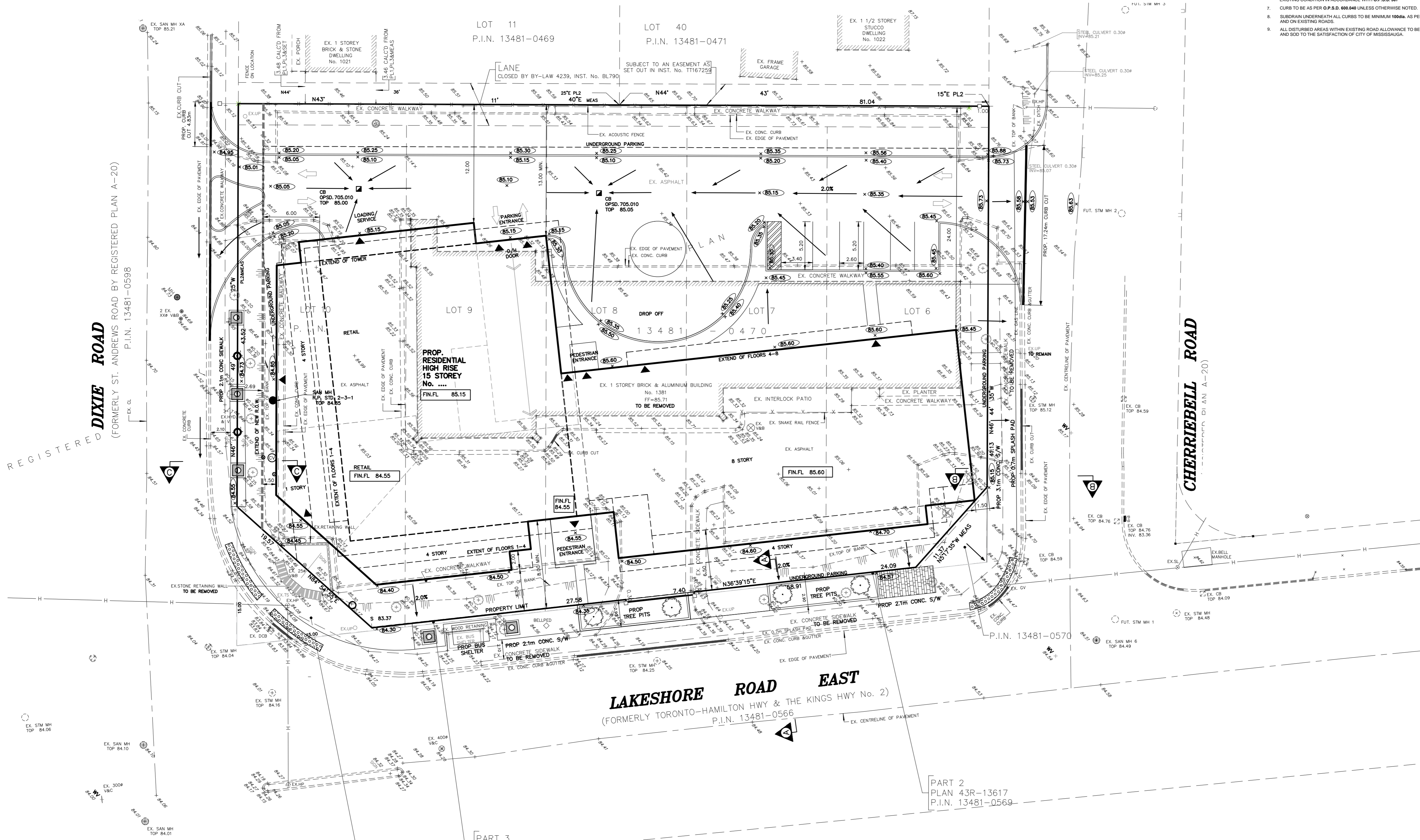


**ROADS**

- ALL FILL WITHIN ROAD ALLOWANCE AND EASEMENTS TO BE COMPACTED TO MIN 95% STANDARD PROCTOR DENSITY. THE STABILITY AND COMPACTION OF ALL FILL MATERIALS TO BE CONFIRMED BY A REGISTERED SOIL CONSULTANT TO THE CITY ENGINEER. AND THE SUBGRADE OF ALL ROADWAYS SHALL BE PROOF ROLLED UNDER THE SUPERVISION OF THE SOILS CONSULTANT PRIOR TO THE INSTALLATION OF ANY ROAD BASE MATERIALS.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES, WATERMANS, SEWERS AND OTHER UNDERGROUND OR ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR MUST EXAMINE THE ACCURACY OF SUCH EXISTING UTILITIES AND STRUCTURES WHETHER SHOWN OR NOT AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM. ANY DISCREPANCIES TO LOCATION OF EXISTING WATERMANS AND SEWERS TO BE RECTIFIED AT DEVELOPER/ CONTRACTOR'S EXPENSE.
- THE DEVELOPER/CONTRACTOR MUST ENSURE THAT A SUBGRADE CERTIFICATE IS ISSUED BY THE GEOTECHNICAL SOILS CONSULTANT TO THE ENGINEER. ONLY UPON VERIFICATION AND APPROVAL OF THE SUBGRADE BY THE LOCAL AUTHORITY INSPECTOR/DEPARTMENT, WILL COMMENCEMENT OF ANY ROAD BASE MATERIALS BE PLACED. FAILURE TO FOLLOW THIS PROCEDURE WILL MEAN THE REMOVAL OF ROAD BASE MATERIALS AND/OR ADDITIONAL TESTING THAT PROPER COMPACTION HAS BEEN ACHIEVED AT THE SUBGRADE AT DEVELOPER/CONTRACTOR'S EXPENSE.
- TRENCH BACKFILLING ON PROPOSED ROADS SHALL COMPLY WITH CITY OF MISSISSAUGA SECTION 42.04, (TRENCH BACKFILLING ON ROADS) AS PROVIDED IN THE CITY'S DEVELOPMENT REQUIREMENT MANUAL.
  - THE TOP 100mm OF THE SUBGRADE IS TO BE COMPACTED TO A MINIMUM 95% OF SPD WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT.
- ALL CONNECTIONS WITHIN PAVED PORTION OF AN EXISTING ROAD TO BE BACKFILLED WITH UNSHRIKABLE BACKFILL MATERIAL AS PER C.M. STD. 2220.09, 2220.01 AND 2220.02 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAINED.
- ALL OTHER EXCAVATIONS WITHIN EXISTING ROAD ALLOWANCE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH GRANULAR 'C' MATERIAL AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY. SURFACE RESTORATION SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITION IN ACCORDANCE WITH O.P.S.S. 87.
- CURBS TO BE AS PER O.P.S.S. 80A.040 UNLESS OTHERWISE NOTED.
- SUBSEAL UNDERNEATH ALL CURBS TO BE MINIMUM 100mm, 10 PER C.M. STD. 2220.04F AND 2220.05 AND ON EXISTING ROADS.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOIL TO THE SATISFACTION OF CITY OF MISSISSAUGA.

**GENERAL NOTES**

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS. IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINES MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- THE ELEVATION OF THE SIDE SLOPE AT THE BUILDING LINE SHALL BE A MINIMUM OF 150mm BELOW THE BUILDING LINE AT THE CENTRE OF THE SWALE.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150mm BELOW BRICK VENEER ELEVATION.
- PRIOR TO ANY FOOTING, THE BUILDER IS TO ENSURE TO THE SOILS CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SLOPED COMPLETELY WITH A MINIMUM DEPTH OF 100mm OF TOPSOIL AND NOT A MINORITY SOILS AND A MINIMUM DEPTH OF 100mm OF FINISHED GRADE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOTS IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING OR FUTURE SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- LAWN AND SHOULDS SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 8%.
- WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MINIMUM SLOPE SHALL BE 3:1 GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- ALL BACKFILL FOR SEWERS, WATERMANS AND UTILITIES ON THE ROAD ALLOWANCE AND THE INTERNAL SITE MUST BE COMPACTED TO MINIMUM 95% S.P.D. EXCEPT FOR TOP 100mm WHICH MUST BE COMPACTED TO 98% S.P.D. ON THE ROAD ALLOWANCE UNLESS OTHERWISE NOTED AND UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL SOILS CONSULTANT.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 2940.010.



REGISTERED **DIXIE ROAD**  
(FORMERLY ST. ANDREWS ROAD BY REGISTERED PLAN A-20)  
P.I.N. 13481-0598

**CHERRIBELL ROAD**  
(FORMERLY DIANE A-70)

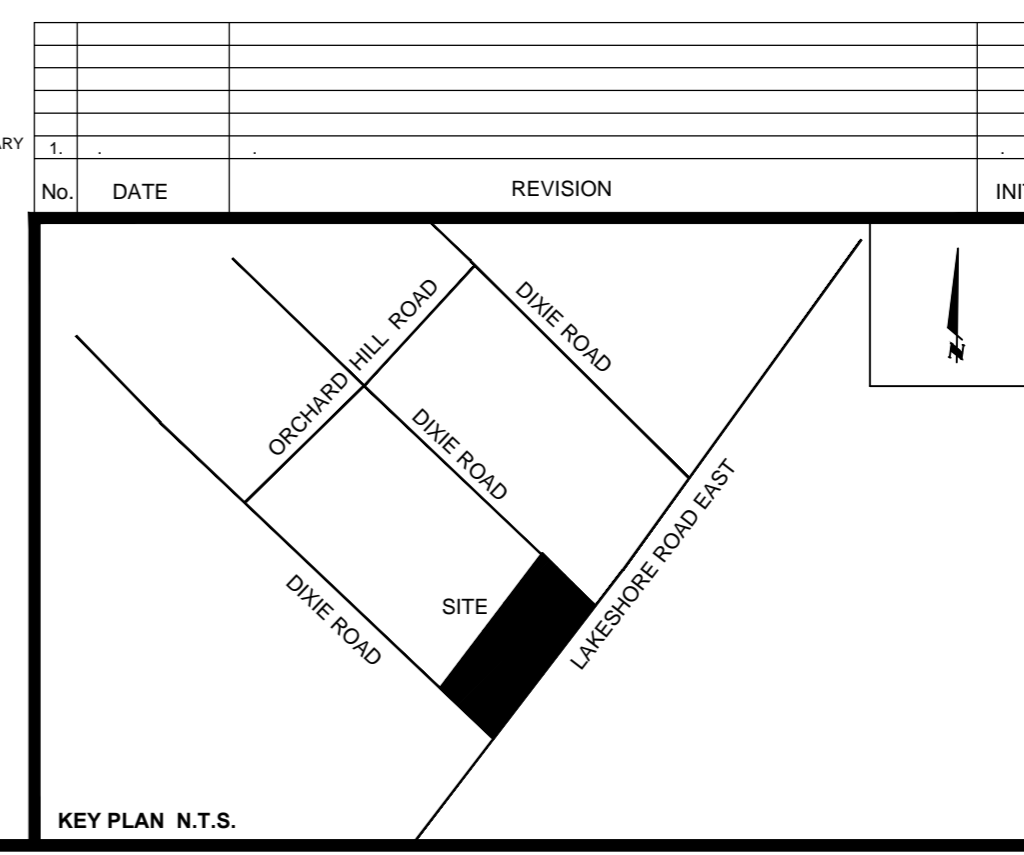
**LAKESHORE ROAD EAST**  
(FORMERLY TORONTO-HAMILTON HWY & THE KINGS HWY No. 2)  
P.I.N. 13481-0566

PART 4  
PLAN 43R-13617  
P.I.N. 13481-0567

PART 3  
PLAN 43R-13617  
P.I.N. 13481-0568

PART 2  
PLAN 43R-13617  
P.I.N. 13481-0569

- LEGEND**
- EXISTING ELEVATION TO REMAIN
  - EXISTING ELEVATION
  - DIRECTION OF SURFACE FLOW
  - PROPOSED ELEVATION
  - PROPOSED CATCHBASIN
  - PROPOSED CATCHBASIN WITH TEMPORARY SEDIMENT CONTROL
  - EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED
  - EXISTING TREE TO BE RELOCATED
  - SUMP PUMP
  - HYDRO METER
  - GAS METER
  - SANITARY SEWAGE EJECTOR
  - METER ROOM
  - ROOF DOWNSPOUTS
  - AREA DRAIN
  - SEDIMENT CONTROL FENCE
  - TREE HOARDING
  - FRAMED TREE HOARDING
  - SOLID PLYWOOD HOARDING
  - PROPOSED GAS MAIN
  - PROPOSED HYDRO

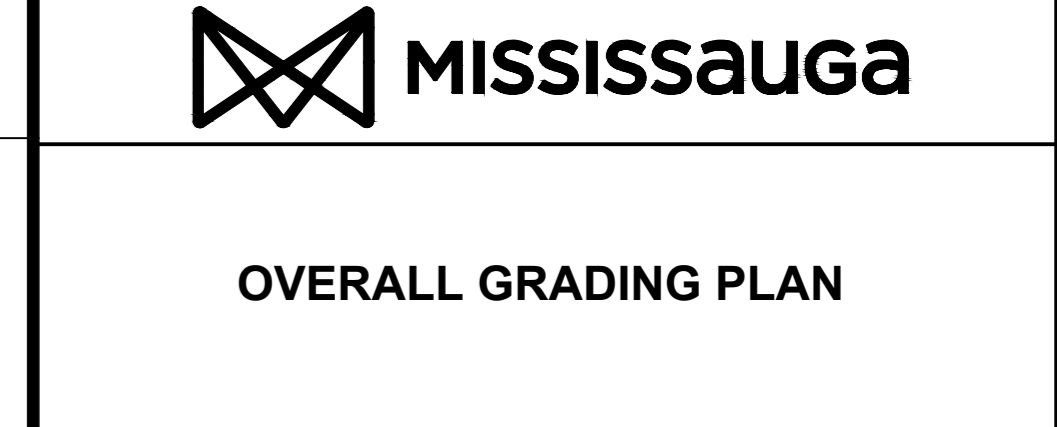


**C.M. BENCHMARK No. 1352** ELEVATION: 84.522  
DESCRIPTION: ELEVATION SHOWN HEREON ARE REFERRED TO THE CITY OF MISSISSAUGA No. 102 HAVING AN ELEVATION OF 84.522 METRES. BENCHMARK IS LOCATED ON THE NORTH FACE AT THE EAST CORNER OF RED BRICK OFFICE BUILDING No. 1352, ON THE SOUTH SIDE OF LAKESHORE ROAD, EAST (HWY No. 2)

**SKIRA & ASSOCIATES LTD.**  
CONSULTING ENGINEERS  
3464 Semenyk Court, Suite 100, Mississauga, Ontario L5C 4P8  
Tel. (905) 270-5100 Fax. (905) 270-1536 Email - info@skiraconsult.ca

**PROPOSED CONDOMINIUM BUILDING**  
LOTS 6, 7, 8, 9 AND 10 AND PART OF LANE  
REGISTERED PLAN A-20  
1381 LAKESHORE ROAD EAST

**CITY PARK HOMES**  
950 NASHVILLE RD, VAUGHAN, ON. PH: (905) 552-5200



DATE: JUNE 2020	AREA: Z-6	DWG No. <b>C102</b>
SCALE: 1:250	DRAWN BY: E.K.	PROJECT No. <b>219-M46-2</b>
CITY FILE: XXXXXX	REGION FILE: XXXXXX	