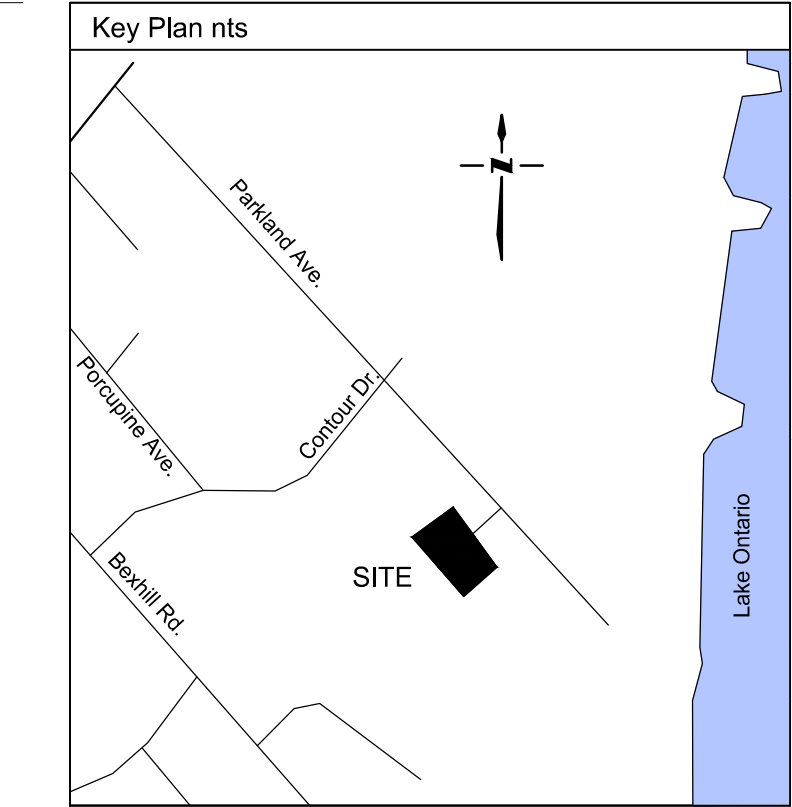
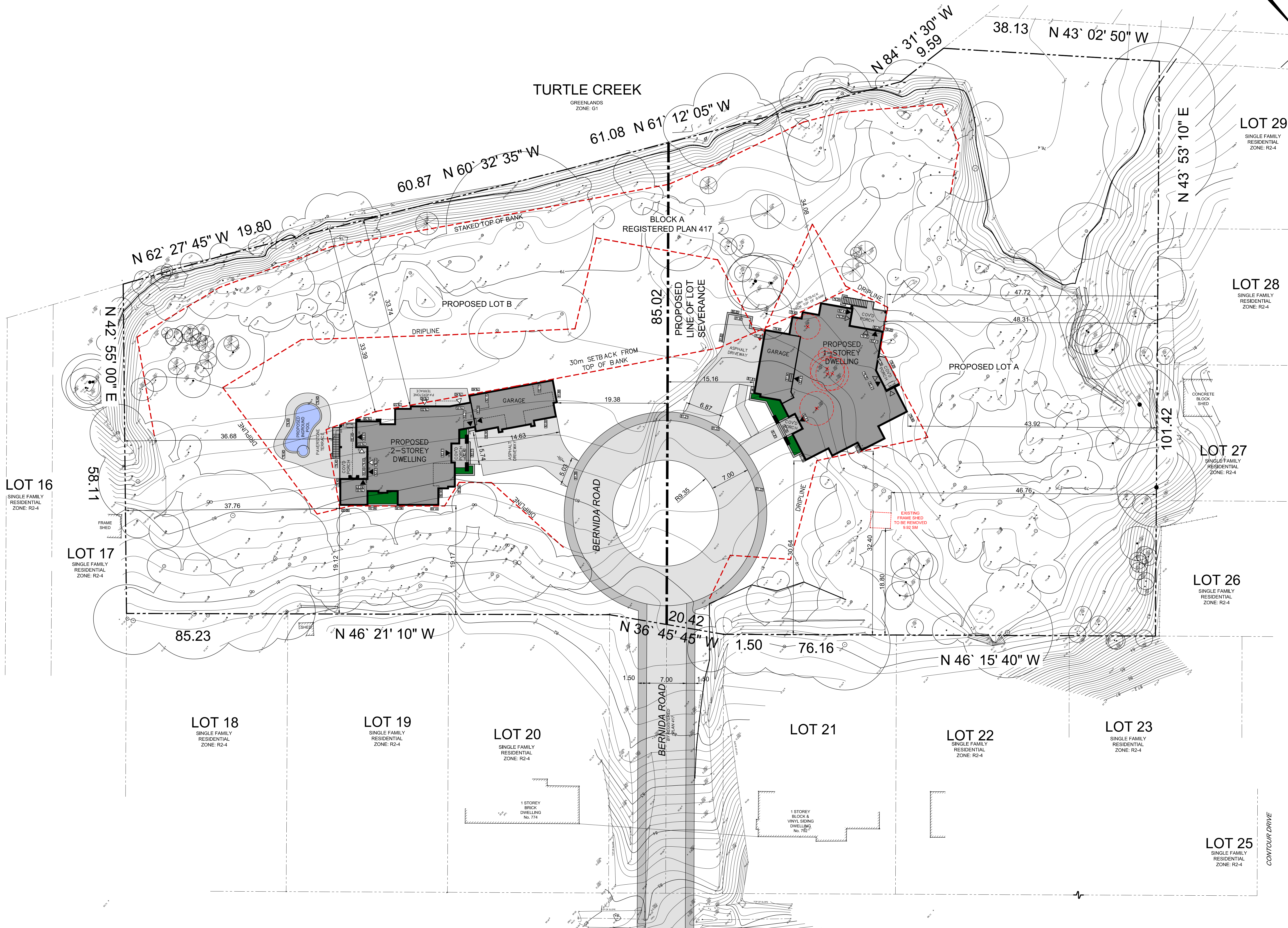




Applicant Information

Iva Paclik (905)890-2113
George Paclik

Janet Krahn (905)890-2113
Bruce Krahn

The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer. Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.

Peter Giordano 25061
Name BCIN
Signature
Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code. DAVID W. SMALL DESIGNS INC. 29959
Firm Name BCIN

no.	date	revision / comment
1	Jun 05/20	Issued To Owner For Municipal Submission

Project:
Proposed Bernida Road Lot Severance

Block A
Registered Plan 417
City of Mississauga
Regional Municipality of Peel

Drawing:

Context Map

Scale: 1:300
Date: Jun 2020
Dwn by: CM
Proj. no.: 19-1773
19-1774



David Small Designs

Legend

3R Main Level
3R Lower Level
Property Line
Existing To Be Removed
Existing Spot Elevation
Proposed Spot Elevation
Rainwater Downspouts
Air Conditioner
Solid Hoarding
Framed Hoarding
Area Drain
Area Drain
Denotes Confersus Tree (with trunk diameter) To Remain
Denotes Deciduous Tree (with trunk diameter) To Remain
Denotes Tree (with trunk diameter) To Be Removed
Denotes Replacement Tree Native Species Min 10mm Caliper For Deciduous And 1.5m Height For Coniferous (RM) Refers To Sugar Maple (RM) Refers To Red Maple

General Notes:

1. Do Not Scale Drawings
2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 'b'

Project Data - Proposed Lot B

PROJECT ZONING				PROJECT ZONING			
ZONING DESIGNATION R2-4 (m/fu)				ZONING DESIGNATION R2-4 (m/fu)			
LOT AREA	6,798.49	sm	73,178.24	LOT FRONTAGE	81.76	m	268.25
LOT DEPTH	96.44	m	316.39	LOT DEPTH	96.44	m	316.39
ITEM	REQUIRED	PROPOSED	ITEM	REQUIRED	PROPOSED	ITEM	REQUIRED
HOUSE SIZE				HOUSE SIZE			
GFA (sm)	1549.70	sm	659.37	Balcony setback	1.20	m	0.84
GFA (sf)	16680.79	sf	7,097.40	HEIGHT	9.50	m	10.76
Coverage				Coverage			
30%	2038.55	sm	440.28	Roof Slope	7.50	m	n/a
6.48%	21953.47	sf	4,739.11	Eaves	6.40	m	8.04
Setbacks				Setbacks			
Front	tbd	m	19.38	Front	tbd	m	19.38
Interior Side R	tbd	m	33.74	Interior Side R	tbd	m	33.74
Interior Side L	tbd	m	19.12	Interior Side L	tbd	m	19.12
Rear	tbd	m	37.76	Rear	tbd	m	37.76
Garage Projection				Garage Projection			
No	tbd	m		No	tbd	m	
Allowed	0.00	m		Allowed	0.00	m	
Garage Area	75.00	sm	105.62	Garage Area	75.00	sm	105.62
Zoning Variance Required - Subject to municipal zoning review				Zoning Variance Required - Subject to municipal zoning review			

PROJECT STATISTICS			
TARIION BULLETIN No. 22			
Ground	3111.4	sf	
Second	3057.8	sf	
Total	6169.2	sf	
BY-LAW FLOOR AREA			
Ground	3083.0	sf	
Second	2902.7	sf	
Total Floor Area	5985.7	sf	
Garage	1111.7	sf	
Total W/ Garage	7097.4	sf	
COVERAGE CALCULATION			
House	5.73%	389.70	sm
Front Porch	0.19%	12.72	sm
Rear Porch	0.56%	37.86	sm
Total	6.48%	440.28	sm

Project Data - Proposed Lot A

PROJECT ZONING				PROJECT ZONING			
ZONING DESIGNATION R2-4 (m/fu)				ZONING DESIGNATION R2-4 (m/fu)			
LOT AREA	8,406.87	sm	90,490.69	LOT FRONTAGE	88.28	m	289.62
LOT DEPTH	96.44	m	316.39	LOT DEPTH	96.44	m	316.39
ITEM	REQUIRED	PROPOSED	ITEM	REQUIRED	PROPOSED	ITEM	REQUIRED
HOUSE SIZE				HOUSE SIZE			
GFA (sm)	1871.37	sm	455.55	Balcony setback	1.20	m	n/a
GFA (sf)	20143.28	sf	4,903.50	HEIGHT	9.50	m	10.76
Coverage				Coverage			
30%	2532.06	sm	640.72	Roof Slope	7.50	m	n/a
7.62%	27147.21	sf	6,896.65	Eaves	6.40	m	8.04
Setbacks				Setbacks			
Front	tbd	m	15.16	Front	tbd	m	15.16
Interior Side R	tbd	m	30.64	Interior Side R	tbd	m	30.64
Interior Side L	tbd	m	34.08	Interior Side L	tbd	m	34.08
Rear	tbd	m	47.72	Rear	tbd	m	47.72
Garage Projection				Garage Projection			
No	tbd	m		No	tbd	m	
Allowed	0.00	m		Allowed	0.00	m	
Garage Area	75.00	sm	69.85	Garage Area	75.00	sm	69.85
Zoning Variance Required - Subject to municipal zoning review				Zoning Variance Required - Subject to municipal zoning review			

PROJECT STATISTICS			
TARIION BULLETIN No. 22			
Ground	4177.8	sf	
Second	4177.8	sf	
Total	8355.6	sf	
BY-LAW FLOOR AREA			
Ground	4087.9	sf	
Second	4087.9	sf	
Total Floor Area	8175.8	sf	
Garage	515.5	sf	
Total W/ Garage	8691.3	sf	
COVERAGE CALCULATION			
House	5.55%	466.79	sm
Front Porch	0.12%	9.96	sm
Rear Porches	0.49%	41.44	sm
Overhang	1.46%	122.53	sm
Total	7.62%	640.72	sm