

PART OF LOTS 6,7,8 & 9, CONCESSION 9, N.S.
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

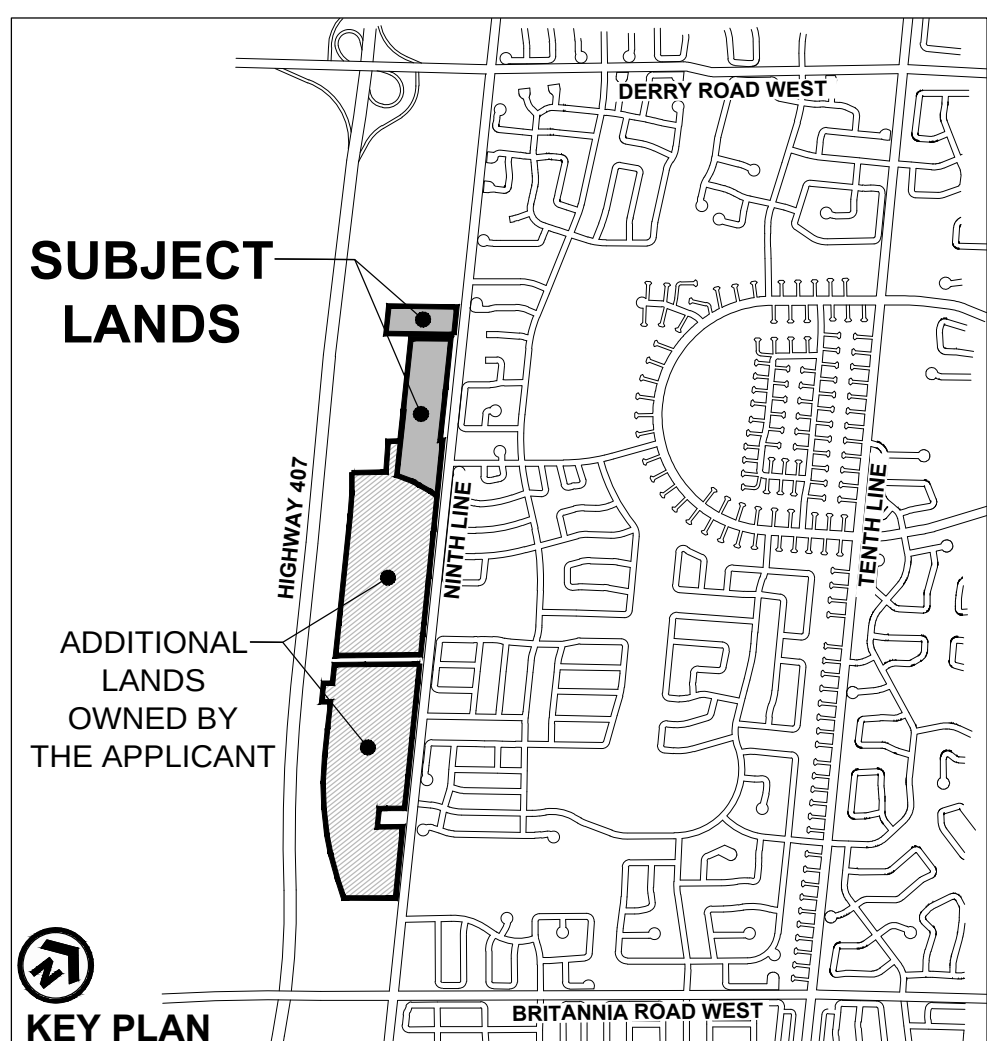
I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF MISSISSAUGA FOR APPROVAL.

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY CLAUSES A,B,C,D,E,F,G,J & L ARE SHOWN ON THE DRAFT AND KEY PLANS.

- ALL DAYLIGHT ROUNDINGS ARE 5m UNLESS OTHERWISE NOTED

LAND USE	LOTS / BLOCKS	AREA (ha)	AREA (ac)	TOTAL UNITS	DENSITY (UPNHA)
REAR LANE DETACHED - 10.7m (35')	1-28	0.56	1.38	28	50.0
REAR LANE TOWNHOUSE - 6.05m (20')	29-41	0.80	1.98	69	86.3
STREET TOWNHOUSE - 6.0m (20')	42-59	1.70	4.20	101	59.4
CONDO APARTMENTS / TOWNS / STACKS	60	0.84	2.08	140-200	166.7-238.1
RESIDENTIAL RESERVE	61	0.50	1.24		
PARK / WALKWAY	62-69	1.13	2.79		
BUFFERS	70-72	0.10	0.25		
ROAD WIDENINGS	73,74	0.17	0.42		
0.3m RESERVES	75,76	0.00	0.00		
10.0m LANEWAY (447m LENGTH)		0.46	1.14		
17.0m LOCAL ROW (634m LENGTH)		1.10	2.72		
20.0m LOCAL ROW (572m LENGTH)		1.17	2.89		
TOTAL	76	8.53	21.08	338-398	86.7-102.1



Glen Schnarr & Associates Inc.