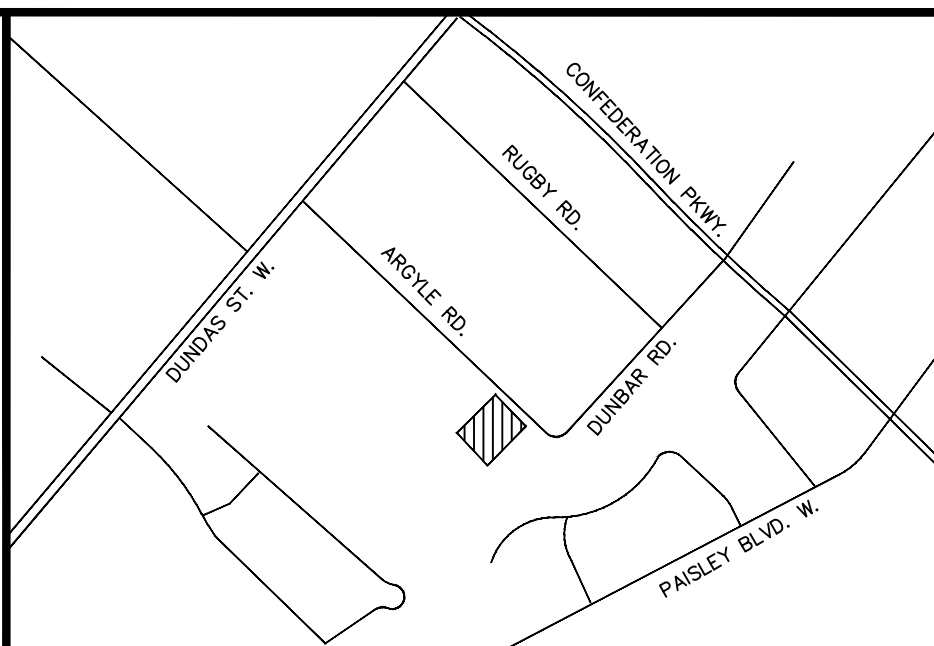
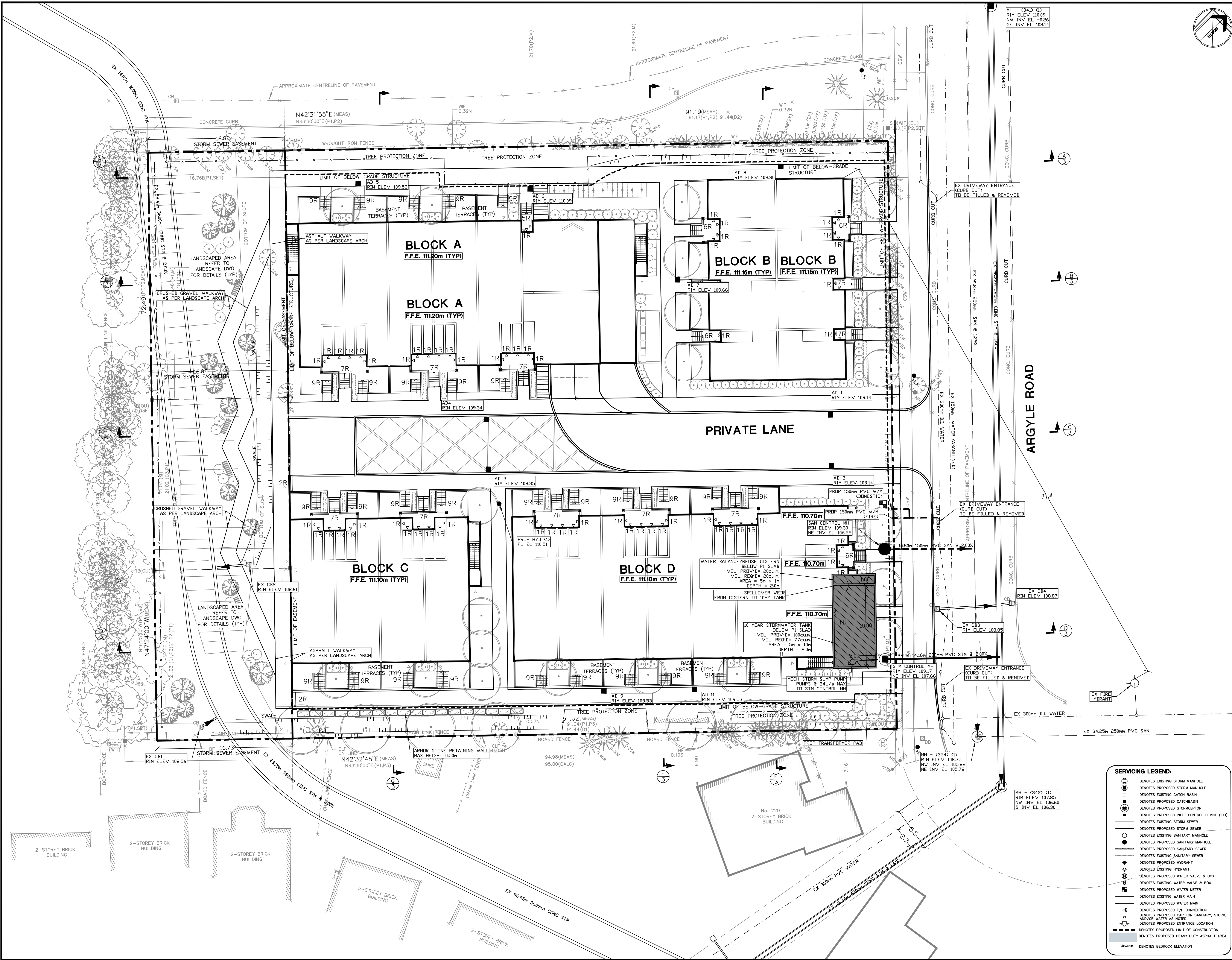




KEY PLAN
Scale : N.T.S.

SUBJECT LANDS

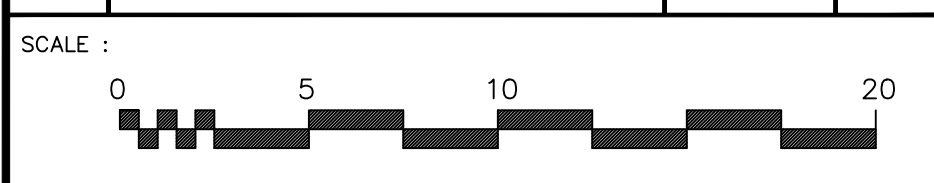
NOTE :
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THIS DRAWING IS NOT TO BE SCALED. CONTRACTOR TO USE DIGITAL FILES FOR LAYOUT PROVIDED BY ENGINEER.
THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS.
THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC...
EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED BY R. AVIS SURVEYING INC. IN THEIR BOUNDARY AND TOPOGRAPHIC SURVEY OF JANUARY 15, 2017.

BENCH MARK:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF MISSISSAUGA BENCH MARK No. 1060, HAVING AN ELEVATION = 115.956 metres.

BEARING NOTE:
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF ARGYLE ROAD AS SHOWN ON REGISTERED PLAN E-23 HAVING A BEARING OF N46°19'00"W.

METRIC NOTE:
DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

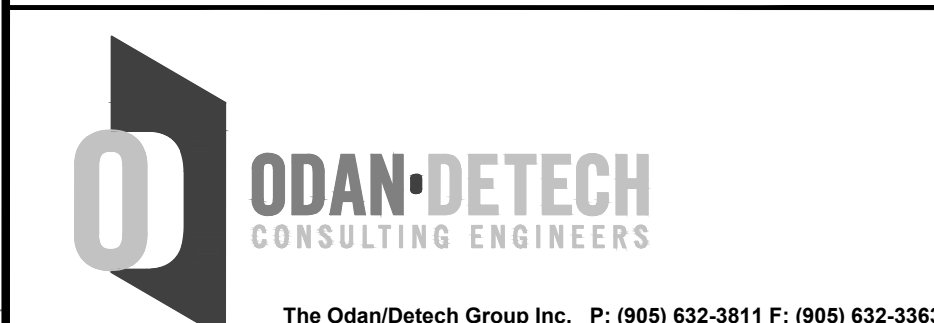
3.	ISSUED FOR ZONING RESUBMISSION	AUG 14/19	D.B.
2.	ISSUED FOR ZONING RESUBMISSION	MAY 22/19	D.B.
1.	ISSUED FOR ZONING SUBMISSION	OCT 19/18	D.B.
NO.	REVISIONS	DATE	BY



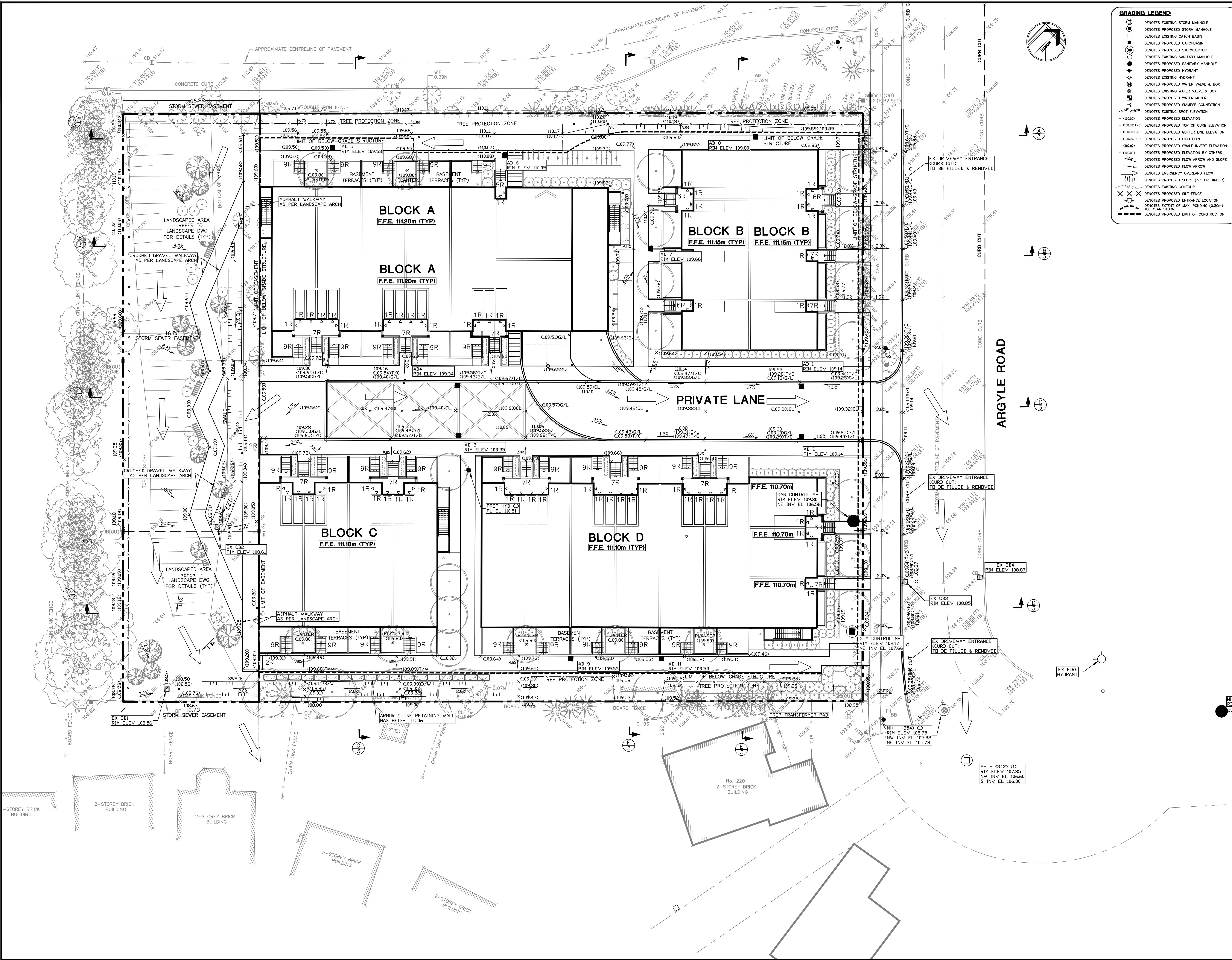
FUNCTIONAL SERVICING PLAN

CLIENT :
PLAZACORP INVESTMENTS LTD.
10 WANLAN AVENUE, SUITE 201
TORONTO, ON

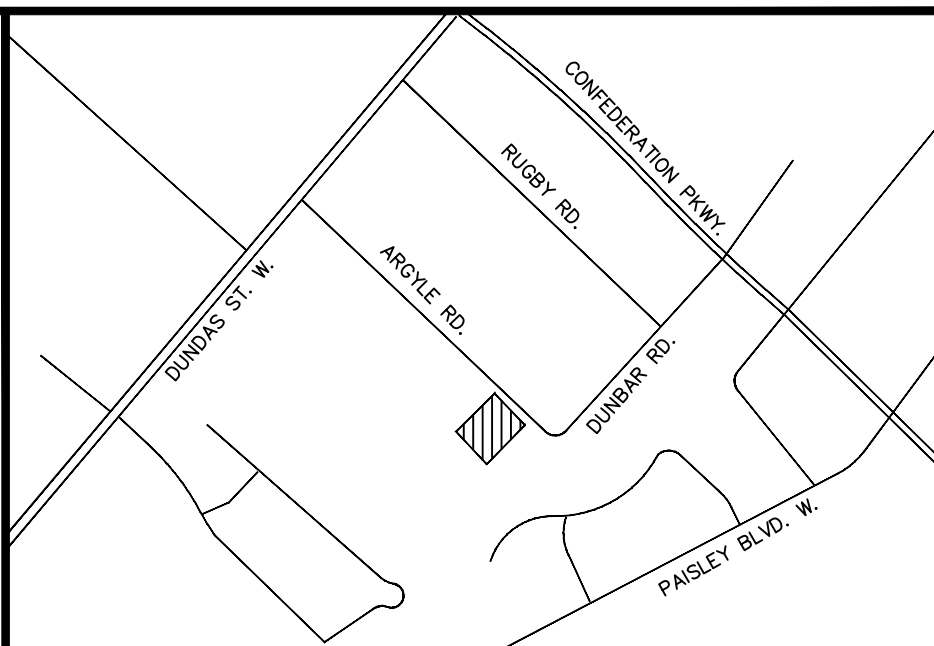
PROJECT :
PROPOSED RESIDENTIAL TOWNHOUSE DEVELOPMENT
2512-2532 ARGYLE ROAD
MISSISSAUGA, ONTARIO



SCALE : 1:200	PROJ. NO.: 18201	DATE STARTED: JAN 2018	DESIGN BY: D.B.
18201-1F.dwg			DRAWN BY: D.B.
			CHECKED BY: J.K.
			APPROVED BY: J.K.
			DRWG. NO.: 1 OF 3
			ENGINEER



- GRADING LEGEND:**
- DENOTES EXISTING STORM MANHOLE
 - DENOTES PROPOSED STORM MANHOLE
 - DENOTES EXISTING CATCH BASIN
 - DENOTES PROPOSED CATCH BASIN
 - DENOTES EXISTING STORM/CEP
 - DENOTES PROPOSED STORM/CEP
 - DENOTES EXISTING SANITARY MANHOLE
 - DENOTES PROPOSED SANITARY MANHOLE
 - DENOTES EXISTING HYDRANT
 - DENOTES PROPOSED HYDRANT
 - DENOTES EXISTING WATER VALVE & BOX
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 - DENOTES EXISTING WATER VALVE & BOX
 - DENOTES PROPOSED WATER VALVE & BOX
 - DENOTES EXISTING WATER METER
 - DENOTES PROPOSED WATER METER
 - DENOTES EXISTING SIAMSE CONNECTION
 - DENOTES PROPOSED SIAMSE CONNECTION
 - DENOTES EXISTING SPOT ELEVATION
 - DENOTES PROPOSED SPOT ELEVATION
 - DENOTES EXISTING TOP OF CURB ELEVATION
 - DENOTES PROPOSED TOP OF CURB ELEVATION
 - DENOTES EXISTING GUTTER LINE ELEVATION
 - DENOTES PROPOSED GUTTER LINE ELEVATION
 - DENOTES EXISTING HIGH POINT
 - DENOTES PROPOSED HIGH POINT
 - DENOTES EXISTING SWALE INVERT ELEVATION
 - DENOTES PROPOSED SWALE INVERT ELEVATION
 - DENOTES EXISTING ELEVATION BY OTHERS
 - DENOTES PROPOSED ELEVATION BY OTHERS
 - DENOTES EXISTING FLOW ARROW AND SLOPE
 - DENOTES PROPOSED FLOW ARROW AND SLOPE
 - DENOTES EXISTING FLOW ARROW
 - DENOTES PROPOSED FLOW ARROW
 - DENOTES EXISTING OVERLAND FLOW
 - DENOTES PROPOSED OVERLAND FLOW
 - DENOTES EXISTING SLOPE (3:1 OR HIGHER)
 - DENOTES PROPOSED SLOPE (3:1 OR HIGHER)
 - DENOTES EXISTING CONTOUR
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 - DENOTES EXISTING SLOPE FENCE
 - DENOTES PROPOSED SLOPE FENCE
 - DENOTES EXISTING ENTRANCE LOCATION
 - DENOTES PROPOSED ENTRANCE LOCATION
 - DENOTES EXISTING LIMIT OF CONSTRUCTION
 - DENOTES PROPOSED LIMIT OF CONSTRUCTION



KEY PLAN
Scale : N.T.S.

SUBJECT LANDS

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BEARING NOTE:
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METRIC NOTE:
DISTANCES AND ELEVATIONS ON THIS PLAN ARE TYPICALLY SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NO.	REVISIONS	DATE	BY
3.	ISSUED FOR ZONING RESUBMISSION	AUG 14/19	D.B.
2.	ISSUED FOR ZONING RESUBMISSION	MAY 22/19	D.B.
1.	ISSUED FOR ZONING SUBMISSION	OCT 19/18	D.B.

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FUNCTIONAL GRADING PLAN

CLIENT : **PLAZACORP INVESTMENTS LTD.**
10 WANLAN AVENUE, SUITE 201
TORONTO, ON

PROJECT : **PROPOSED RESIDENTIAL TOWNHOUSE DEVELOPMENT**
2512-2532 ARGYLE ROAD
MISSISSAUGA, ONTARIO

ODAN-DETECH
CONSULTING ENGINEERS

The OdanDeteach Group Inc. P: (905) 632-3811 F: (905) 632-3383
8230 SOUTH SERVICE ROAD, BURLINGTON, ONTARIO, L7L 5K2

SCALE : 1:200
PROJ. NO.: 18201
DATE STARTED: JAN 2018
DESIGN BY: D.B.
DRAWN BY: D.B.
CHECKED BY: J.K.
APPROVED BY: J.K.
DRWG. NO.: 2 OF 3
ENGINEER



Scale : N.T.S.

SUBJECT
AND

NOTE :

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NO.	REVISIONS	DATE	BY

SCALE :

DRAWING :

FUNCTIONAL SECTIONS

CLIENT :

PLAZACORP INVESTMENTS LTD.
10 WANLESS AVENUE, SUITE 201
TORONTO, ON

PROJECT :

**PROPOSED RESIDENTIAL TOWNHOUSE
DEVELOPMENT**
2512-2532 ARGYLE ROAD
MISSISSAUGA, ONTARIO



SCALE :

1:200

PROJ. NO.

182

DATE STARTED:	DESIGN BY:
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D.B.

18201-3F.dwg



CHECKED BY:

J.K.

APPROVED BY _____

DRWG. NO.

3 OF 3

ENGINEER