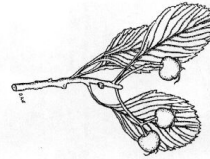


Arborist Report for 1381 Lakeshore Road East

Mississauga, Ontario



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1. Introduction

The following is an arborist report for the property at 1381 Lakeshore Road East Drive, in Mississauga Ontario. The purpose of this report was to ascertain the potential impacts of the proposed construction of a new development on the trees on the site and on adjacent properties.

This report was written for *MSLA*.

2. Methods

An on-site inspection was made on December 4, 2019. The sizes of individual trees were measured as diameter at breast height (DBH), breast height being 137 cm from ground level. The locations of these trees are indicated on the modified site plan (Fig. 1). From the data collected plant Condition Rating (CR), Location Rating (LR), Species Rating (SR), and minimum Tree Protection Zones (TPZ), were estimated.^{1,2}

It is necessary to protect all trees designated for preservation during both demolition and construction. This tree protection can be accomplished by protecting the said trees with *tree protection barriers*. The minimum tree protection zone (TPZ) radius is based on the diameter of the tree ($TPZ \approx 0.06_{m/cm} \times DBH_{cm}$). Tree barriers for road allowance areas would be composed of a 1.2 metres (4 ft.) high plastic safety fencing secured on metal T-bar supports as per city “framed hoarding” detail. Usually, tree protection barriers, not on road allowance, are to be “solid board hoarding” at 1.2 metres (4 ft.) high, and composed of plywood.³

TPZ signs must be added to TPZ barriers. Signage, as shown in typical detail drawing ‘Tree Protection Zone (TPZ) Signage NHF-401’, shall be installed on all sides of the TPZ barrier. The distance between individual signs shall not exceed 10 meters on any one side of the barrier. The phone number required to be printed on TPZ signage should be that of the appropriate District of the Tree Protection and Plan Review.

3. Discussion

There are plans to develop the site at 1381 Lakeshore Road East several non-exempt trees would need to be injured or removed, in order to allow for the proposed development (Table 1, Fig. 1).

3.2 Roadside Trees

Removal

Nine (9) city owned trees over 15cm DBH are proposed to be removed. (Table 1, Fig. 1 Trees #3,4,5,6,7,8,9 & 13). These trees are in conflict with the proposed development.

Four (4) dead city owned trees are also proposed for removal (Table 1, Fig. 1 Trees #2,10,11 & 12).

3.3 Private Trees

Removal

Five (5) privately owned trees over 15cm DBH are proposed to be removal. (Table 1, Fig. 1 Trees #15,16,17,18 & 19). These trees are in conflict with the proposed development.

3.4 Neighbouring Trees

No Neighbouring trees will require removal or injury. Several Neighbouring trees are to be retained and the existing fence is to act as protection during the demolition and construction work on the site. Refer to tree locations on the plan developed by *MSLA Landscape Architects*..

4. Conclusion

In order to allow for the proposed construction at 1381 Lakeshore Road East, several non-exempt trees would be removed or injured as follows.

Five (5) privately owned trees over 15cm DBH are proposed for removal.

Nine (9) city owned trees over 15cm DBH are proposed for removal.

No (0) neighbouring trees require injury or removal.

D. Andrew White M. Sc.



December 5, 2019

Table #1. Tree number (No.), species, diameter at breast height (DBH), Condition Rating (CR) Tree Category (TC) and recommendation.

No.	Tree Species	DBH (cm)	CR (%)	TC	Recommendation
#1	White spruce	16	70	City	To Remain
#2	Spruce	41	0*	City	To be Removed; <i>Dead</i>
#3	Norway spruce	54	55	City	To be Removed ; <i>conflict with proposed development</i>
#4	Norway maple	30	60	City	To be Removed ; <i>conflict with proposed development</i>
#5	Norway maple	27	65	City	To be Removed ; <i>conflict with proposed development</i>
#6	Hackberry	28	65	City	To be Removed ; <i>conflict with proposed development</i>
#7	Hackberry	35	55	City	To be Removed ; <i>conflict with proposed development</i>
#8	Hackberry	30	65	City	To be Removed ; <i>conflict with proposed development</i>
#9	Norway maple	26	60	City	To be Removed ; <i>conflict with proposed development</i>
#10	Norway maple	28	0*	City	To be Removed; <i>Dead</i>
#11	Norway maple	19	0*	City	To be Removed; <i>Dead</i>
#12	Norway maple	27	0*	City	To be Removed; <i>Dead</i>
#13	Norway maple	31	60	City	To be Removed ; <i>conflict with proposed development</i>
#14	Norway maple	29	50	City	To be Removed ; <i>conflict with proposed development</i>
#15	Linden	32	55	Private	To be Removed ; <i>conflict with proposed development</i>
#16	Linden	32	60	Private	To be Removed ; <i>conflict with proposed development</i>
#17	Norway maple	33	60	Private	To be Removed ; <i>conflict with proposed development</i>
#18	Norway maple	28	60	Private	To be Removed ; <i>conflict with proposed development</i>

#19	Linden	29	60	Private	To be Removed; <i>conflict with proposed development</i>
#20	White cedar	18	65	Neigh.	To Remain
#21	Manitoba maple	26-32	60	Neigh.	To be <u>Preserved</u>
#22	Manitoba maple	10-15	60	Neigh.	To be <u>Preserved</u>
#23	Manitoba maple	28	60	Neigh.	To be <u>Preserved</u>
#24	Spruce	28	0*	Neigh.	To be <u>Preserved</u>
#25	Manitoba maple	30-45	55	Neigh.	To be <u>Preserved</u>
#26-33	White cedars	10-14	50-60	Neigh.	To be <u>Preserved</u>

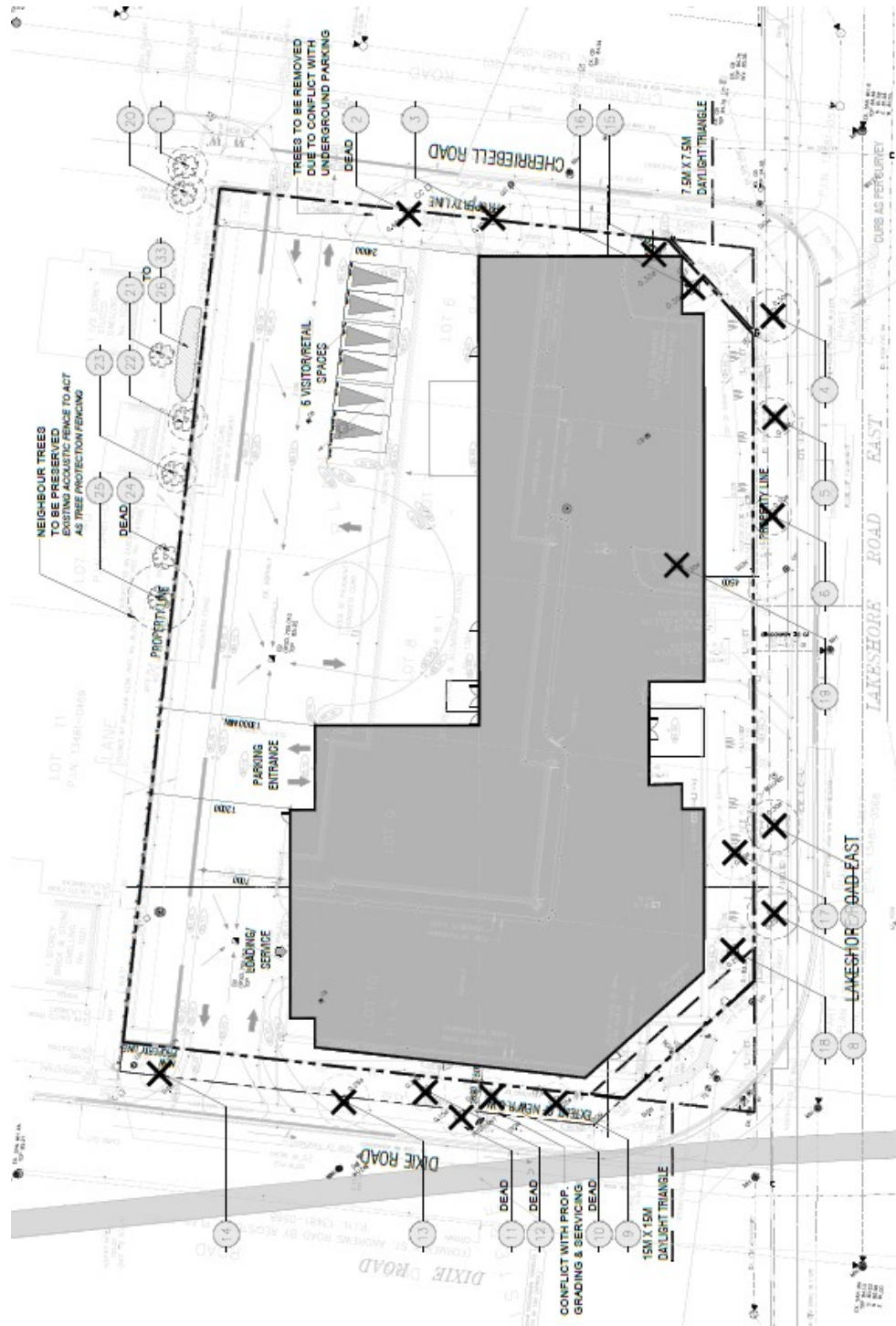


Figure #1: Tree locations on the 1381 Lakeshore Road East development site

4. References

1- Council of Tree Landscape Appraisers. 2000. Guide for Plant Appraisal. 9th Edition. International Society of Arboriculture.

2- International Society of Arboriculture of Ontario. 1998. Ontario Supplement to Guide for Plant Appraisal 8th Edition. Ontario Chapter, International Society of Arboriculture.

5. Photographs



Image #1: Existing Trees along Dixie road frontage.



Image #2: Existing Trees along Lakeshore Road frontage.



Image #3: Existing Trees #15 & 16 at Lakeshore and Cherribell intersection



Image #4: Existing Neighbouring trees to remain at rear of property.



Image #5: Existing Trees #1 & 20 along Cheribell Road.