties within Mississauga, Ontario, their identification, research, recording and interpretation, including cultural landscapes and natural heritage;
- (9) “Heritage Conservation District” means a heritage conservation district designated under Part V of the Act;
- (10) “Heritage Conservation District Plan” means a plan adopted by Council to provide direction on the preservation of the heritage defining character elements of a Heritage Conservation District;
- (11) “Heritage Consultant” means a person who prepares heritage impact assessments/statements with qualifications as set out in the Mississauga Heritage Impact Statement Terms of Reference or as otherwise required by the City;
- (12) “Heritage Permit” means a permit issued by the Director pursuant to this By-law allowing an Owner to take certain actions with regards to such Owner’s Property as stated thereon;
- (13) “Heritage Register” means a register of Property situated in Mississauga, Ontario that is of cultural heritage value and interest maintained pursuant to Part IV of the Act;
- (14) “Owner” means the person registered on title in the proper land registry office as owner of the property;
- (15) “Property” or “property” means real property and includes all buildings, structures and heritage landscapes thereon;
- (16) “Registered” refers to a Property that is listed on the Heritage Register.

PART III- DELEGATION OF AUTHORITY

- 3. Council delegates to the Director all of Council’s powers to do the following:
 - (a) **Alterations:** grant consents and approvals for alterations to Properties Registered or Designated under Part IV of the Act and Properties located in Heritage Conservation Districts, including the power to grant such consents and approvals subject to terms and conditions as determined by the Director in his/her discretion;
 - (b) **Request Information:** request from an Owner any information in any form when an application is made to the City to:
 - (i) alter, erect, demolish or remove any building, structure or Property Registered or Designated under Part IV of the Act or Designated under Part V of the Act; and
 - (ii) repeal a by-law, or portion thereof, enacted pursuant to Part IV of the Act.

- (c) **Permits/Practices/Procedures:** issue and administer Heritage Permits in accordance with the terms of this By-law and establish any practices and procedures necessary to issue and administer Heritage Permits in accordance with the terms of this By-law and decisions made by Council.
- 4. **Forms:** The Director shall prescribe all forms necessary to implement this By-law and may amend such forms as he/she deems necessary.
- 5. **General:** The Director is authorized to undertake all acts necessary to carry out the authority vested in him/her under this By-law, including affixing his/her signature to documents.
- 6. **Director's Designate:** When the Director is absent through illness or vacation or his/her office is vacant, the Director's delegate shall act in the place and stead of the Director. While so acting, the Director's delegate has all the rights, powers and authority of the Director as delegated by this By-law.
- 7. **Consultation and Referral:** The Director may consult with HAC and/or refer any application to Council for approval/refusal regarding Registered or Designated Properties.
- 8. **Council Approval Required:** Notwithstanding anything to the contrary, the Director shall, after consulting HAC, refer the following to Council for approval/refusal:
 - (a) **Refuse Any Alteration Application under Part IV or Part V of the Act:** In circumstances where the Director, if he/she had the authority to do so, would refuse such an application, he/she shall so advise Council who retains all decision-making power in relation to that application;
 - (b) **Approve/Refuse Demolition/Removal Application Part IV:** The approval or refusal of an application to demolish or remove a building or structure on Property Registered or Designated under Part IV of the Act;
 - (c) **Approve/Refuse Erection/Demolition/Removal Application Heritage Conservation Districts:** The approval or refusal of an application to erect, demolish or remove a building or structure on Property located in a Heritage Conservation District.
 - (d) **Repeal Designation By-law:** repeal all, or a portion of a designating by-law for a Property Designated under Part IV of the Act.
- 9. **Council may retain Delegated Authority:** Regardless of any authority delegated to the Director under this By-law, Council may, after notifying the Director, exercise any authority that it delegated to the Director.

PART IV - HERITAGE PERMITS: PART IV OF THE ACT

- 10. **Alteration - Approval Required:** Approval by the Director is required for an application for a Heritage Permit to alter a Property Designated under Part IV of the Act. Consultation with HAC by the Director is not required in these circumstances.
- 11. **Alteration Application:** An Owner wishing to alter a property Designated under Part IV of the Act shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:
 - (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;

- (b) A site plan or sketch showing the location of the proposed work on the Property;
 - (c) A statement of the proposed scope of work;
 - (d) Drawings of the proposed work showing materials, dimensions and extent of the work;
 - (e) Written specifications for the proposed work;
 - (f) Photographs showing the existing building or landscape condition;
 - (g) Documentation pertaining to the proposal, including archival photographs, pictures or plans of similarly styled buildings in the community;
 - (h) A signed statement by the Owner authorizing the application;
 - (i) A heritage impact assessment prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
 - (j) All other information relating to the application as required by the Director.
13. **Demolition/Removal– Approval Required:** Approval by Council is required for an application for a Heritage Permit to demolish or remove a building or structure on a Property that is Registered or Designated under Part IV of the Act..
14. **Demolition/Removal Application:** An Owner wishing to demolish or remove a building or structure on a Property that is Registered or Designated under Part IV of the Act shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:
- (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
 - (b) A site plan or sketch showing the location of the proposed demolition or removal;
 - (c) Photographs showing the existing building condition including all elevations;
 - (d) A building condition assessment of the building or structure proposed to be demolished or removed;
 - (e) A signed statement by the Owner authorizing the application;
 - (f) A heritage impact statement prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
 - (g) All other information relating to the application as required by the Director.
14. **Repeal By-Law:** Any Owner wishing a repeal of all or a portion of a designating by-law under Part IV of the Act shall submit an application in writing to the Director and shall supply all information as requested by the Director.

PART V - THE OLD PORT CREDIT HERITAGE CONSERVATION DISTRICT

15. **Alteration Application:** An Owner wishing to alter a Property located in the Old Port Credit Heritage Conservation District shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:

- (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
- (b) A site plan or sketch showing the location of the proposed work on the Property;
- (c) A statement of the proposed scope of work;
- (d) Drawings of the proposed work showing materials, dimensions and extent of the work;
- (e) Written specifications for the proposed work;
- (f) Photographs showing the existing building or landscape condition;
- (g) Documentation pertaining to the proposal, including archival photographs, pictures or plans of similarly styled buildings in the community;
- (h) A signed statement by the Owner authorizing the application;
- (i) A heritage impact statement prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
- (j) All other information relating to the application as required by the Director.

16. Heritage Permit not Required: Notwithstanding Section 15 of this By-law, an Owner of Property located in the Old Port Credit Heritage Conservation District does not need to apply for nor obtain a Heritage Permit for the following alterations to the external portions of a building or structure located on such Owner's Property:

- (a) The exterior painting of non-masonry surfaces, replacement of eavestroughs and downspouts, installation of exterior lights, including installation of removable storm windows and doors, caulking and weatherproofing;
- (b) The repair or replacement of existing features, including roofs, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches and steps, entrances, sidewalks, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that the same type of materials are used;
- (c) The erection of small accessory buildings under ten metres squared;
- (d) The erection of fences;
- (e) The installation of mechanical and/or electrical equipment not visible from the street;
- (f) Replacement of steps and sidewalks;
- (g) All interior work, except structural interventions.
- (h) An alteration that is not visible from a street.
- (i) Minor alterations as are described in the Old Port Credit Heritage Conservation District Plan.
- (j) For buildings and structures identified as "complementary" or "other" buildings as per the Old Port Credit Village Heritage Conservation District Plan:
 - (i) alterations to the roofline, including demolition or erection of dormers;

- (ii) new and/or alterations to door and/or window openings requiring structural alteration and which may include their surrounds;
- (iii) installation of new replacement windows;
- (iv) installation of skylights;
- (v) demolition or erection of chimneys;
- (vi) removal or addition of architectural detail, such as brackets, bargeboard, finials, brick, terra cotta decorations;
- (v) masonry cleaning, masonry repointing or masonry painting;
- (vi) installation or replacement of exterior cladding;
- (vii) installation of new roof material different from existing; and
- (viii) installation of mechanical and/or electrical equipment not visible from the street.

17. **Demolition/Removal/Erection Application:** An Owner wishing to erect, demolish, or remove a building or structure on a property located in the Old Port Credit Heritage Conservation District shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:

- (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
- (b) A site plan or sketch showing the location of the proposed demolition or removal;
- (c) Photographs showing the existing building condition including front and side elevations;
- (d) A building condition assessment of the building or structure proposed to be demolished or removed;
- (e) A signed statement by the Owner authorizing the application;
- (f) A heritage impact statement prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
- (h) All other information relating to the application as required by the Director.

PART VI - MEADOWVALE VILLAGE HERITAGE CONSERVATION DISTRICT,

18. **Alteration Application:** An Owner wishing to perform substantive alterations to a Property located in the Meadowvale Village Heritage Conservation District shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:

- (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
- (b) A site plan or sketch showing the location of the proposed work on the Property;
- (c) A statement of the proposed scope of work;

- (d) Drawings of the proposed work showing materials, dimensions and extent of the work;
 - (e) Written specifications for the proposed work;
 - (f) Photographs showing the existing building or landscape condition;
 - (g) Documentation pertaining to the proposal, including archival photographs, pictures or plans of similarly styled buildings in the community;
 - (h) A signed statement by the Owner authorizing the application;
 - (i) A heritage impact statement prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
 - (j) Any other information relating to the application as required by the Director.
19. **Substantive Alterations:** Substantive alterations have the same meaning as such term in the Meadowvale Village Heritage Conservation District Plan as follows:
- a) Increases to Gross Floor Area of the primary residence;
 - b) Increases to the primary residence's building height, width and depth;
 - c) Changes to primary residence's foundation structure;
 - d) Changes to the primary residence's roof structure;
 - e) Additions of a sunroom, solarium, porch and/or verandah to a primary residence;
 - f) New windows, dormers, or doors where they did not originally exist on the primary residence;
 - g) Enlarged window or door openings of the primary residence;
 - h) Removal of an existing and/or replacement of a new primary residence;
 - i) Addition of/to an accessory building, including pre-fabricated buildings, occupying an area greater than 10 square metres (108 square feet)
 - j) Reconfigured lot boundary;
 - k) Changes to lot grade, excavation and the placement of fill which alter a property's landform and natural vegetative characteristics;
 - l) Increases to driveway width, new and/or relocation of the property's access and egress;
 - m) Installation of pools and water features; and
 - n) Any proposal which does not satisfy Policy 8, nor is identified in Policy 12 of the Meadowvale Village Heritage Conservation District Plan.
20. **Clearance Certificate Required:** Notwithstanding Section 18 of this By-law, an Owner of property in the Meadowvale Village Heritage Conservation District does not need to apply for nor obtain a Heritage Permit for the following non-substantive alterations which do not significantly alter the appearance of the Property, provided that, such Owner has obtained a Clearance Certificate from the City. Clearance Certificates may be issued at the discretion of the Director and/or the City's Heritage Planning staff. Installing, renovating, repairing and/or replacing the following will be deemed as a non-substantive alteration:
- a) roofing materials
 - b) Chimneys
 - c) Exterior Cladding
 - d) Skylights
 - e) Solar Panels

- f) Windows and Storm Windows
 - g) Shutters
 - h) Doors
 - i) Architectural Details
 - j) Existing Porches and Verandahs
 - k) Existing Outbuildings
 - l) Driveways
 - m) Fences
 - n) Landscaping and Planting
 - o) Wheelchair ramps
 - p) Mechanical and Utilities
 - q) Public works within the Village, including but not limited to:
 - Public roads and right of ways
 - Parkland
 - Signage
 - Structures
21. **Demolition, Erection, Removal Application:** An Owner wishing to erect, demolish, or remove a building or structure on a Property located in the Meadowvale Village Heritage Conservation District shall submit an application for a Heritage Permit in writing to the Director on a form prescribed by the Director and shall supply the following information if so requested:
- (a) The name, address, telephone number, fax number and e-mail address of the Owner or the Owner's authorized representative;
 - (b) A site plan or sketch showing the location of the proposed demolition or removal;
 - (c) Photographs showing the existing building condition including front and side elevations;
 - (d) A building condition assessment of the building or structure proposed to be demolished or removed;
 - (e) A signed statement by the Owner authorizing the application;
 - (f) A heritage impact statement prepared by qualified architect licensed to practice in the Province of Ontario or a Heritage Consultant; and
 - (g) Any other information relating to the application as required by the Director.

Part VII: HERITAGE CONSERVATION DISTRICTS, GENERALLY

22. **Alteration Applications:** Approval by the Director is required for an application for a Heritage Permit to alter a Property located in a Heritage Conservation District.
23. **Demolition/Erection/Removal Application:** Approval by Council is required for an application for a Heritage Permit to erect, demolish or remove a structure or building on a Property located in a Heritage Conservation District.
24. **Heritage Advisory Committee:** The Director shall, before approving an application for a Heritage Permit to alter a property located in a Heritage Conservation District, consult with the HAC with respect to the application.

25. **Approval Where Work Compatible with Plan:** The Director shall approve an application for a Heritage Permit to alter a property located in a Heritage Conservation District where the work proposed in the application is compatible with the Heritage Conservation District Plan that applies in the Heritage Conservation District in which the work is proposed to be undertaken.
26. **Refusal Where Work Incompatible with Plan:** If the alteration proposed to a Property is not compatible with the Heritage Conservation District Plan that applies in the Heritage Conservation District in which the work is proposed to be undertaken, the Director shall consult with HAC and shall submit the application for the Heritage Permit to Council for approval/refusal.
27. **Sections 15 and 18 Nonapplication:** Notwithstanding anything to the contrary, Sections 15 and 18 of this By-law do not apply to a Property Designated under Part IV of the Act but located in a Heritage Conservation District. Such Properties are governed by Part IV of this By-law.

PART VIII – ISSUANCE OF HERITAGE PERMITS, GENERALLY

28. **Director shall Issue a Permit:** The Director shall issue a Heritage Permit to an Owner of property that has made an application in accordance with this By-law in the following circumstances:
- (a) **Approved Application:** Where the Director has approved an alteration of property Designated under Part IV or Part V of the Act; or where Council has approved an application for the alteration of Property, demolition or removal of a building or structure on Property designated under Part IV of the Act.
 - (b) **Approved Application – Heritage Conservation District:** Where Council has approved an application for the alteration of property, erection, demolition or removal of a building or structure on property located in a Heritage Conservation District.
 - (c) **Deemed Approval:** Where, in accordance with Parts IV and V of the Act, Council or the Director exercising his/her delegated authority pursuant to this By-law is deemed to consent to an application.
 - (d) **OMB Order:** Where the Ontario Municipal Board orders that the City consent to and/or issue a Heritage Permit under Part IV or Part V of the Act.

PART VIII – CONDITIONS FOR PERMITS

29. All Heritage Permits under this By-law shall be subject to the following conditions:
- (a) All applications, documents, reports and plans and other information form part of the heritage permit.
 - (b) All work shall be carried out in accordance with the plans, specifications, reports, documents and any other information that form the basis upon which a permit is issued.
 - (c) Any material change to the plans, specifications, report, documents or other information that form the basis upon which a permit is issued shall require a further application.
 - (d) The permit holder shall advise the City's Heritage Planning staff upon completion of the work that is subject to the Heritage Permit.

- (e) The permit holder shall allow City staff to inspect the work done under the heritage permit.
- (f) Such other terms and conditions as the Director deems necessary to maintain the heritage character of the property.
- (g) Such other terms and conditions as Council may require to provide consent to the application.
- (h) All Heritage Permits issued pursuant to this By-law shall expire one (1) year from the date of the Heritage Permit.

PART IX – ENFORCEMENT:

- 30. Every Person who contravenes any provision of this By-law is guilty of an offence and is liable to a fine and such other penalties as provided for in the *Provincial Offences Act*, R.S.O. 1990, c.P.33 and the *Municipal Act, 2001* S.O. 2001 c.25, each as amended.
- 31. A municipal by-law enforcement officer acting under this by-law may enter and inspect all buildings, structures or parts thereof that are subject to this by-law at any reasonable time for the purposes of determining whether there is compliance with this by-law.

PART X - VALIDITY

- 32. If a court of competent jurisdiction declares any provision, or any part of a provision, of the By-law to be invalid, or to be of no force and effect, it is the intention of the Council in enacting this By-law, that each and every other provision of this By-law authorized by law, be applied and enforced in accordance with its terms to the extent possible according to law.

PART XI – REPEAL

- 33. By-law No. 0215-2007 shall be repealed on the date this By-law is enacted.

ENACTED AND PASSED this day of , 2014.

MAYOR

CLERK