



Terraprobe

*Consulting Geotechnical & Environmental Engineering
Construction Materials Inspection & Testing*

**PHASE ONE
ENVIRONMENTAL SITE ASSESSMENT
1575 HURONTARIO STREET
MISSISSAUGA, ONTARIO**

Prepared for: Dream Maker Developments
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TABLE OF CONTENTS

SECTION	PAGE
1.0 EXECUTIVE SUMMARY	1
2.0 INTRODUCTION	3
2.1 Phase One Property Information.....	3
2.2 Site Description.....	3
2.3 Buildings.....	3
2.4 Purpose of Investigation	4
3.0 SCOPE OF INVESTIGATION	5
3.1 Records Review	5
3.2 Interviews.....	6
3.3 Site Reconnaissance.....	6
3.4 Documentation and Evaluation of Information	7
4.0 RECORDS REVIEW.....	8
4.1 General.....	8
4.1.1 Phase One Study Area Determination	8
4.1.2 First Developed Use Determination.....	8
4.1.3 Fire Insurance Plans and Insurance Inspection Reports.....	8
4.1.4 Chain of Title.....	8
4.1.5 City Directory Search	9
4.1.6 Environmental Reports	9
4.2 Environmental Source Information.....	9
4.2.1 EcoLog ERIS	9
4.2.2 Other Source Information	9
4.3 Physical Setting Sources	10
4.3.1 Aerial Photographs	10
4.3.2 Topography Hydrology, Geology	11
4.3.3 Fill Materials.....	11
4.3.4 Water Bodies and Areas of Natural Significance	11
4.3.5 Well Records	12
4.4 Site Operating Records	13
5.0 INTERVIEWS	14
6.0 SITE RECONNAISSANCE	15
6.1 General Requirements.....	15
6.2 Specific Observations at Phase One Property.....	15
6.2.1 Building Description.....	15
6.2.2 Designated Substances and Other Special Attention Items	15
6.2.3 Below Ground Structures.....	16
6.2.4 Aboveground Storage Tanks	16
6.2.5 Underground Storage Tanks	16
6.2.6 Exterior Site Conditions.....	16
6.2.7 Enhanced Investigation Property	17
6.3 Investigation of Phase One Study Area	17
6.3.1 Potentially Contaminating Activity	18
7.0 REVIEW AND EVALUATION OF INFORMATION	19



7.1	Current and Past Uses	19
7.2	Potentially Contaminating Activities	19
7.3	Areas of Potential Environmental Concern	20
7.4	Phase One Conceptual Site Model.....	20
7.5	Uncertainty or Absence of Information	20
8.0	CONCLUSIONS	23
8.1	Phase Two ESA Required Before Record of Site Condition.....	23
8.2	Record of Site Condition Based on Phase One ESA Alone	23
8.3	Signatures.....	23
9.0	REFERENCES	24
10.0	LIMITATIONS AND USE OF THE REPORT	25

FIGURES

- Figure 1 – Phase One Property Location
- Figure 2 – Phase One Property
- Figure 3 – Phase One Study Area
- Figure 4 – PCA Locations
- Figure 5 – APEC Locations

APPENDICES

- Appendix A – Site Photographs
- Appendix B – Site Location Plan
- Appendix C – Title Search Results
- Appendix D – City Directory Search
- Appendix E – EcoLog ERIS Report
- Appendix F – Regulatory Responses
- Appendix G – Aerial Photographs and historic maps
- Appendix H – Topographic Map and Geological Mapping
- Appendix I – Water Well Record
- Appendix J – Table of Current and Past Land Uses
- Appendix K – APEC Table
- Appendix L – Phase One Conceptual Site Model



1.0 EXECUTIVE SUMMARY

Terraprobe Inc. (Terraprobe) was retained by Dream Maker Developments c/o Glen Schnarr & Associates Inc. (GSAI) to complete a Phase One Environmental Site Assessment (ESA) of the property (herein referred to as "Property") situated on the east side of Hurontario Street, approximately 115 metres to the south of South Service Road, in Mississauga, Ontario. The Property has the municipal address of 1575 Hurontario Street, Mississauga, Ontario.

The Property is approximately rectangular in shape and covers an area of approximately 0.4 ha (0.9 acres). The Property is currently vacant. The Property was formerly occupied by a restaurant (McDonalds) that has been demolished. The foundations of former building were noted in the central portion of the Property. The majority of the Property is developed with asphalt paved driveways/parking areas. The northern portion of the Property is covered with landscaped grass and trees. The surrounding area is predominantly residential and commercial in land use. The Property was formerly commercial in land use per Ontario Regulation 153/04 (O.Reg.153/04).

Based on the preliminary Site Plan provided by GSAI, the Property is proposed to be re-developed for residential use with townhouse units and one level of underground parking. The Phase One Environmental Site Assessment (ESA) was completed in accordance with Ontario Regulation 153/04, as amended, as a condition for site plan approval process and filing of a Record of Site Condition (RSC).

Based on the records reviewed and site inspection, the following Potentially Contaminating Activities (PCAs) were identified within the Phase One Property and Phase One Study Area (Study Area).

On-Site PCAs

Southern half of the Phase One Property (Exterior of the building)

- #30 – Importation of Fill Material of Unknown Quality. Suspected fill material may have been used during the development of the Property.

Off-Site PCAs

- #28 – Gasoline and Associated Products Storage in Fixed Tanks. Historical fuel outlet with single walled underground storage tanks (USTs) located approximately 90 m northwest of the Property.

The Phase One ESA identified the following Areas of Potential Environmental Concern (APECs) on the Property:

APEC	Location of APEC on the Property	Details	Potential Contaminants of Concern (PCoCs)	Media Potentially Impacted
APEC 1	Southern half of the Phase One Property (Exterior of the building)	PCA #30, Result of potential use of fill material during development of the Property	Metals, Electrical Conductivity (EC), Sodium Adsorption Ratio (SAR), Sb, As, Se, Cr(VI), Na, Hg, B-HWS, pH, CN-, PAHs, Polychlorinated biphenyl (PCBs)	Soil and ground water



APEC	Location of APEC on the Property	Details	Potential Contaminants of Concern (PCoCs)	Media Potentially Impacted
APEC 2	Southwestern portion	PCA #28, Result of historical fuel outlet with single walled USTs located approximately 90 m northwest of the Property	PHCs, VOCs, BTEX	Ground water

Based upon the review and evaluation of information gathered from the Phase One ESA, two (2) Areas of Potential Environmental Concern (APECs) have been identified on the Phase One Property arising from the current and historical PCA found at the Property and within the Phase One Study Area which may have resulted in adverse impact to the environmental condition of the Property. A Phase Two ESA is required to investigate the APECs.



2.0 INTRODUCTION

Terraprobe Inc. (Terraprobe) was retained by Dream Maker Developments c/o Glen Schnarr & Associates Inc. (GSAI) to complete a Phase One Environmental Site Assessment (ESA) of the property (hereinafter referred to as “Property”) situated on the east side of Hurontario Street, approximately 115 metres to the south of South Service Road, in Mississauga, Ontario. The Property has the municipal address of 1575 Hurontario Street, Mississauga, Ontario.

The general location of the Property is presented in the Phase One Property Location (Figure 1).

2.1 Phase One Property Information

The Property information is provided as below.

Legal Description	Part Lot 1 Range 2 CIR
PIN	<ul style="list-style-type: none">13469-0006 (LT)
Municipal Address	<ul style="list-style-type: none">1575 Hurontario Street, Mississauga
Zoning	R1-1 Zone – Residential Zones
Property Owner Information	10422967 Canada Corp.

2.2 Site Description

The Property is located in the southeast quadrant of Hurontario Street and South Service Road in Mississauga, Ontario. Access to the Property is via Hurontario Street.

The Property is approximately rectangular in shape and covers an area of approximately 0.4 ha (0.9 acres). The Property is currently vacant. The majority of the areas are developed with asphalt paved driveways/parking areas and landscaped grass and trees. The surrounding area is predominantly residential and commercial in land use. The Property was formerly occupied by a restaurant (McDonalds) and was commercial in land use per Ontario Regulation 153/04 (O.Reg.153/04). Site features are presented in Figure 2. Site photographs are shown in Appendix A. The site location plan is shown in Appendix B.

2.3 Buildings

No buildings were observed at the time of site inspection. The foundations (one basement level) of a former building were exposed and located in the middle of the Property.



2.4 Purpose of Investigation

Based on the preliminary Site Plan provided by GSAI, the Property is proposed to be re-developed for residential use with townhouse units and one level of underground parking. The Phase One Environmental Site Assessment (ESA) is required to be completed in accordance with Ontario Regulation 153/04, as amended, as a condition for site plan approval process and filing of a Record of Site Condition (RSC).

The objective of the Phase One ESA was as follows:

- To assess the environmental condition of the Property.
- To identify potentially contaminating activities within the Study Area.
- Based on the above, to identify issues of obvious or potential environmental concern with respect to the Property.



3.0 SCOPE OF INVESTIGATION

The Phase One ESA involved the following principal tasks:

- A review of records and reports regarding historical and current occupancy and activities for the Property and Study Area.
- Interviews with available individuals having knowledge of current and/or past site activities.
- An inspection of the Property and observation of the Study Area.

The information on the Property and Study Area is summarized in this report. Sampling and analysis of soil, ground water, or other materials (e.g., construction materials, air) were not carried out as part of the investigation.

3.1 Records Review

The records review provides information on historical and current activities. The objectives of the records review were as follows:

- To obtain and review records that relate to the current and past uses, site features and activities at the Property.
- To obtain and review records that relate to potentially contaminating activities, water bodies, and areas of natural significance in the Study Area (in addition to the Property).
- Based on the above, to provide an assessment of actual and potential contaminating activities and concerns with respect to the environmental condition of the Property.

The following sources of information were reviewed:

- Archival information for the site including aerial photographs, topographic maps, historical maps and drawings.
- Site-specific environmental reports and/or company records (e.g., Certificates of Approval, waste generator registration, approvals, and permits) provided to Terraprobe.
- Geological and hydrogeological information in published government maps and/or reports.
- Databases maintained by EcoLog ERIS containing environmentally related information from private, provincial, and federal sources.
- Fire insurance plans and insurance inspection reports (and related plans) on file with EcoLog ERIS.
- Published Ontario Ministry of the Environment, Conservation and Parks (MECP) directories related to registered PCB storage sites and active and closed landfill sites.
- The Ontario Ministry of Natural Resources and Forestry (MNRF) Natural Heritage Information Centre database for information specific to natural areas, such as locations of environmentally sensitive areas.
- Published information regarding an Official Plan for the area.



- Sensitivity mapping by the local Conservation Authority.

3.2 Interviews

The objectives of the interview were:

- To obtain information to assist in determining if an area of potential environmental concern exists.
- To identify details of potentially contaminating activities or potential contaminant pathways in, on or under the Property.

Key personnel were interviewed and asked questions related to specific site activities, such as:

- The nature of the operations.
- Handling and storage of environmentally sensitive products and related wastes.
- Environmental approvals and registrations.
- Knowledge of previous reports related to the environmental condition of the Property.
- Issues related to non-compliance, orders, or charges related to environmental conditions on the Property.

3.3 Site Reconnaissance

The objectives of the site reconnaissance were:

- To identify potential environmental concerns based on observations of current and past uses, and potentially contaminating activities at the Property and in the Study Area.
- To identify potential pathways for contamination at the Property and Study Area.

The site reconnaissance included a review of issues of potential environmental concern, including the following:

- Activities and practices including site operations, processes and waste management currently carried out on the Property.
- Evidence of past waste disposal, landfill or fill placement on the Property.
- The presence of hazardous or toxic chemicals, materials or processes.
- The presence of existing or former aboveground or underground fuel storage tanks.
- Identification of heating and cooling systems.
- The presence of floor cracks, hydraulic hoists, elevators, sumps and drains, wells, pits and lagoons.
- Identification of water supply source to the Property.



- The presence of various designated substances and building materials, including friable and non-friable asbestos, PCB-containing materials and electrical equipment, lead-based paint, mould, and chlorofluorocarbons (CFCs) in air-conditioning and refrigeration equipment.
- Evidence of stained or odorous soils and stressed vegetation.

In addition, an inspection of adjacent properties within the Study Area (identified in Section 4.1.1) was completed to assess the potential for operations being carried out on those properties to impact on the environmental condition of the Property. The inspection of adjacent properties was limited to inspection from the Property boundaries and public areas (roads, sidewalks, etc.).

3.4 Documentation and Evaluation of Information

The information obtained from the records review, interviews and site reconnaissance was described, documented and evaluated as summarized below:

- Documentation of information, as noted in subsequent sections of the report.
- Description of potentially contaminating activities.
- Description of areas of potential environmental concern.
- Development of a Phase One Conceptual Site Model.
- Discussion of the need, if any, for further investigation.



4.0 RECORDS REVIEW

4.1 General

4.1.1 Phase One Study Area Determination

The Phase One Study Area (Study Area) consisted of properties located within a 250 m radius of the Property. Residential properties were located to the south, north and east. Commercial office buildings, school and Queen Elizabeth Way were located to the west and north of the Property. The Mary Fix Creek is located approximately 215 m to the southwest of the Property. The Phase One Study Area is shown on Figure 3.

Based on the historical property use and development on the Property and surrounding area, it was determined that a 250 m study area around the Property was sufficient to identify issues of potential environmental concern that could potentially impact on the environmental condition of the Property.

4.1.2 First Developed Use Determination

The determination of first developed use was based on a review of historical documentation regarding the Phase One Property. A review of historical records indicated that the Phase One Property was owned by private individuals at least since 1885. The Property was owned by various individuals until 1968, when the Property was purchased by Benjoseph Limited. Subsequently the Property was owned by various corporate entities until the current owner, 10422967 Canada Corp., obtained the Property in 2018. Historical aerial photograph and City of Mississauga records suggested that the Property has been developed for commercial land use at least since 1968. It is estimated that first developed use of the Phase One Property occurred at least since 1885 as a residential property.

4.1.3 Fire Insurance Plans and Insurance Inspection Reports

Fire Insurance Plans (FIPs) were searched through EcoLog ERIS for the Property. No FIPs of the Property were available.

4.1.4 Chain of Title

A chain of title was prepared for Terraprobe by Domson's Title Search Inc., a freelance title search consultant. Site ownership records dating back to 1885 were reviewed.

The Property was owned by private individuals at least since 1885. The Property was owned by various individuals until 1968, when the Property was purchased by Benjoseph Limited. Subsequently the Property was owned by various corporate entities until the current owner, 10422967 Canada Corp. The results of the title search are presented in Appendix C.



4.1.5 City Directory Search

Available city directories were reviewed for the Property and adjacent properties. The Property was occupied with McDonalds from 1976 to 2000. The full search results can be found in Appendix D.

No potentially contaminating activities were identified within the Study Area in city directories search.

4.1.6 Environmental Reports

No previous environmental report for the Property was available for review for background information.

4.2 Environmental Source Information

4.2.1 EcoLog ERIS

EcoLog Environmental Risk Information Services Ltd. (ERIS) is an organization that maintains and searches various government and private databases for property-related environmental information. A search of the EcoLog ERIS Ltd. databases was requested for the Property and Study Area. No records of environmental concern were found for the Phase One Property. The ERIS Report is provided in Appendix E.

The potentially contaminating activities identified within the Study Area in ERIS search are summarized below:

Location of PCA	PCA	Details
1599 Hurontario St. Adjacent to the northwest	Others 1 – O.Reg.347 Waste Generator	The adjacent site is occupied by a dental hygiene academy that was registered with waste generator for photoprocessing wastes, pathological wastes and inorganic chemical wastes from 2009 to 2017.
Southeast corner of South Service Rd and Hurontario St. 90 m northwest	#28 – Gasoline and Associated Products Storage in Fixed Tanks	The site was historically occupied by a private fuel outlet with a single wall steel underground diesel storage tank and a single wall steel gasoline storage tank (USTs) in 1990.
1548 Weaver Ave. 145 m southeast	Others 2 – Ontario Spills	A spill accident of 100 L of transformer oil was recorded on site on 2018/05/04. Minor environmental impact to the land was identified.
49 South Service Rd. 145 m northwest	Others 1 – O.Reg.347 Waste Generator	The site was registered with waste generator for oil skimmings & sludges from 2007 to 2010.

4.2.2 Other Source Information

Other environmental source information was searched as part of the Phase One ESA. The information that was searched included:

- Freedom of Information (FOI) request to the Ontario Ministry of the Environment, Conservation and Parks (MECP). The FOI request determines if information regarding orders, investigations or other information on file with respect to the Property.



- Technical Standards and Safety Authority (TSSA) was contacted in regards to records related to storage tanks for petroleum related products with respect to the Property.
- The local Conservation Authority was contacted to determine if the Property was considered regulated under the Conservation Authorities Act and Ontario Regulations 42/06, 146/06 to 182/06 and 97/04.
- Municipal Zoning and Official Plan information was reviewed

The information requests and responses are provided in Appendix F and are summarized below:

Information Request	Response
MECP FOI	A response from the MECP has been received on September 24, 2018 for the municipal address of 1575 Hurontario Street. No records were available for the Phase One Property.
MECP PCB Storage Sites and Landfill Sites	Directories published by the MOECP related to waste disposal sites [Ref. 8] and PCB storage sites [Ref. 7], and the Brownfields Environmental Site Registry was reviewed. No records of waste disposal sites were present on the Property and within the Study Area. No records of PCB storage sites were present on the Property and within the Study Area.
TSSA	The response from TSSA indicates that they have no record of any fuel storage tanks at the Property or adjacent sites.
Conservation Authority	The Credit Valley Conservation Authority (CVC) website was accessed on September 6, 2018. It was indicated that the Property is not regulated by CVC. CVC regulated parcels are located approximately 40 m to the south of the Property.
Zoning	The City of Mississauga zoning by-law 0225-2007 and Official Plan was reviewed. The Property is zoned "R1-1Zone – Residential Zones".

No potentially contaminating activities were identified from the regulatory responses.

4.3 Physical Setting Sources

4.3.1 Aerial Photographs

Aerial photographs, satellite imagery and historic maps were reviewed. The state of development of the Property and Study Area is summarized in below. A selection of aerial photographs and historic maps are presented in Appendix G.

Date	Subject Property	Surrounding Area
1954	The Property appeared to have a residential building structure on the Property	The surrounding properties appeared to be developed with residential dwellings to the east and south. Agricultural land was observed to the north of the Property. Queen Elizabeth Way was observed to the northwest of the Property.
1966	No significant changes.	South Service Road and Pinetree Way were observed to be constructed.



Date	Subject Property	Surrounding Area
1975	A building was observed on the Property with a large parking area.	No significant changes.
1989	No significant changes.	Commercial building resembles the current configuration located on the adjacent property to the northwest was observed.
2010	Building on the Property appeared to be demolished with only remnants observed.	Pinetree way was rerouted to the south of the Property access via Hurontario Street.
2017	No significant changes.	No significant changes.

No potentially contaminating activities were identified in the aerial photographs.

4.3.2 Topography Hydrology, Geology

A topographic map from the Ontario Ministry of Natural Resources and Forestry (MNR) and the geological mapping produced by the Ontario Ministry of Northern Development and Mines - *Ontario Geological Survey* was reviewed. The information gleaned from the mapping is summarized below. The maps are provided in Appendix H.

Topography	The approximate elevation of the Property is 87 masl and slopes to the south/southeast towards Lake Ontario.
Hydrogeology	The nearest water body is Mary Fix Creek which is located approximately 215 m to the southwest of the Property. Ground water and surface water is expected to flow to the south/southeast towards Lake Ontario.
Geology (overburden)	The overburden on the Property is comprised of coarse-textured glaciolacustrine deposits consisted of sand, gravel, minor silt and clay of foreshore and basal deposits (9c).
Geology (bedrock)	The bedrock on the Property is of the Georgian Bay Formation, which is comprised of shale and limestone (55b).
Geology (depth to bedrock)	Based on the published information, bedrock in the vicinity is located approximately 30 m below ground surface.

4.3.3 Fill Materials

The Property is noted to be at grade with surrounding lands. However, potential fill material may have been used during the development of the Property.

4.3.4 Water Bodies and Areas of Natural Significance

Mapping from the Ontario Ministry of Natural Resources and Forestry (MNR) was reviewed to determine if water bodies were present on the Property and within the Study Area. The Ontario Ministry of Natural Resources National Heritage Information Centre database for listings of Areas of Natural or Scientific Interest (ANSIs) was reviewed. The information is summarized below.



Water Bodies (Study Area)	<ul style="list-style-type: none"> • Mary Fix Creek – located approximately 215 m to the southwest of the Property.
Wetland (Property)	<u>Provincially Significant</u> <ul style="list-style-type: none"> • No Provincially Significant wetlands are present on the Property. <u>Non- Provincially Significant</u> <ul style="list-style-type: none"> • No Non- Provincially Significant wetlands are present on the Property. <u>Unevaluated</u> <ul style="list-style-type: none"> • No Unevaluated wetlands are present on the Property.
Wetland (Study Area)	<u>Provincially Significant</u> <ul style="list-style-type: none"> • No Provincially Significant wetlands are present in the Study Area. <u>Non- Provincially Significant</u> <ul style="list-style-type: none"> • No Non- Provincially Significant wetlands are present in the Study Area. <u>Unevaluated</u> <ul style="list-style-type: none"> • No Unevaluated wetlands are present in the Study Area.
ANSIs (Property)	<u>Provincially Significant Life Science ANSI</u> <ul style="list-style-type: none"> • No Life Science ANSIs were identified on the Property. <u>Provincially Significant Earth Science ANSI</u> <ul style="list-style-type: none"> • No Earth Science ANSIs were identified on the Property.
ANSIs (Study Area)	<u>Provincially Significant Life Science ANSI</u> <ul style="list-style-type: none"> • No Life Science ANSIs were identified in the Study Area. <u>Provincially Significant Earth Science ANSI</u> <ul style="list-style-type: none"> • No Earth Science ANSIs were identified in the Study Area.

4.3.5 Well Records

The Ontario Ministry of the Environment, Conservation and Parks well records database was searched through EcoLog ERIS and through the Ministry of the Environment online Water Well Database for records located on the Property and in the Study Area (within 250 m). A copy of the Well Records is provided in Appendix I and is summarized below.

Water Wells (Property)	<ul style="list-style-type: none"> • No drinking water well was located on the Property
Water Wells (Study Area)	<ul style="list-style-type: none"> • Three (3) monitoring wells or test holes were located within the Study Area
Stratigraphy	<ul style="list-style-type: none"> • 0 to 0.6 m – Brown sand, gravel, packed • 0.6 to 4.9 m – Brown sand, loose • 4.9 to 6.7 m – Grey sand, loose
Depth to Water Table	<ul style="list-style-type: none"> • Not available
Depth to Bedrock	<ul style="list-style-type: none"> • Bedrock not encountered



4.4 Site Operating Records

No site operating records were provided for review.



5.0 INTERVIEWS

No individual familiar with the Property was available to provide further information. City of Mississauga permit issue history was provided for review.

No potentially contaminating activities were identified on the Property based on review of this document.



6.0 SITE RECONNAISSANCE

6.1 General Requirements

Date of Investigation	September 18, 2018
Time of Investigation	1 pm
Weather Conditions	Sunny, 30°C
Duration of Investigation	30 minutes
Was the Facility Operating?	No, land was vacant
Person(s) Conducting Investigation and Qualifications	Alysson Johnson, E.I.T., under the supervision of Muhammad Shahid, P.Geo., QP _{ESA}

6.2 Specific Observations at Phase One Property

The site reconnaissance included a walking tour of the Property, as well as compiling written and photographic records. Site features are illustrated on Figure 2, and photographs are presented in Appendix A.

6.2.1 Building Description

The Property is currently vacant with no buildings on Site. The foundations (one basement level) of a former building are exposed and located in the middle of the Site.

6.2.2 Designated Substances and Other Special Attention Items

The inspection was carried out in accessible areas and included an assessment of the potential presence of the following materials:

- Designated substances (i.e., acrylonitrile, asbestos, arsenic, benzene, coke oven emissions, ethylene oxide, isocyanates, lead, mercury, silica, vinyl chloride).
- Polychlorinated biphenyls (PCBs).
- Ozone depleting substances.
- Urea-formaldehyde foam insulation (UFFI).
- Special attention items (i.e., mould radioactive materials).

The presence of these materials based on the site reconnaissance is summarized below.



Asbestos	No evidence of asbestos material was observed; however, based on the age of the buildings, it is likely that asbestos containing material may be present in the building basement remnants.
Lead	No suspected lead-based paint or plumbing components were observed during the site inspection; however, based on the age of the buildings, it is likely that the lead containing materials may be present in the building basement remnants.
Mercury	No materials containing mercury were observed during the site inspection.
PCBs	No PCB contacting material was observed during the site inspection.
Ozone Depleting Substances (ODS)	No ozone depleting substances were observed during the site inspection.
UFFI	No UFFI products were observed during the site inspection.
Mould	No evidence of mould-stained areas were observed during the site inspection.
Radioactive Materials	No manmade sources of radiation were observed during the site inspection.
Herbicides and Pesticides	During the site inspection, no materials containing herbicides or pesticides were observed to be stored at the site.

6.2.3 Below Ground Structures

The foundations (one basement level) of a former building are exposed and located in the middle of the Property.

6.2.4 Aboveground Storage Tanks

No aboveground storage tanks or evidence of historical aboveground storage tanks was observed during the site inspection.

6.2.5 Underground Storage Tanks

No underground storage tanks or evidence of historical underground storage tanks was observed during the site inspection.

6.2.6 Exterior Site Conditions

The areas outside of the former building's footprint are developed with associated asphalt paved driveways/parking areas and vegetated areas. Additional details of the Property are provided below.

Water Sources	The water supply at the Property is currently serviced with municipal water, and enters into the Property from Hurontario Street.
Current and Former Wells	No wells were observed on the Property. The well records (Section 4.3.5) indicated three (3) monitoring wells and test holes were located within the Study Area.



Sewage Works	Storm runoff is directed to the catch basins located along Hurontario Street to the southwest.
Railways	No railway tracks were observed during the site inspection.
Stained and Odorous Soils	No stained or odorous soils were observed during the site inspection.
Stressed Vegetation	No areas of stressed vegetation were noted during the site inspection.
Underground Utilities and Services	<p>The inspection of the Property indicated the following information related to utility services:</p> <ul style="list-style-type: none">• The former building was serviced with municipal supplied water. The utilities enter the building from Hurontario Street.• The former building was serviced with gas utilities.• Overhead hydro lines were observed along Hurontario Street. The electricity likely entered the former building via the west.
Fill Materials	The sloping ground surface indicates that fill materials may have been used when the Property was developed.
Watercourses, Ditches or Standing Water	No watercourses, ditches or standing water was observed during the site inspection.

6.2.7 Enhanced Investigation Property

The current and historical activities on the Property do not qualify the site as an Enhanced Investigation Property.

6.3 Investigation of Phase One Study Area

At the time of the site inspection, the following land uses were noted on the properties immediately adjacent to the Property.

Direction	Land Uses
North	Commercial, then South Service Road
East	Residential, then Glenview Drive
South	Mixed Residential and Commercial
West	Hurontario Street, Pinetree way, and Mary Fix Park

The site inspection included a walking tour of the entire Property, as well as compiling written and photographic records. The inspection of the Property and Study Area was conducted by Ms. Alysson Johnson, E.I.T., on September 18, 2018.

The Property is located approximately 130 m to the southeast of the intersection of Hurontario Street and South Service Road, in Mississauga, Ontario. Access to the Property is via Hurontario Street.

The Property is approximately rectangular in shape and covers an area of approximately 0.4 ha (0.9 acres). The Property was formerly occupied by a restaurant and is currently vacant. The remaining areas are developed with associated asphalt paved driveways/parking areas and vegetated areas. The surrounding area is predominantly residential and commercial in land use.



6.3.1 Potentially Contaminating Activity

The potentially contaminating activities identified from the site reconnaissance are summarized below.

Location of PCA	PCA	Details
Southern Half of Phase One Property (exterior of the building)	#30 – Importation of Fill Material of Unknown Quality	Historic fill material may have been used during development of the Property.



7.0 REVIEW AND EVALUATION OF INFORMATION

7.1 Current and Past Uses

Current and past uses of the Property were determined from historical aerial photographs, fire insurance plans, chain of title documents and city directories. The full list of current and past uses of the Property is provided in Appendix J, in a form approved by the Ontario Ministry of the Environment, Conservation and Parks under O.Reg.153/04.

7.2 Potentially Contaminating Activities

The Phase One Environmental Site Assessment identified the following Potentially Contaminating Activities (PCAs) within the Phase One Property and the Study Area. The detailed locations of the PCAs are illustrated in Figure 4.

Location of PCA	PCA	Potential APEC (yes/no)	Justification
Southern half of the Phase One Property (exterior of the building)	#30 – Importation of Fill Material of Unknown Quality	Yes (APEC 1)	Historical fill material may be used during the development of the Property.
1599 Hurontario St. Adjacent to the northwest	Others 1 – O.Reg.347 Waste Generator	No	Given the nature of the wastes and small scale use associated with dental hygiene academy, the potential for environmental impact to the Property is considered to be low. The QP's assessment is that this PCA will not cause an APEC on the Property.
Southeast corner of South Service Rd and Hurontario St. 90 m northwest	#28 – Gasoline and Associated Products Storage in Fixed Tanks	Yes (APEC 2)	Historical fuel outlet with single walled USTs was recorded on site.
49 South Service Rd. 145 m northwest	Others 1 – O.Reg.347 Waste Generator	No	Given the nature of the wastes and short duration of registration, the potential for environmental impact to the Property is considered to be low. The QP's assessment is that this PCA will not cause an APEC on the Property.
1548 Weaver Ave. 145 m southeast	Others 2 – Ontario Spills	No	Down-gradient PCA. Ground water impacts, if present, would be unlikely to cause contamination on the Property due to the regional ground water flow direction and the significant distance from the Phase One Property. The QP's assessment is that this PCA will not cause an APEC on the Property.



7.3 Areas of Potential Environmental Concern

The Potentially Contaminating Activities identified in Section 7.2 were evaluated for their potential to create an Area of Potential Environmental Concern on the Phase One Property through consideration of:

- The type of PCA
- The potential magnitude of the PCA (e.g. small-scale waste generation versus significant commercial activity)
- The Potential Contaminants of Concern (PCoC) associated with the PCA
- The nature of those PCoCs in terms of their mobility in soil, ground water, and sediment as applicable
- The anticipated direction of ground water flow
- The anticipated hydraulic conductivity of saturated media
- The distance between the PCA and the Property

The analysis and rationale used to determine that a particular PCA does not create an APEC is provided in Section 7.2. The APECs identified are presented in a form approved by the Director in Appendix K.

The physical area of each APEC is illustrated on Figure 5. Please note that the area illustrated does not necessarily represent the complete potential area of impact, but represents the most likely potential area of impact, and thus represents the area that would first require intrusive investigation in a Phase Two ESA should a Phase Two ESA be conducted.

7.4 Phase One Conceptual Site Model

The Phase One Conceptual Site Model (CSM) is presented in Appendix L which illustrated and includes Figure 1 through Figure 5.

7.5 Uncertainty or Absence of Information

The following uncertainties or absence of information may have impact the Phase One Conceptual Site Model:

Component	Uncertainty of Absence of Information	Effect on Phase One CSM
Fire Insurance Plans	No fire insurance was available for review. However sufficient information from other sources was obtained. As such, there exists no known void or absence of information for this component.	No effect upon the Phase One CSM
Chain of Title	Chain of Title dating back to 1885 ownership was obtained as part of the investigation. As such, there exists no known void or absence of information for this component.	No effect upon the Phase One CSM



Component	Uncertainty of Absence of Information	Effect on Phase One CSM
Environmental Reports	No previous report was available to Terraprobe Inc. to review as part of the investigation; however, sufficient information was provided via other record search. As such, there exists no known void or absence of information for this component.	No effect upon the Phase One CSM
Environmental Source Information	Environmental Source Information was searched through a combination of Environmental Risk Information Services (ERIS) and Freedom of Information requests (FOI). As such, there exists no known void or absence of information for this component.	No effect upon the Phase One CSM
Aerial Photographs	Aerial Photographs were obtained from combination federal, provincial, municipal and private sources. The series of air photos selected represent the development of the Phase One Property and Phase One Study Area. As such, there exists no known void or absence of information for this component.	No effect upon the Phase One CSM
Topography, Hydrogeology and Geology	The Topography, Hydrogeology and Geology were evaluated through available resources from the Ministry of Natural Resources and Forestry as well as Water Well Records. As such, there exists no known void or absence of information for this component	No effect upon the Phase One CSM
Water Bodies and Areas and Natural Significance	Water Bodies and Areas and Natural Significance were evaluated through available resources from the Ministry of Natural Resources and Forestry, local conservation authorities and the Ministry of the Environment. As such, there exists no known void or absence of information for this component	No effect upon the Phase One CSM
Well Records	Well Records through the summary provided by Environmental Risk Information Services (ERIS) as well as the Ministry of the Environment Water Well Information System (WWIS). As such, there exists no known void or absence of information for this component	No effect upon the Phase One CSM
Site Reconnaissance	Unrestricted access to the Phase One Property was provided during the Site Reconnaissance. As such, there exists no known void or absence of information for this component	No effect upon the Phase One CSM



Component	Uncertainty of Absence of Information	Effect on Phase One CSM
Interviews	No person with knowledge of current and historic environmental condition of the Phase One Property was available; however, sufficient information were obtained through City of Mississauga permit history and other sources of information. As such, there exists no known void or absence of information for this component	No effect upon the Phase One CSM

Based upon the information obtained, as noted above, it is the belief of the QP_{ESA} that there is no known significant uncertainty or absence of information and that the Phase One Conceptual Site Model is valid.



8.0 CONCLUSIONS

8.1 Phase Two ESA Required Before Record of Site Condition

The Potentially Contaminating Activities on the Property and in the Study Area were determined based upon the assessment of the information contained within Section 4.0 Records Review, Section 5.0 Interviews and Section 6.0 Site Reconnaissance of this report. Areas of Potential Environmental Concern were identified for the Phase One Property.

As such, prior to the preparation and submission of a Record of Site Condition, a Phase Two Environmental Site Assessment would be required to investigate the Areas of Potential Environmental Concern (APECs) for the Contaminants of Concern that have been identified on the Property.

8.2 Record of Site Condition Based on Phase One ESA Alone

Based upon the review and evaluation of the information gathered from the Phase One ESA, a Record of Site Condition cannot be filed based upon a Phase One ESA alone.

8.3 Signatures

The Phase One Environmental Site Assessment has been completed under the direction and supervision of Muhammad Shahid, P.Geo., QP_{ESA}. The findings and conclusions presented in this report have been determined on the basis of the information that was obtained and reviewed, and on an assessment of the existing conditions on the Phase One Property and properties within the Phase One Study Area.

We trust this report meets with your requirements. Should you have any questions regarding the information presented, please do not hesitate to contact our office.

Yours truly,
Terraprobe Inc.



Jessie Hui Chung Wu, M. Env. Sc.
Project Manager



Muhammad I. Shahid, P.Geo., QP_{ESA}
Senior Project Manager



9.0 REFERENCES

1. Armstrong, D.K. and Dodge, J.E.P. *Paleozoic Geology Map of Southern Ontario*. Ontario Geological Survey, Miscellaneous Release--Data 219.
2. Chapman, L.J. and Putnam, D.F. 2007. *The Physiography of Southern Ontario*. Ontario Geological Survey, Miscellaneous Release--Data 228.
3. City of Mississauga – Interactive Online Maps <https://www.mississauga.ca/portal/services/maps>
Accessed: September 6, 2018.
4. Gao, C., Shiota, J., Kelly, R. I., Brunton, F.R., van Haaften, S. 2006. Bedrock topography and overburden thickness mapping, southern Ontario; Ontario Geological Survey, Miscellaneous Release--Data 207.
5. Ontario Geological Survey 2010. *Surficial Geology of Southern Ontario*. Ontario Geological Survey, Miscellaneous Release--Data 128-REV. ISBN 978-1-4435-2483-7
6. Ontario Geological Survey 2006. *Bedrock Topography and Overburden Thickness Mapping, Southern Ontario*. Ontario Geological Survey, Miscellaneous Release—Data 207.
7. Ontario Ministry of the Environment, January 1993. *Ontario Inventory of PCB Storage Sites*. ISBN 0-7778-0836-6.
8. Ontario Ministry of the Environment, June 1991. *Waste Disposal Site Inventory*. ISBN 0-7729-8409-3.



10.0 LIMITATIONS AND USE OF THE REPORT

This report was prepared for the exclusive use of Dream Maker Developments c/o Glen Schnarr & Associates Inc. (GSAI) and is intended to provide an assessment of the environmental condition on the property identified as 1575 Hurontario Street, Mississauga, Ontario.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. Terraprobe Inc. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report, including consequential financial effects on transactions or property values, or requirements for follow-up actions and costs.

The assessment should not be considered a comprehensive audit that eliminates all risks of encountering environmental problems. The information presented in this report is based on information collected during the completion of the Phase One Environmental Site Assessment by Terraprobe Inc. It is based on the conditions on the Phase One property at the time of the site inspection supplemented by a review of historical information to assess the environmental conditions on the Phase One, as reported herein.

Sampling and analysis of soil, ground water or any other material was not carried out as part of this assessment. Consequently, the presence and/or extent of any adverse environmental impact cannot be verified. The potential for environmental liability and/or environmental impact is an opinion that has been arrived at within the scope of this assessment.

In assessing the environmental conditions/history of the Phase One, Terraprobe Inc. has relied in good faith on information provided by others, as noted in this report, and has assumed that the information provided by those individuals is factual and accurate. Terraprobe Inc. accepts no responsibility for any deficiency, misstatement or inaccuracy in this report resulting from the information provided by those individuals.

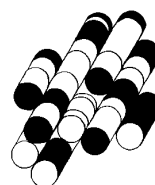
There is no warranty expressed or implied by this report regarding the environmental status of the Phase One. Professional judgement was exercised in gathering and analysing information collected by our staff, as well as that submitted by others. The conclusions presented are the product of professional care and competence, and cannot be construed as an absolute guarantee.

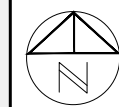
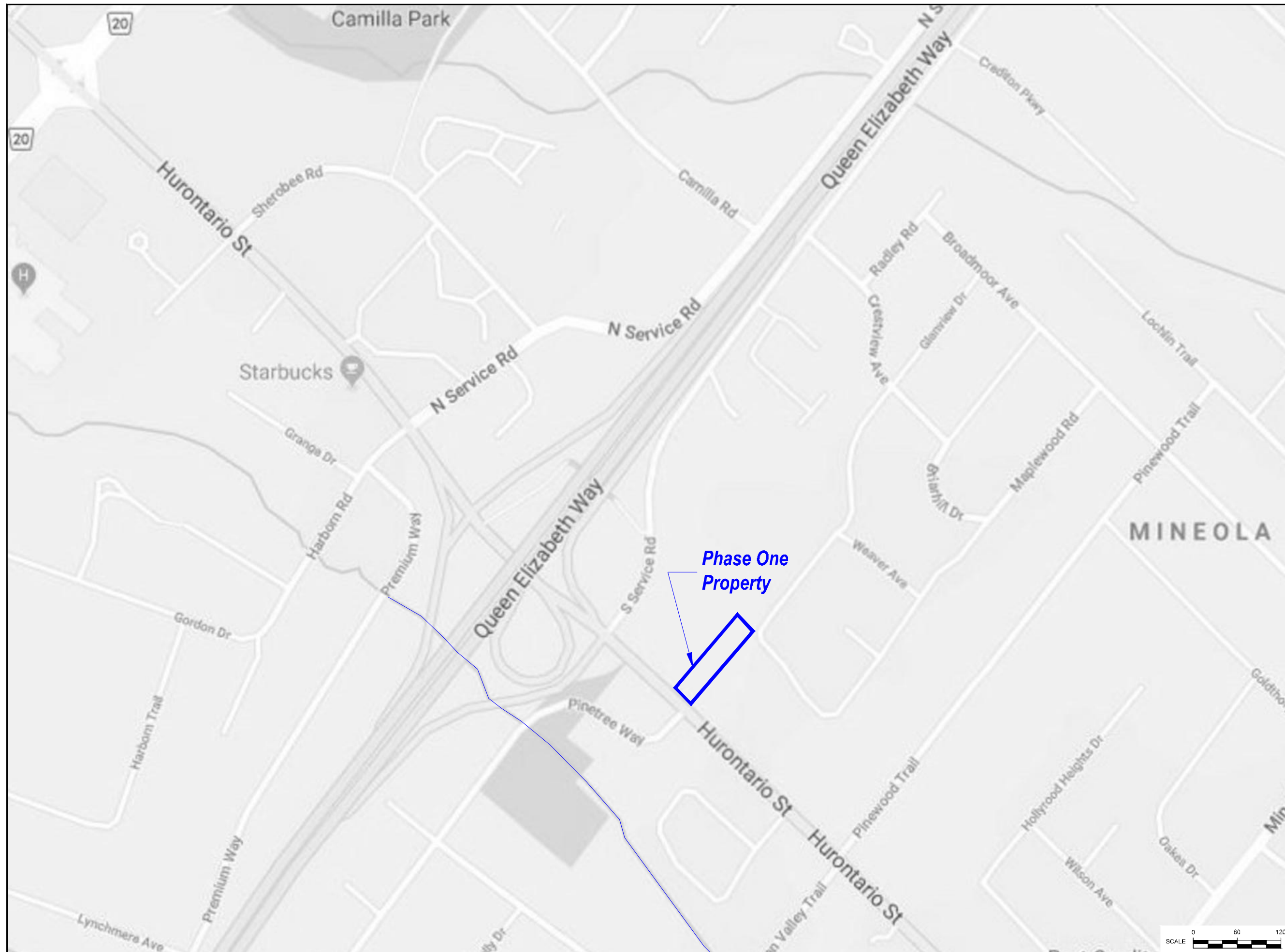
In the event that during future work new information regarding the environmental condition of the Phase One is encountered, or in the event that the outstanding responses from the regulatory agencies indicate outstanding issues on file with respect to the Phase One, Terraprobe Inc. should be notified in order that we may re-evaluate the findings of this assessment and provide amendments, as required.



FIGURES

TERRAPROBE INC.





Reference:	Toronto Maps 2018
------------	-------------------

Notes:

Legend:

Phase One Property Boundary

Project Title:

Phase One Environmental Site Assessment

Site Location:

1575 Hurontario Street, Toronto, Ontario

Figure Title:

PHASE ONE PROPERTY

Designed By:

By: JW

File No.:

1-18-0537-41

Drawn By:

JB

Scale:

As Shown

Reviewed By:

By: MS

Date:

October 2018

Figure No.:


1




<div><div><div></div><div>Terraprobe Inc.</div></div><div>Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing</div><div>11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650</div></div>	
<div><div></div></div>	<div>Reference: Toronto Maps 2018</div>
<div>Notes:</div>	
<div>Legend:</div>	
<div></div>	<div>Phase One Property Boundary</div>
<div>Project Title: Phase One Environmental Site Assessment</div>	
<div>Site Location: 1575 Hurontario Street, Toronto, Ontario</div>	
<div>Figure Title: PHASE ONE PROPERTY</div>	
<div>Designed By: JW</div>	<div>File No.: 1-18-0537-41</div>
<div>Drawn By: JB</div>	<div>Scale: As Shown</div>
<div>Reviewed By: MS</div>	<div>Figure No.: 2</div>
<div>Date: October 2018</div>	

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**Terraprobe Inc.**
Consulting Geotechnical & Environmental Engineering
Construction Materials, Inspection & Testing
11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650



Reference:
Toronto Maps 2018

Notes:

Legend:

Phase One Property Boundary

Phase One Study Area

Residential Land Use

Community Land Use (Roads)

Commercial Land Use

Parkland Use

Institutional Land Use

Project Title:
Phase One Environmental Site Assessment

Site Location:
1575 Hurontario Street, Toronto, Ontario

Figure Title:
PHASE ONE STUDY AREA

Designed By:
JW

Drawn By:
JB

Reviewed By:
MS

Date:
October 2018

File No.:
1-18-0537-41


Scale:
As Shown


Figure No.:
3

SCALE 0 30 60m

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Consulting Geotechnical & Environmental Engineering
Construction Materials, Inspection & Testing
11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650



Reference:
Toronto Maps 2018

Notes:
PCA - Potentially Contaminating Activity
RED - PCA causing APEC on Property
GREEN - PCA unlikely to affect Property

Legend:

	Phase One Property Boundary
	Phase One Study Area
#28	Gasoline and Associated Products Storage in Fixed Tanks
#30	Importation of Fill Material of Unknown Quality
Others 1	O. Reg. 347 Waste Generator
Others 2	Ontario Spills

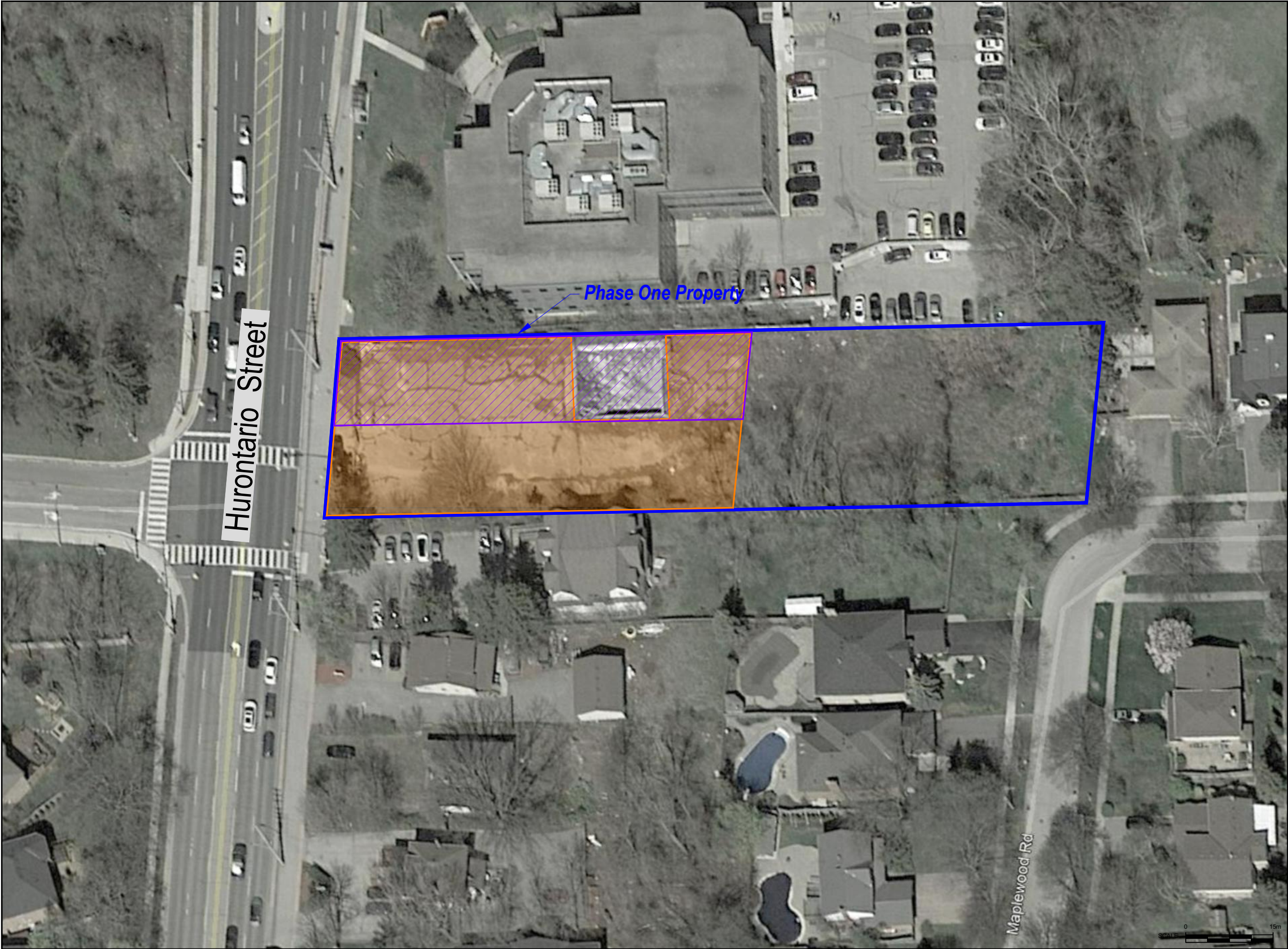
Project Title:
Phase One Environmental Site Assessment


Site Location:
1575 Hurontario Street, Toronto, Ontario

Figure Title:
PCA LOCATIONS


Designed By: JW	File No.: 1-18-0537-41
Drawn By: JB	Scale: As Shown
Reviewed By: MS	Figure No.: 4
Date: October 2018	







Terraprobe Inc.
Consulting Geotechnical & Environmental Engineering
Construction Materials, Inspection & Testing
11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650



Reference:
Toronto Maps 2018

Notes:
APEC - Areas of Potential Environmental Concern

Legend:

Phase One Property Boundary

APEC 1

APEC 2

Project Title:
Phase One Environmental Site Assessment

Site Location:
1575 Hurontario Street, Toronto, Ontario

Figure Title:
APEC LOCATIONS

Designed By:
JW

Drawn By:
JB

Reviewed By:
MS

Date:
October 2018

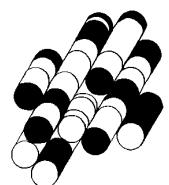
File No.:
1-18-0537-41

Scale:
As Shown

Figure No.:
5

APPENDIX A

TERRAPROBE INC.





Photograph 1

Location: 1575 Hurontario Street
Viewing: Northeast
Description: Vacant paved lot.



Photograph 2

Location: 1575 Hurontario Street
Viewing: Southwest
Description: Vacant paved lot, ground slopes upwards to historical building foundation.



Photograph 3

Location: 1575 Hurontario Street
Viewing: Northeast
Description: Vegetated portion of the Property.





Photograph 4

Location: 1575 Hurontario Street

Viewing: West

Description: Pile of debris next to the exposed foundations (one basement level) of the historical building.



Photograph 5

Location: 1575 Hurontario Street

Viewing: Southwest

Description: Exposed foundations (one basement level) of historical building.



Photograph 6

Location: 1575 Hurontario Street

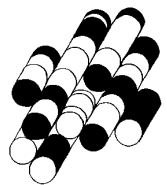
Viewing: Southwest

Description: Tile floor of basement in historical building.



APPENDIX B

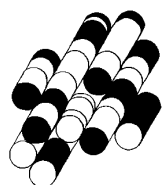
TERRAPROBE INC.





APPENDIX C

TERRAPROBE INC.



CHAIN OF TITLE REPORT

Project # 1-18-0537-41
Address: 1575 Hurontario Street, Mississauga
Legal Part Lot 1 Range 2 CIR
Description: as in VS170625

PIN# 13469-0006 (LT)

Searched at: Brampton
LRO #: 43

INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent	02 04 1885	Crown	William J. McKAY
5479	Deed	30 11 1885	William J. McKay	George TRUEMAN
6097	Deed	28 04 1887	George Trueman	Dinah BURRELL
16261	Deed	27 01 1914	Dinah Burrell	Harriet J. BURRELL
21815	Deed	18 04 1922	Harriet Gummerson (Formerly Burrell)	William Hughes BEATTY
36524	Deed	08 04 1935	William Hughes Beatty	Harriet J. NEWTON
38350	Deed	14 04 1938	Harriet J. Newton	Eva A. BELFORD & John William BELFORD
153179	Deed	14 03 1963	Eva A. Belford (Surviving JT)	Walter DOBB
33861VS	Deed	03 03 1967	Walter Dobb	Vincent SCAMURRA, Caroline SCAMURRA Ugo RINALDI & Palmina RINALDI

CHAIN OF TITLE REPORT

Project # 1-18-0537-41
Address: 1575 Hurontario Street, Mississauga
Legal Part Lot 1 Range 2 CIR
Description: as in VS170625

PIN# 13469-0006 (LT)

Searched at: Brampton
LRO #: 43

Page 2

INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
93574VS	Deed	13 12 1968	Vincent Scamurra, etal	Benjoseph Limited
160550VS	Deed	20 01 1971	Benjoseph Limited	Ar-Jel Developments Limited
160551VS	Deed	20 01 1971	Ar-Jel Developments Limited	Bullfinch Limited
170625VS	Deed	21 05 1971	Bullfinch Limited	Willow Bunch Developments Limited
PR578674	Deed	22 01 2004	Willow Bunch Developments Limited	2001467 Ontario Ltd.
PR830893	Deed	08 04 2005	2001467 Ontario Ltd.	Farhad RADFAR
PR2019771	Deed	15 06 2011	Farhad Radfar	Nazer NADER-NEJAD
PR2019776	Deed	15 06 2011	Nazer Nader-Nejad	Seyedeh-Mokaram MOSAVIAN-ABTAHINEJAD

Cont'd on Page 3

CHAIN OF TITLE REPORT

Project # 1-18-0537-41
Address: 1575 Hurontario Street, Mississauga
Legal Part Lot 1 Range 2 CIR
Description: as in VS170625

PIN# 13469-0006 (LT)

Searched at: Brampton
LRO #: 43

INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
PR2692487	Deed	31 03 2015	Seyedeh-Mokaram Mosavian-Abtahinejad	Aymuhammed HAFIZOGLU
PR3058772	Deed	09 01 2017	Aymuhammed Hafizoglu	Woodmere (Hurontario) Inc.
PR3311151	Deed (Present Owner)	17 04 2018	Woodmere (Hurontario) Inc.	10422967 Canada Corp.

PROPERTY DESCRIPTION: PT LT 1, RANGE 2 CIR , AS IN VS170625; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13469-0181

PIN CREATION DATE:

1998/01/23

OWNERS' NAMES

10422967 CANADA CORP.

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<p>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/03/18 ON THIS PIN**</p> <p>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1998/01/23**</p> <p>** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1998/01/23 **</p> <p>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO</p> <p>** SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</p> <p>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</p> <p>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</p> <p>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</p> <p>** CONVENTION.</p> <p>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</p> <p>**DATE OF CONVERSION TO LAND TITLES: 1998/01/26 **</p>						
VS170625	1971/05/21	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	WILLOW BUNCH DEVELOPMENTS LIMITED	
VS171406	1971/05/31	NOTICE OF LEASE		*** COMPLETELY DELETED ***	BULLFINCH LIMITED	
		REMARKS: SKETCH ATTACHED				
PR578674	2004/01/22	TRANSFER		*** COMPLETELY DELETED *** WILLOW BUNCH DEVELOPMENTS LIMITED	2001467 ONTARIO LTD.	
		REMARKS: PLANNING ACT STATEMENTS				
PR578677	2004/01/22	CHARGE		*** COMPLETELY DELETED *** 2001467 ONTARIO LTD.	WILLOW BUNCH DEVELOPMENTS LIMITED	
PR578678	2004/01/22	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** 2001467 ONTARIO LTD.	WILLOW BUNCH DEVELOPMENTS LIMITED	

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
		REMARKS: RENTS RE PR578677				
PR578679	2004/01/22	APL CH NAME INST		*** COMPLETELY DELETED *** BULLFINCH LIMITED	MCDONALD'S RESTAURANTS OF CANADA LIMITED	
		REMARKS: VS171406 DELETED BY F. RICCIUTI ON 2005/03/31.				
PR578680	2004/01/22	NO DET/SURR LEASE		*** COMPLETELY DELETED ***	MCDONALD'S RESTAURANTS OF CANADA LIMITED	
		REMARKS: RE: VS171406 CONSENT FROM OWNER OBTAINED				
PR634342	2004/05/06	CHARGE		*** COMPLETELY DELETED *** 2001467 ONTARIO LTD.	PYNN, LINTON	
PR710788	2004/09/01	CHARGE		*** COMPLETELY DELETED *** 2001467 ONTARIO LTD.	PYNN, LINTON B2B TRUST	
PR821061	2005/03/21	APL GOVT ORDER		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
		REMARKS: PROPERTY STANDARD				
PR826022	2005/03/31	APL (GENERAL)		*** COMPLETELY DELETED *** THE CORPORATION OF THE CITY OF MISSISSAUGA		
		REMARKS: DELETES PR821061				
PR830710	2005/04/08	DISCH OF CHARGE		*** COMPLETELY DELETED *** PYNN, LINTON		
		REMARKS: RE: PR634342				
PR830893	2005/04/08	TRANSFER		*** COMPLETELY DELETED *** 2001467 ONTARIO LTD.	RADFAR, FARHAD	
		REMARKS: PLANNING ACT STATMENTS				
PR830928	2005/04/08	NOTICE		*** COMPLETELY DELETED *** WILLOW BUNCH DEVELOPMENTS LIMITED	RADFAR, FARHAD 2001467 ONTARIO LTD. KOPYCINSKI, ROBERT KOPYCINSKI, ROBERT	
		REMARKS: AMENDING CHARGE PR578677				
PR890138	2005/07/20	DISCH OF CHARGE		*** COMPLETELY DELETED *** PYNN, LINTON B2B TRUST		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
REMARKS: RE: PR710788						
PR1234052	2007/03/30	DISCH OF CHARGE		*** COMPLETELY DELETED *** WILLOW BUNCH DEVELOPMENTS LIMITED		
REMARKS: RE: PR578677						
PR1234053	2007/03/30	CHARGE		*** COMPLETELY DELETED *** RADFAR, FARHAD	WILLOW BUNCH DEVELOPMENTS LIMITED	
PR1234054	2007/03/30	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** RADFAR, FARHAD	WILLOW BUNCH DEVELOPMENTS LIMITED	
REMARKS: PR1234053						
PR1455127	2008/05/02	DISCH OF CHARGE		*** COMPLETELY DELETED *** WILLOW BUNCH DEVELOPMENTS LIMITED		
REMARKS: RE: PR1234053						
PR2019771	2011/06/15	TRANSMISSION-LAND		*** COMPLETELY DELETED *** RADFAR, FARHAD	NADER-NEJAD, NAZER	
PR2019776	2011/06/15	TRANS PERSONAL REP		*** COMPLETELY DELETED *** NADER-NEJAD, NAZER	MOSAVIAN-ABTAHINEJAD, SEYEDEH-MOKARAM	
PR2692487	2015/03/31	TRANSFER		*** COMPLETELY DELETED *** MOSAVIAN-ABTAHINEJAD, SEYEDEH-MOKARAM	HAFIZOGLU, AYMUHAMMED	
REMARKS: PLANNING ACT STATEMENTS.						
PR3058772	2017/01/09	TRANSFER		*** COMPLETELY DELETED *** HAFIZOGLU, AYMUHAMMED	WOODMERE (HURONTARIO) INC.	
REMARKS: PLANNING ACT STATEMENTS.						
PR3058773	2017/01/09	CHARGE		*** COMPLETELY DELETED *** WOODMERE (HURONTARIO) INC.	CAMERON STEPHENS FINANCIAL CORPORATION	
PR3058774	2017/01/09	CHARGE		*** COMPLETELY DELETED *** WOODMERE (HURONTARIO) INC.	TUCSON HURONTARIO INC.	
PR3060005	2017/01/10	POSTPONEMENT		*** COMPLETELY DELETED *** TUCSON HURONTARIO INC.	CAMERON STEPHENS FINANCIAL CORPORATION	
REMARKS: PR3058774 TO PR3058773						
43R38181	2018/04/10	PLAN REFERENCE				C

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR3311151	2018/04/17	TRANSFER REMARKS: PLANNING ACT STATEMENTS.	\$6,750,000	WOODMERE (HURONTARIO) INC.	10422967 CANADA CORP.	C
PR3311152	2018/04/17	CHARGE	\$4,596,430	10422967 CANADA CORP.	FIRST SOURCE FINANCIAL MANAGEMENT INC.	C
PR3311153	2018/04/17	NO ASSGN RENT GEN REMARKS: PR3311152		10422967 CANADA CORP.	FIRST SOURCE FINANCIAL MANAGEMENT INC.	C
PR3311154	2018/04/17	CHARGE	\$1,350,000	10422967 CANADA CORP.	ARCHIGRAPH DEVELOPMENT INC.	C
PR3311155	2018/04/17	NO ASSGN RENT GEN REMARKS: PR3311154		10422967 CANADA CORP.	ARCHIGRAPH DEVELOPMENT INC.	C
PR3311156	2018/04/17	CHARGE	\$1,300,000	10422967 CANADA CORP.	45 CONNAUGHT HOLDINGS INC.	C
PR3311157	2018/04/17	DISCH OF CHARGE REMARKS: PR3058773.		*** COMPLETELY DELETED *** CAMERON STEPHENS FINANCIAL CORPORATION		
PR3311158	2018/04/17	DISCH OF CHARGE REMARKS: PR3058774.		*** COMPLETELY DELETED *** TUCSON HURONTARIO INC.		
PR3312873	2018/04/20	NOTICE	\$2	10422967 CANADA CORP.	ARCHIGRAPH DEVELOPMENT INC.	C



ServiceOntario

IMPRIMÉ LE 06 SEPT 2018 À 15 H 20
MIN 07 S POUR BERTUCCI1



RÉPERTOIRE DES
CARTES FONCIÈRES
PEEL(n° 43)

LÉGENDE

PROPRIÉTÉ FRANCHE	
PROPRIÉTÉ À BAIL	
INTÉRÊT LIMITÉ	
PROPRIÉTÉ CONDOMINIALE	
NIP RETIRÉ (MISE À JOUR DE LA CARTE À VENIR)	
NUMÉRO DE LA PROPRIÉTÉ	0449
NUMÉRO DE LA PIÈCE	08050
TISSU GÉOGRAPHIQUE	
SERVITUDE	

CECI N'EST PAS UN PLAN
D'ARPENTAGE

NOTES

EXAMINEZ LES DOCUMENTS DU TITRE POUR UNE
INFORMATION COMPLÈTE SUR LA PROPRIÉTÉ,
CAR LA CARTE N'INDIQUE PEUT-ÊTRE PAS LES
DERNIERS ENREGISTREMENTS

CETTE CARTE A ÉTÉ RÉALISÉE À PARTIR DE PLANS
ET DE DOCUMENTS ENREGISTRÉS DANS LE SYSTÈME
D'ENREGISTREMENT IMMOBILIER ET A ÉTÉ ÉLABORÉE
UNIQUEMENT AUX FINS DE L'INDEXATION DES
PROPRIÉTÉS

POUR LES DIMENSIONS DES PROPRIÉTÉS, VOIR LES
PLANS ET DOCUMENTS ENREGISTRÉS

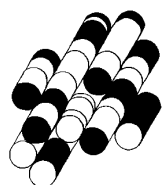
SEULES LES PRINCIPALES SERVITUDES SONT
INDIQUÉES SUR LA CARTE

LES PLANS DE RENVOI SOUS-JACENTS À DES PLANS
DE RENVOI PLUS RÉCENTS NE SONT PAS PRÉSENTÉS



APPENDIX D

TERRAPROBE INC.



Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 2000	Polk Criss-Cross Directory, Halton/Peel Regions Ontario
Site Listing:	Mc Donald's Restaurants
Adjacent Properties:	
Hurontario St (1484-1602)	Residential 1495 – Art-invest Lothar Lindt -Hwy 10 & QEW Shiatsu Clinic Institute 1505 – CHC 1523 – Patrick Sweet & Associates -Glenn Piotrowski Architect Ltd 1553 – World Dental -World Dental Laboratory 1561 – Classic Insurance Brokers Inc 1565 – Fairview Insurance Brokers Inc 1572 – Golden Horseshoe Court Developments Ltd -United Pentecostal Church 1599 – Affinity Systems -Aurora Network Technologies Inc -CHC-The EAP Specialists -Fore Entertainment Ltd -Granite Golf Group Inc

	-Green Financial Group Inc -Introdex Marketing -Mississauga Physical Rehabilitation Centre -Opticom Promotion Group Ltd -Rutledge Development Corp -Tayok Investments Limited
Glenburnie Rd (1507-1569 odd)	Residential 1525 – Data Network Cable
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Residential 1580 – Digital Prototypes Inc
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential 89 – Project One Inc
Polesden Dr (1518-1561)	Residential
S Service Rd (49-84)	49 – Ontario Provincial Police (OPP)

	60 – Peel Literacy Guilds (Queen Elizabeth SR) 84 – Ismalia Community of Mississauga -Unitarian Congregation of South Peel
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential 1548 – Glista Insurance Agency

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1995	Polk Criss-Cross Directory, Halton/Peel Regions Ontario
Site Listing:	Mc Donald's Restaurants
Adjacent Properties:	
Hurontario St (1484-1602)	Residential 1495 – Art-invest Lothar Lindt -Hwy 10 & QEW Chiropractic -Hwy 10 & QEW Shiatsu Clinic Institute 1505 – CHC The Eap Specialists Intake 1523 – Patrick & Sweet Associates -Glenn Piotrowski Architect Ltd 1542 – Mineola West Holdings Limited

	1553 – World Dental Laboratory
	1561 – Classic Insurance Brokers Inc
	-Rights Paralegal Group Inc
	1565 – Fairview Insurance Brokers Inc
	1572 – United Pentecostal Church
	1599 – 33 Digiprint Ltd
	-Affinity Systems
	-Cam Turf Corporation
	-Canadian Drivers Club
	-Canadian Travel Group
	-Crown Life Insurance Company
	-Encore Travel Club
	-Favas Insurance Services Inc
	-Groupmark Canada Limited
	-Hydratech Systems Inc
	-Introdex Marketing
	-Kinlin Patrick J li Insurance Agency Ltd
	-Opticom Promotion Group Ltd
	-Oriflame Canada Limited
	-Rae Design
	-Rbm Financial Ltd
	-Rutledge Development Corp
	-Tayok Investments Limited
	-The Wine Club
	-Vandyk Commercial Incorporated

	1600 – Freedom Publishing
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Residential
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential 89 – Project One Inc
Polesden Dr (1518-1561)	Residential
S Service Rd (49-84)	49 – Ontario Provincial Police Detachment 60 – Board of Education Public Schools 84 – Ismalia Community of Mississauga -Unitarian Congregation of South Peel
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential

	1548 – Glista Insurance Agency
--	--------------------------------

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1990	Mights Suburban Metro Toronto Criss-Cross Directory
Site Listing:	Mc Donald's Restaurants (Burnhamthorpe & Wolfdale)
Adjacent Properties:	
Hurontario St (1484-1602)	Residential 1495 – Art-invest Lothar Lindt -Zubar Holding 1505 – Corporate Health Consultants 1523 – Baker Salmona Associates Limited -C B L Design Group -Patrick Sweet & Associates 1565 – Classic Insurance Brokers Inc -Fairview Insurance Brokers Inc 1572 – United Pentecostal Church 1599 – Canadian Drivers Club -Canadian Travel Group -Groupmark Canada Limited -Insight Educational Services -Noevir Canada Ltd

	-Oriflame Canada Limited -Solid Gold
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Residential
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential
Polesden Dr (1518-1561)	Residential
S Service Rd (49-84)	49 – Ontario Provincial Police Port Credit Detachment 60 – Board of Education – Queen Elizabeth Senior 84 – Gay Community Outreach -Ismalia Community of Mississauga -Unitarian Congregation
Trimble Ct (1528-1549)	Residential

Weaver Ave (1528-1549)	Residential
-------------------------------	-------------

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1986	Mights Suburban Metro Toronto Criss-Cross Directory
Site Listing:	Mc Donald's Restaurants of Canada Ltd
Adjacent Properties:	
Hurontario St (1484-1602)	Residential 1495 – Art-invest Lothar Lindt 1505 – Adventure Tatto Inc -Zubar Holding 1506 – Fram Construction Co Ltd 1523 – Sentinel Security
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential 127 – P C P Investments Ltd
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Residential

Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential
Polesden Dr (1518-1561)	Residential
S Service Rd (49-84)	49 – Ontario Provincial Police 60 – Board of Education – Queen Elizabeth Senior 84 – Ismalia Community of Mississauga -Unitarian Congregation
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1981	Mights Suburban Metro Toronto Criss-Cross Directory
Site Listing:	Mc Donald's Restaurants of Canada Ltd
Adjacent Properties:	
Hurontario St (1484-1602)	Residential

	1495 – Art-invest
Glenburnie Rd (1507-1569 odd)	Residential 1569 – J D Phoenix Ltd
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential
Polesden Dr (1518-1561)	Street Not Listed
S Service Rd (49-84)	49 – Ontario Provincial Police 84 – Ismalia Community of Mississauga -Unitarian Congregation
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1976	Mights Metro Toronto Satellite Cities Directory
Site Listing:	Mc Donald's Restaurants of Canada Ltd
Adjacent Properties:	
Hurontario St (1484-1602)	Residential
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed
Pinewood Trail (29-89 odd)	Residential 59 – F M Townsend Ltd
Polesden Dr (1518-1561)	Street Not Listed

S Service Rd (49-84)	Residential 49 – Ontario Provincial Police 84 – Unitarian Congregation
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential 1548 – Glista Insurance Agency

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1971-72	Mights Metro Toronto Satellite Cities Directory
Site Listing:	Address Not Listed
Adjacent Properties:	
Hurontario St (1484-1602)	Residential
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed

Maplewood Rd (29-120)	Residential 62 – E Piergiovanni & Co
Pinetree Way (25-76)	Residential
Pinewood Trail (29-89 odd)	Residential 39 – Seaway Rentals & Sales 59 – F M Townsend Ltd
Polesden Dr (1518-1561)	Street Not Listed
S Service Rd (49-84)	49 – Provincial Police 60 – Queen Elizabeth Senior 84 – Unitarian Congregation
Trimble Ct (1528-1549)	Street Not Listed
Weaver Ave (1528-1549)	Residential

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1967	Mights Greater Toronto Suburban Directory
Site Listing:	Address Not Listed

Adjacent Properties:	
Hurontario St (1484-1602)	Residential
Glenburnie Rd (1507-1569 odd)	Residential
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Residential 62 – E Piergiovanni & Co (drainlayers)
Pinetree Way (25-76)	Residential
Pinewood Trail (29-89 odd)	Residential 59 – F M Townsend Ltd
Polesden Dr (1518-1561)	Street Not Listed
S Service Rd (49-84)	60 – Queen Elizabeth Senior P S 84 – Unitarian Congregation
Trimble Ct (1528-1549)	Residential

Weaver Ave (1528-1549)	Residential

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1962-63	Mights Toronto, West & North-West Suburban Directory
Site Listing:	Address Not Listed
Adjacent Properties:	
Hurontario St (1484-1602)	Address Not Listed
Glenburnie Rd (1507-1569 odd)	Residential 1567 – Jack Amos Contracting Ltd
Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Residential
Pinetree Way (25-76)	Address Not Listed

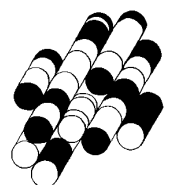
Pinewood Trail (29-89 odd)	Residential
Polesden Dr (1518-1561)	Street Not Listed
S Service Rd (49-84)	60 – Queen Elizabeth School 84 – Unitarian Congregation
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Residential

Site Address:	1575 Hurontario St, Mississauga, Ontario
Year: 1958	Mights Toronto, West & North-West Suburban Directory
Site Listing:	Address Not Listed
Adjacent Properties:	
Hurontario St (1484-1602)	Address Not Listed
Glenburnie Rd (1507-1569 odd)	Residential 1567 – Jack Amos Contracting Ltd

Glenview Dr (95-179)	Residential
Hampshire Cres (1458-1604)	Street Not Listed
Maplewood Rd (29-120)	Address Not Listed
Pinetree Way (25-76)	Street Not Listed
Pinewood Trail (29-89 odd)	Residential
Polesden Dr (1518-1561)	Street Not Listed
S Service Rd (49-84)	Residential 84 – Unitarian Congregation
Trimble Ct (1528-1549)	Residential
Weaver Ave (1528-1549)	Street Not Listed

APPENDIX E

TERRAPROBE INC.





DATABASE REPORT

Project Property: 1575 Hurontario St., Mississauga
1575 Hurontario Street
Mississauga ON L5G 3H7
1-18-0537-41

Project No:

Report Type: Quote - Custom-Build Your Own Report

Order No: 20180906136

Requested by: Terraprobe Ltd.

Date Completed: September 13, 2018

**Environmental Risk
Information Services**
A division of Glacier Media Inc.
P: 1.866.517.5204
E: info@erisinfo.com
www.erisinfo.com

Table of Contents

Table of Contents.....	2
Executive Summary.....	3
Executive Summary: Report Summary.....	4
Executive Summary: Site Report Summary - Project Property.....	6
Executive Summary: Site Report Summary - Surrounding Properties.....	7
Executive Summary: Summary By Data Source.....	11
Map.....	17
Aerial.....	18
Topographic Map.....	19
Detail Report.....	20
Unplottable Summary.....	42
Unplottable Report.....	44
Appendix: Database Descriptions.....	55
Definitions.....	64

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Executive Summary

Property Information:

Project Property: 1575 Hurontario St., Mississauga
1575 Hurontario Street Mississauga ON L5G 3H7

Project No: 1-18-0537-41

Order Information:

Order No: 20180906136
Date Requested: September 6, 2018
Requested by: Terraprobe Ltd.
Report Type: Quote - Custom-Build Your Own Report

Historical/Products:

Executive Summary: Report Summary

Database	Name	Searched	Project Property	Boundary to 0.25km	Total
AAGR	Abandoned Aggregate Inventory	Y	0	0	0
AGR	Aggregate Inventory	Y	0	0	0
AMIS	Abandoned Mine Information System	Y	0	0	0
ANDR	Anderson's Waste Disposal Sites	Y	0	0	0
AUWR	Automobile Wrecking & Supplies	Y	0	0	0
BORE	Borehole	Y	0	1	1
CA	Certificates of Approval	Y	0	2	2
CFOT	Commercial Fuel Oil Tanks	Y	0	0	0
CHEM	Chemical Register	Y	0	0	0
CNG	Compressed Natural Gas Stations	Y	0	0	0
COAL	Inventory of Coal Gasification Plants and Coal Tar Sites	Y	0	0	0
CONV	Compliance and Convictions	Y	0	0	0
CPU	Certificates of Property Use	Y	0	0	0
DRL	Drill Hole Database	Y	0	0	0
DRYCLEANERS	Dry Cleaning Facilities	Y	0	0	0
EASR	Environmental Activity and Sector Registry	Y	0	0	0
EBR	Environmental Registry	Y	0	0	0
ECA	Environmental Compliance Approval	Y	0	0	0
EEM	Environmental Effects Monitoring	Y	0	0	0
EHS	ERIS Historical Searches	Y	2	1	3
EIIS	Environmental Issues Inventory System	Y	0	0	0
EMHE	Emergency Management Historical Event	Y	0	0	0
EXP	List of TSSA Expired Facilities	Y	0	0	0
FCON	Federal Convictions	Y	0	0	0
FCS	Contaminated Sites on Federal Land	Y	0	0	0
FOFT	Fisheries & Oceans Fuel Tanks	Y	0	0	0
FST	Fuel Storage Tank	Y	0	2	2
FSTH	Fuel Storage Tank - Historic	Y	0	0	0
GEN	Ontario Regulation 347 Waste Generators Summary	Y	0	21	21
GHG	Greenhouse Gas Emissions from Large Facilities	Y	0	0	0
HINC	TSSA Historic Incidents	Y	0	0	0
IAFT	Indian & Northern Affairs Fuel Tanks	Y	0	0	0
INC	TSSA Incidents	Y	0	0	0
LIMO	Landfill Inventory Management Ontario	Y	0	0	0
MINE	Canadian Mine Locations	Y	0	0	0
MISA PENALTY	Environmental Penalty Annual Report	Y	0	0	0

Database	Name	Searched	Project Property	Boundary to 0.25km	Total
MNR	Mineral Occurrences	Y	0	0	0
NATE	National Analysis of Trends in Emergencies System (NATES)	Y	0	0	0
NCPL	Non-Compliance Reports	Y	0	0	0
NDFT	National Defense & Canadian Forces Fuel Tanks	Y	0	0	0
NDSP	National Defense & Canadian Forces Spills	Y	0	0	0
NDWD	National Defence & Canadian Forces Waste Disposal Sites	Y	0	0	0
NEBI	National Energy Board Pipeline Incidents	Y	0	0	0
NEBW	National Energy Board Wells	Y	0	0	0
NEES	National Environmental Emergencies System (NEES)	Y	0	0	0
NPCB	National PCB Inventory	Y	0	0	0
NPRI	National Pollutant Release Inventory	Y	0	0	0
OGW	Oil and Gas Wells	Y	0	0	0
OOGW	Ontario Oil and Gas Wells	Y	0	0	0
OPCB	Inventory of PCB Storage Sites	Y	0	0	0
ORD	Orders	Y	0	0	0
PAP	Canadian Pulp and Paper	Y	0	0	0
PCFT	Parks Canada Fuel Storage Tanks	Y	0	0	0
PES	Pesticide Register	Y	0	0	0
PINC	TSSA Pipeline Incidents	Y	0	0	0
PRT	Private and Retail Fuel Storage Tanks	Y	0	0	0
PTTW	Permit to Take Water	Y	0	0	0
REC	Ontario Regulation 347 Waste Receivers Summary	Y	0	0	0
RSC	Record of Site Condition	Y	0	0	0
RST	Retail Fuel Storage Tanks	Y	0	0	0
SCT	Scott's Manufacturing Directory	Y	0	8	8
SPL	Ontario Spills	Y	0	3	3
SRDS	Wastewater Discharger Registration Database	Y	0	0	0
TANK	Anderson's Storage Tanks	Y	0	0	0
TCFT	Transport Canada Fuel Storage Tanks	Y	0	0	0
VAR	TSSA Variances for Abandonment of Underground Storage Tanks	Y	0	0	0
WDS	Waste Disposal Sites - MOE CA Inventory	Y	0	0	0
WDSH	Waste Disposal Sites - MOE 1991 Historical Approval Inventory	Y	0	0	0
WWIS	Water Well Information System	Y	0	3	3
Total:			2	41	43

Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev diff (m)</i>	<i>Page Number</i>
<u>1</u>	EHS		1575 Hurontario Street n/a ON L5G 3H7 <i>Order ID:</i> 70082	-/0.0	0.00	<u>20</u>
<u>2</u>	EHS		1575 Hurontario St Mississauga ON L5G3H7 <i>Order ID:</i> 480198	-/0.0	-0.02	<u>20</u>

Executive Summary: Site Report Summary - Surrounding Properties

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>3</u>	EHS		1599 HURONTARIO STREET MISSISSAUGA ON L5G 4S1 <i>Order ID: 93060</i>	WNW/30.4	1.06	<u>20</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>20</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>21</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON	WNW/30.4	1.06	<u>21</u>
<u>3</u>	GEN	The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	WNW/30.4	1.06	<u>22</u>
<u>3</u>	GEN	The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	WNW/30.4	1.06	<u>22</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>22</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON	WNW/30.4	1.06	<u>22</u>
<u>3</u>	GEN	Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>23</u>
<u>3</u>	GEN	The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	WNW/30.4	1.06	<u>23</u>
<u>3</u>	SCT	GROUPMARK CANADA LTD	1599 HURONTARIO ST SUITE 200 MISSISSAUGA ON L5G 4S1	WNW/30.4	1.06	<u>23</u>
<u>3</u>	SCT	CLIFFORD K. GOODMAN INC.	1599 Hurontario St Suite 104 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>24</u>

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>3</u>	SCT	Normerica Inc.	1599 Hurontario St Suite 300 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>24</u>
<u>3</u>	SCT	Prism Data Services Ltd.	1599 Hurontario St Suite 200 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>25</u>
<u>3</u>	SCT	Affinity Systems Ltd.	1599 Hurontario St Suite 302 Mississauga ON L5G 4S1	WNW/30.4	1.06	<u>25</u>
<u>4</u>	WWIS		Mississauga ON Well ID: 7282244	S/46.7	-1.89	<u>25</u>
<u>5</u>	SPL	The Regional Municipality of Peel	39 Maplewood Rd Mississauga ON	E/61.8	-2.10	<u>28</u>
<u>6</u>	GEN	zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	SSE/63.0	-1.13	<u>28</u>
<u>6</u>	GEN	zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	SSE/63.0	-1.13	<u>29</u>
<u>6</u>	GEN	zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	SSE/63.0	-1.13	<u>29</u>
<u>6</u>	SCT	Cann Chesley	1553 Hurontario St Mississauga ON L5G 3H7	SSE/63.0	-1.13	<u>29</u>
<u>6</u>	SCT	World Dental Laboratory	1553 Hurontario St Mississauga ON L5G 3H7	SSE/63.0	-1.13	<u>29</u>
<u>7</u>	FST	DEVIL'S PULPIT GOLF ASSOCIATION	1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	W/113.1	2.23	<u>30</u>
<u>7</u>	FST	DEVIL'S PULPIT GOLF ASSOCIATION	1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	W/113.1	2.23	<u>30</u>
<u>8</u>	GEN	QUEEN ELIZABETH SR. PUBLIC SCHOOL 30-247	PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	N/136.2	0.36	<u>30</u>

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>8</u>	GEN	PEEL BOARD OF EDUCATION	QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	N/136.2	0.36	<u>31</u>
<u>8</u>	GEN	QUEEN ELIZABETH SR. PUBLIC SCHOOL	PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	N/136.2	0.36	<u>31</u>
<u>8</u>	GEN	PEEL DISTRICT SCHOOL BOARD	QUEEN ELIZABETH SENIOR PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	N/136.2	0.36	<u>32</u>
<u>8</u>	GEN	PEEL DISTRICT SCHOOL BOARD	QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	N/136.2	0.36	<u>32</u>
<u>9</u>	SCT	TDI Computer Systems Limited	1523 Hurontario St Mississauga ON L5G 3H7	SE/136.8	-2.01	<u>32</u>
<u>10</u>	WWIS		MISSISSAUGA ON Well ID: 7112707	NW/164.2	2.96	<u>33</u>
<u>11</u>	SPL	Alectra Utilities Corporation	1548 Weaver Ave Mississauga ON	ENE/166.0	-1.98	<u>35</u>
<u>12</u>	WWIS		Mississauga ON Well ID: 7108247	NW/172.8	2.96	<u>36</u>
<u>13</u>	GEN	SNC Lavalin-ProFac	49 South Service Road Mississauga ON L5G 2R8	NW/181.5	2.96	<u>38</u>
<u>13</u>	GEN	SNC Lavalin-ProFac	49 South Service Road Mississauga ON L5G 2R8	NW/181.5	2.96	<u>39</u>
<u>13</u>	GEN	SNC LAVALIN PROFAC INC.	49 South Service Road Mississauga ON L5G 2R8	NW/181.5	2.96	<u>39</u>
<u>13</u>	GEN	Civil Underground and excavation company	49 south service rd mississauga ON L5G 2R8	NW/181.5	2.96	<u>39</u>

Map Key	DB	Company/Site Name	Address	Dir/Dist (m)	Elev Diff (m)	Page Number
<u>13</u>	SPL	SNC Lavalin Profac<UNOFFICIAL>	49 South Service Road Mississauga ON L5G 2R8	NW/181.5	2.96	<u>40</u>
<u>14</u>	BORE		ON	NE/183.9	-1.04	<u>40</u>
<u>15</u>	CA	858835 ONTARIO LTD.- PT.LOTS 1&2/RANGE 2	POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	SSE/214.4	-4.39	<u>40</u>
<u>15</u>	CA	858835 ONTARIO LTD.- PT.LOTS 1&2,RANGE 2	POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	SSE/214.4	-4.39	<u>41</u>

Executive Summary: Summary By Data Source

BORE - Borehole

A search of the BORE database, dated 1875-Jul 2014 has found that there are 1 BORE site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	ON	183.9	<u>14</u>

CA - Certificates of Approval

A search of the CA database, dated 1985-Oct 30, 2011* has found that there are 2 CA site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
858835 ONTARIO LTD.-PT.LOTS 1&2,RANGE 2	POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	214.4	<u>15</u>
858835 ONTARIO LTD.-PT.LOTS 1&2/RANGE 2	POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	214.4	<u>15</u>

EHS - ERIS Historical Searches

A search of the EHS database, dated 1999-Feb 28, 2018 has found that there are 3 EHS site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	1575 Hurontario Street n/a ON L5G 3H7 <i>Order ID: 70082</i>	0.0	<u>1</u>
	1575 Hurontario St Mississauga ON L5G3H7 <i>Order ID: 480198</i>	0.0	<u>2</u>
	1599 HURONTARIO STREET MISSISSAUGA ON L5G 4S1	30.4	<u>3</u>

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
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Order ID: 93060

FST - Fuel Storage Tank

A search of the FST database, dated Feb 28, 2017 has found that there are 2 FST site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
DEVIL'S PULPIT GOLF ASSOCIATION	1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	113.1	<u>7</u>
DEVIL'S PULPIT GOLF ASSOCIATION	1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	113.1	<u>7</u>

GEN - Ontario Regulation 347 Waste Generators Summary

A search of the GEN database, dated 1986-December 31, 2017 has found that there are 21 GEN site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	30.4	<u>3</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	30.4	<u>3</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON	30.4	<u>3</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	30.4	<u>3</u>
The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	30.4	<u>3</u>
The Canadian Academy of Dental Hygiene	1599 Huontario Street Suite #105 Mississauga ON	30.4	<u>3</u>

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON	30.4	<u>3</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	30.4	<u>3</u>
Canadian Academy of Dental Hygiene Inc.	1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	30.4	<u>3</u>
zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	63.0	<u>6</u>
zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	63.0	<u>6</u>
zih and associates inc	1553 hurontario street mississauga ON L5G 3H7	63.0	<u>6</u>
PEEL DISTRICT SCHOOL BOARD	QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	136.2	<u>8</u>
PEEL BOARD OF EDUCATION	QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	136.2	<u>8</u>
QUEEN ELIZABETH SR. PUBLIC SCHOOL	PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	136.2	<u>8</u>
PEEL DISTRICT SCHOOL BOARD	QUEEN ELIZABETH SENIOR PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	136.2	<u>8</u>
QUEEN ELIZABETH SR. PUBLIC SCHOOL 30-247	PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	136.2	<u>8</u>

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
Civil Underground and excavation company	49 south service rd mississauga ON L5G 2R8	181.5	<u>13</u>
SNC LAVALIN PROFAC INC.	49 South Service Road Mississauga ON L5G 2R8	181.5	<u>13</u>
SNC Lavalin-ProFac	49 South Service Road Mississauga ON L5G 2R8	181.5	<u>13</u>
SNC Lavalin-ProFac	49 South Service Road Mississauga ON L5G 2R8	181.5	<u>13</u>

SCT - Scott's Manufacturing Directory

A search of the SCT database, dated 1992-Mar 2011* has found that there are 8 SCT site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
Affinity Systems Ltd.	1599 Hurontario St Suite 302 Mississauga ON L5G 4S1	30.4	<u>3</u>
GROUPMARK CANADA LTD	1599 HURONTARIO ST SUITE 200 MISSISSAUGA ON L5G 4S1	30.4	<u>3</u>
Normerica Inc.	1599 Hurontario St Suite 300 Mississauga ON L5G 4S1	30.4	<u>3</u>
CLIFFORD K. GOODMAN INC.	1599 Hurontario St Suite 104 Mississauga ON L5G 4S1	30.4	<u>3</u>
Prism Data Services Ltd.	1599 Hurontario St Suite 200 Mississauga ON L5G 4S1	30.4	<u>3</u>
Cann Chesley	1553 Hurontario St Mississauga ON L5G 3H7	63.0	<u>6</u>

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
World Dental Laboratory	1553 Hurontario St Mississauga ON L5G 3H7	63.0	<u>6</u>
TDI Computer Systems Limited	1523 Hurontario St Mississauga ON L5G 3H7	136.8	<u>9</u>

SPL - Ontario Spills

A search of the SPL database, dated 1988-May 2018 has found that there are 3 SPL site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
The Regional Municipality of Peel	39 Maplewood Rd Mississauga ON	61.8	<u>5</u>
Alectra Utilities Corporation	1548 Weaver Ave Mississauga ON	166.0	<u>11</u>
SNC Lavalin Profac<UNOFFICIAL>	49 South Service Road Mississauga ON L5G 2R8	181.5	<u>13</u>

WWIS - Water Well Information System

A search of the WWIS database, dated Dec 31, 2017 has found that there are 3 WWIS site(s) within approximately 0.25 kilometers of the project property.

<u>Site</u>	<u>Address</u>	<u>Distance (m)</u>	<u>Map Key</u>
	Mississauga ON Well ID: 7282244	46.7	<u>4</u>
	MISSISSAUGA ON Well ID: 7112707	164.2	<u>10</u>
	Mississauga ON	172.8	<u>12</u>

Site

Address

Distance (m)

Map Key

Well ID: 7108247



Map : 0.25 Kilometer Radius

Order No: 20180906136

Address: 1575 Hurontario Street, Mississauga, ON, L5G 3H7

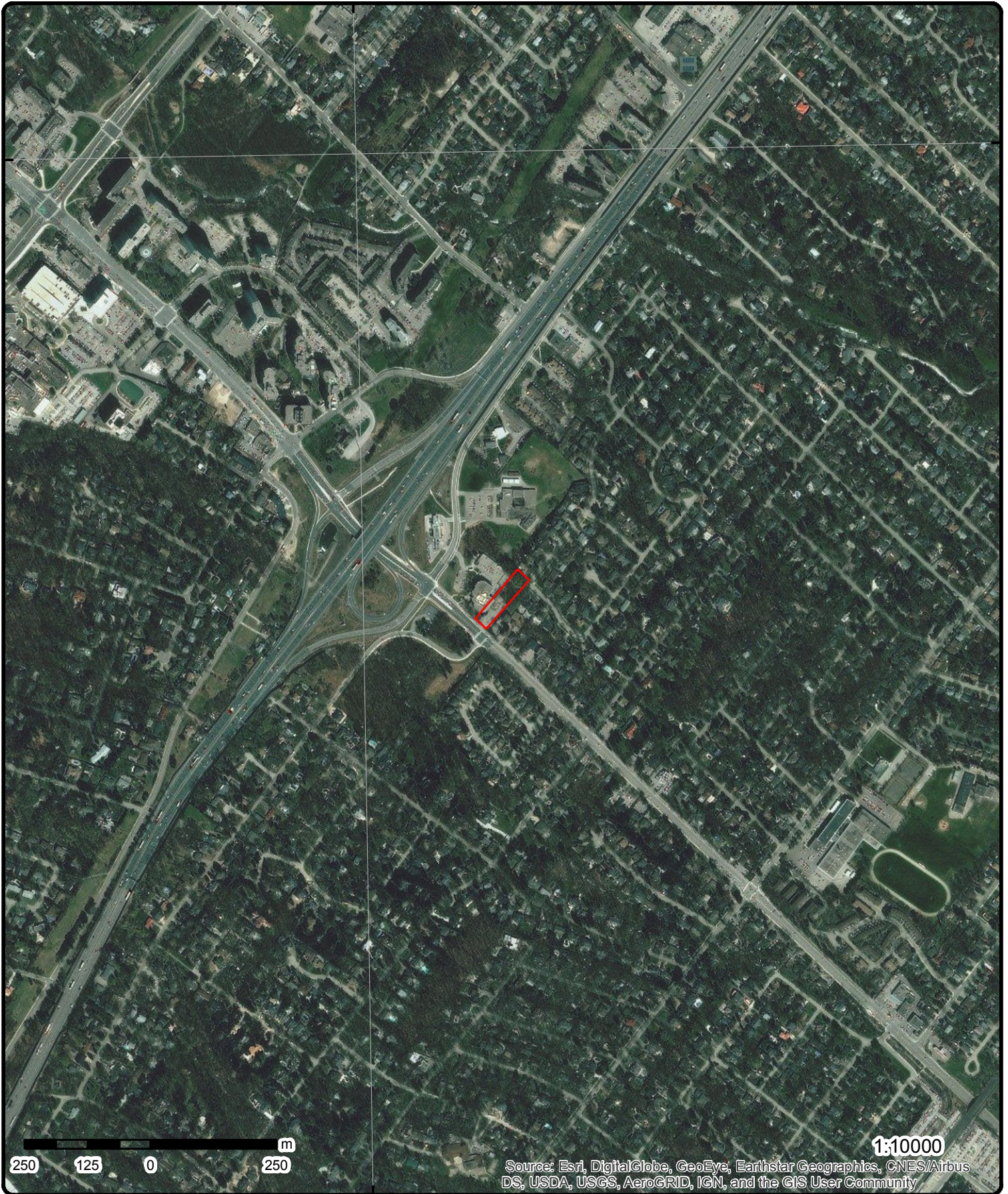


Project Property	Expressway	Industrial and Resource - Regions	National Park
Buffer Outline	Principal Highway	Main Line	Provincial or Territorial Park
Eris Sites with Higher Elevation	Secondary Highway	Sidetrack	Other Park
Eris Sites with Same Elevation	Major Road	Transit Line	Golf Course or Driving Range
Eris Sites with Lower Elevation	Local road	Abandoned Line	Park or Sports Field
Eris Sites with Unknown Elevation	Trail		Other Recreation Area
	Proposed Road		
	Ferry Route/Ice Road		

79°36'W

43°34'30"N

43°34'30"N



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Aerial (2013)

Address: 1575 Hurontario Street, Mississauga, ON, L5G 3H7

Source: ESRI World Imagery

Order No: 20180906136

ERIS
ENVIRONMENTAL RISK INFORMATION SERVICES



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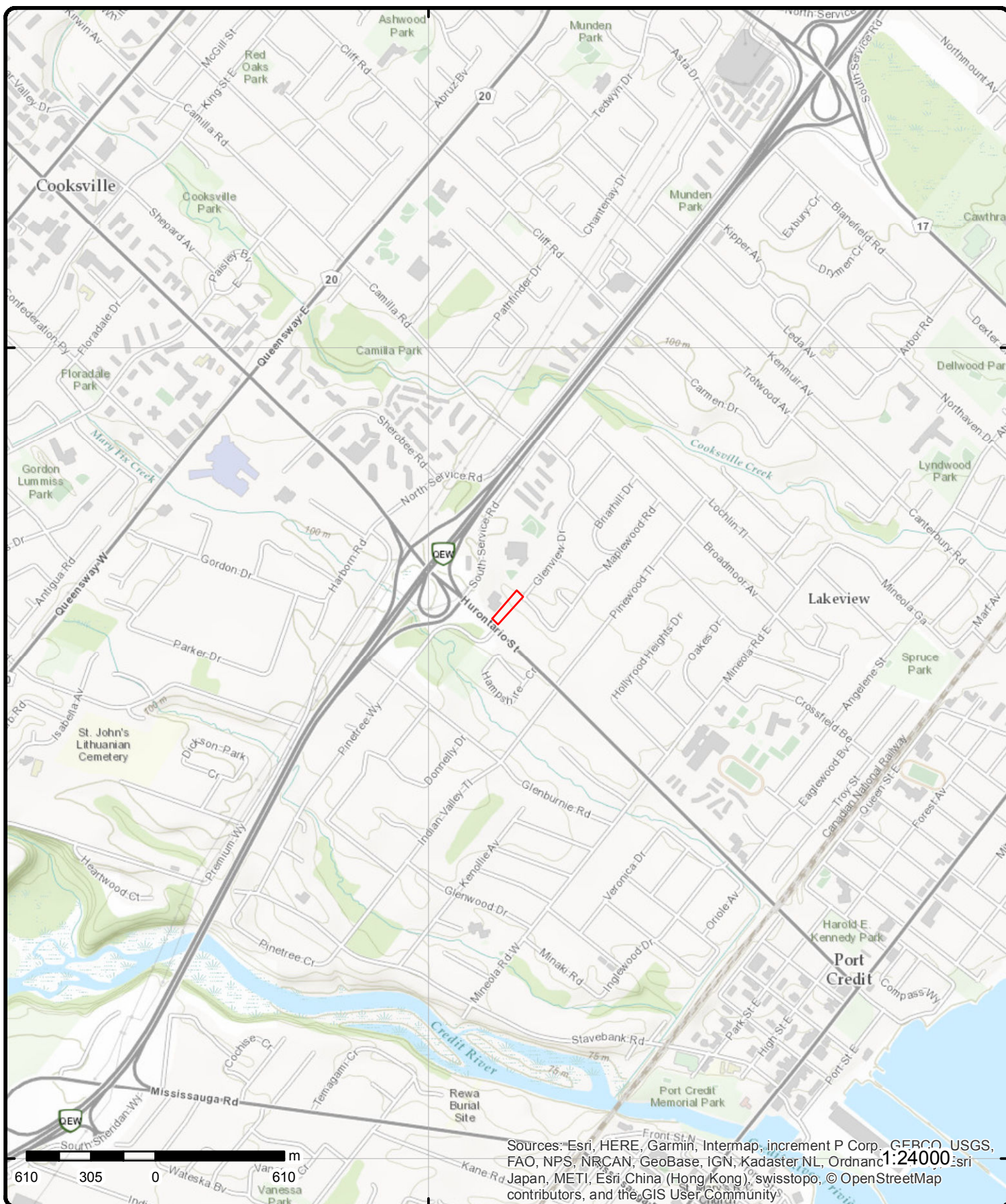
79°36'W

43°34'30"N

43°34'30"N

43°33'N

43°33'N



Topographic Map

Address: 1575 Hurontario Street, Mississauga, ON, L5G 3H7

Source: ESRI World Topographic Map

Order No: 20180906136



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Detail Report

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
1	1 of 1	-/0.0	96.9 / 0.00	1575 Hurontario Street n/a ON L5G 3H7	EHS
Order ID: 70082 Order No: 20060209017w Customer ID: 19181 Company ID: 111 Status: C Report Code: 9CAN Report Type: Online Mapless Report Date: 2/9/2006 Report Requested by: Bruce A. Brown Associates Limited Nearest Intersection: Previous Site Name: Additional Info Ordered:					
Date Received: 2/9/2006 Lot/Building Size: Municipality: Client Prov/State: ON Search Radius (km): 0.25 Large Radius: 2 X: Y:					
2	1 of 1	-/0.0	96.9 / -0.02	1575 Hurontario St Mississauga ON L5G3H7	EHS
Order ID: 480198 Order No: 20161003037 Customer ID: 53147 Company ID: 77 Status: C Report Code: 3CAN Report Type: Standard Report Report Date: 06-OCT-16 Report Requested by: Pinchin Ltd. Nearest Intersection: Previous Site Name: Additional Info Ordered:					
Date Received: 03-OCT-16 Lot/Building Size: Municipality: Client Prov/State: ON Search Radius (km): .25 Large Radius: .35 X: -79.596751 Y: 43.566888					
3	1 of 15	WNW/30.4	98.0 / 1.06	1599 HURONTARIO STREET MISSISSAUGA ON L5G 4S1	EHS
Order ID: 93060 Order No: 20070117009 Customer ID: 53647 Company ID: 27 Status: C Report Code: 3CAN Report Type: CAN - Complete Report Report Date: 1/25/2007 Report Requested by: Construction Control Inc. Nearest Intersection: Previous Site Name: Additional Info Ordered:					
Date Received: 1/17/2007 Lot/Building Size: Municipality: Client Prov/State: Search Radius (km): 0.25 Large Radius: 2 X: -79.597094 Y: 43.567091					
3	2 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105	GEN

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Mississauga ON L5G 4S1					
Generator No.:	ON6281453			PO Box No.:	
Status:				Country:	Canada
Approval Years:	2015			Choice of Contact:	CO_ADMIN
Contam. Facility:	No			Co Admin:	Donna Ruston
MHSW Facility:	No			Phone No. Admin:	905-278-2794 Ext.
SIC Code:	611710				
SIC Description:	EDUCATIONAL SUPPORT SERVICES				
--Details--					
Waste Code:	264				
Waste Description:	PHOTOPROCESSING WASTES				
Waste Code:	148				
Waste Description:	INORGANIC LABORATORY CHEMICALS				
Waste Code:	312				
Waste Description:	PATHOLOGICAL WASTES				
3	3 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	GEN
Generator No.:	ON6281453			PO Box No.:	
Status:	Registered			Country:	Canada
Approval Years:	As of Dec 2017			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No. Admin:	
SIC Code:					
SIC Description:					
--Details--					
Waste Code:	312 P				
Waste Description:	Pathological wastes				
Waste Code:	264 T				
Waste Description:	Photoprocessing wastes				
Waste Code:	264 L				
Waste Description:	Photoprocessing wastes				
Waste Code:	148 C				
Waste Description:	Misc. wastes and inorganic chemicals				
3	4 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105 Mississauga ON	GEN
Generator No.:	ON6281453			PO Box No.:	
Status:				Country:	
Approval Years:	2012			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No. Admin:	
SIC Code:	611710				
SIC Description:	Educational Support Services				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
3	5 of 15	WNW/30.4	98.0 / 1.06	The Canadian Academy of Dental Hygiene 1599 Huontario Street Suite #105 Mississauga ON	GEN
Generator No.:		ON9575189	PO Box No.:		
Status:			Country:		
Approval Years:		2011	Choice of Contact:		
Contam. Facility:			Co Admin:		
MHSW Facility:			Phone No. Admin:		
SIC Code:		611690			
SIC Description:		All Other Schools and Instruction			
--Details--					
Waste Code:		264			
Waste Description:		PHOTOPROCESSING WASTES			
3	6 of 15	WNW/30.4	98.0 / 1.06	The Canadian Academy of Dental Hygiene 1599 Huontario Street Suite #105 Mississauga ON	GEN
Generator No.:		ON9575189	PO Box No.:		
Status:			Country:		
Approval Years:		2010	Choice of Contact:		
Contam. Facility:			Co Admin:		
MHSW Facility:			Phone No. Admin:		
SIC Code:		611690			
SIC Description:		All Other Schools and Instruction			
--Details--					
Waste Code:		264			
Waste Description:		PHOTOPROCESSING WASTES			
3	7 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	GEN
Generator No.:		ON6281453	PO Box No.:		
Status:			Country:		Canada
Approval Years:		2014	Choice of Contact:		CO_ADMIN
Contam. Facility:		No	Co Admin:		Robin White-Trottier
MHSW Facility:		No	Phone No. Admin:		905-278-2794 Ext.28
SIC Code:		611710			
SIC Description:		EDUCATIONAL SUPPORT SERVICES			
--Details--					
Waste Code:		312			
Waste Description:		PATHOLOGICAL WASTES			
Waste Code:		264			
Waste Description:		PHOTOPROCESSING WASTES			
3	8 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105 Mississauga ON	GEN
Generator No.:		ON6281453	PO Box No.:		
Status:			Country:		
Approval Years:		2013	Choice of Contact:		

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Contam. Facility: MHSW Facility: SIC Code: SIC Description:	611710	EDUCATIONAL SUPPORT SERVICES		Co Admin: Phone No. Admin:	
--Details--					
Waste Code: Waste Description:	264	PHOTOPROCESSING WASTES			
Waste Code: Waste Description:	312	PATHOLOGICAL WASTES			
3	9 of 15	WNW/30.4	98.0 / 1.06	Canadian Academy of Dental Hygiene Inc. 1599 Hurontario Street, Suite 105 Mississauga ON L5G 4S1	GEN
Generator No.: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON6281453 2016 No No 611710	EDUCATIONAL SUPPORT SERVICES		PO Box No.: Country: Choice of Contact: Co Admin: Phone No. Admin:	
				Canada CO_ADMIN Donna Ruston 905-278-2794 Ext.	
--Details--					
Waste Code: Waste Description:	264	PHOTOPROCESSING WASTES			
Waste Code: Waste Description:	312	PATHOLOGICAL WASTES			
Waste Code: Waste Description:	148	INORGANIC LABORATORY CHEMICALS			
3	10 of 15	WNW/30.4	98.0 / 1.06	The Canadian Academy of Dental Hygiene 1599 Huontario Street Suite #105 Mississauga ON	GEN
Generator No.: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON9575189 2009 611510	Technical and Trade Schools		PO Box No.: Country: Choice of Contact: Co Admin: Phone No. Admin:	
--Details--					
Waste Code: Waste Description:	264	PHOTOPROCESSING WASTES			
3	11 of 15	WNW/30.4	98.0 / 1.06	GROUPMARK CANADA LTD 1599 HURONTARIO ST SUITE 200 MISSISSAUGA ON L5G 4S1	SCT
Established: Plant Size (ft²): Employment:	1971 32000 25				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
--Details--					
Description:		PERIODICALS: PUBLISHING, OR PUBLISHING AND PRINTING			
SIC/NAICS Code:		2721			
Description:		TRAVEL AGENCIES			
SIC/NAICS Code:		4724			
Description:		AUTOMOBILES AND OTHER MOTOR VEHICLES			
SIC/NAICS Code:		5012			
Description:		DRUGS, DRUG PROPRIETARIES, AND DRUGGISTS' SUNDRIES			
SIC/NAICS Code:		5122			
Description:		MISCELLANEOUS BUSINESS CREDIT INSTITUTIONS			
SIC/NAICS Code:		6159			
Description:		PASSENGER CAR LEASING			
SIC/NAICS Code:		7515			
<u>3</u>	12 of 15	WNW/30.4	98.0 / 1.06	CLIFFORD K. GOODMAN INC. 1599 Hurontario St Suite 104 Mississauga ON L5G 4S1	SCT
Established:		1979			
Plant Size (ft²):		2070			
Employment:		8			
--Details--					
Description:		Periodical Publishers			
SIC/NAICS Code:		511120			
<u>3</u>	13 of 15	WNW/30.4	98.0 / 1.06	Normerica Inc. 1599 Hurontario St Suite 300 Mississauga ON L5G 4S1	SCT
Established:		01-JUL-93			
Plant Size (ft²):		300000			
Employment:					
--Details--					
Description:		Dog and Cat Food Manufacturing			
SIC/NAICS Code:		311111			
Description:		All Other Plastic Product Manufacturing			
SIC/NAICS Code:		326198			
Description:		Other Animal Food Manufacturing			
SIC/NAICS Code:		311119			
Description:		Other Leather and Allied Product Manufacturing			
SIC/NAICS Code:		316990			
Description:		All Other Miscellaneous Manufacturing			
SIC/NAICS Code:		339990			
Description:		All Other Miscellaneous Chemical Product Manufacturing			
SIC/NAICS Code:		325999			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
3	14 of 15	WNW/30.4	98.0 / 1.06	Prism Data Services Ltd. 1599 Hurontario St Suite 200 Mississauga ON L5G 4S1	SCT
Established:		01-AUG-70			
Plant Size (ft²):		6700			
Employment:					
--Details--					
Description:		Software Publishers			
SIC/NAICS Code:		511210			
Description:		Direct Mail Advertising			
SIC/NAICS Code:		541860			
Description:		Data Processing, Hosting, and Related Services			
SIC/NAICS Code:		518210			
Description:		Computer Systems Design and Related Services			
SIC/NAICS Code:		541510			
3	15 of 15	WNW/30.4	98.0 / 1.06	Affinity Systems Ltd. 1599 Hurontario St Suite 302 Mississauga ON L5G 4S1	SCT
Established:		01-JUN-89			
Plant Size (ft²):		7500			
Employment:					
--Details--					
Description:		Software Publishers			
SIC/NAICS Code:		511210			
Description:		Research and Development in the Physical, Engineering and Life Sciences			
SIC/NAICS Code:		541710			
Description:		Software Publishers			
SIC/NAICS Code:		511210			
4	1 of 1	S/46.7	95.0 / -1.89	Mississauga ON	WWIS
Well ID:		7282244		Data Entry Status:	
Construction Date:				Data Src:	
Primary Water Use:		Monitoring		Date Received:	
Sec. Water Use:				2/28/2017	
Final Well Status:		Observation Wells		Selected Flag:	
Water Type:				Yes	
Casing Material:				Abandonment Rec:	
Audit No:		Z240428		Contractor:	
Tag:		A217759		6607	
Construction Method:				Form Version:	
Elevation (m):				7	
Elevation Reliability:				Owner:	
Depth to Bedrock:				Street Name:	
Well Depth:				HURONTARIO ST	
Overburden/Bedrock:				County:	
Pump Rate:				PEEL	
Static Water Level:				Municipality:	
Flowing (Y/N):				MISSISSAUGA CITY (PORT CREDIT)	
Flow Rate:				Site Info:	
				Lot:	
				Concession:	
				Concession Name:	
				Easting NAD83:	
				Northing NAD83:	
				Zone:	
				UTM Reliability:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Clear/Cloudy:					
<u>Bore Hole Information</u>					
Bore Hole ID:	1006361390			Elevation:	98.01
DP2BR:				Elevrc:	
Spatial Status:				Zone:	17
Code OB:				East83:	613315
Code OB Desc:				Org CS:	UTM83
Open Hole:				North83:	4824636
Cluster Kind:				UTMRC:	4
Date Completed:	13-FEB-17			UTMRC Desc:	margin of error : 30 m - 100 m
Remarks:				Location Method:	wwr
Elevrc Desc:					
Location Source Date:					
Improvement Location Source:					
Improvement Location Method:					
Source Revision Comment:					
Supplier Comment:					
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
Formation ID:	1006615261				
Layer:	1				
Color:	6				
General Color:	BROWN				
Mat1:	28				
Most Common Material:	SAND				
Mat2:	11				
Other Materials:	GRAVEL				
Mat3:	79				
Other Materials:	PACKED				
Formation Top Depth:	0				
Formation End Depth:	.7				
Formation End Depth UOM:	m				
Formation ID:	1006615262				
Layer:	2				
Color:	6				
General Color:	BROWN				
Mat1:	28				
Most Common Material:	SAND				
Mat2:					
Other Materials:					
Mat3:	77				
Other Materials:	LOOSE				
Formation Top Depth:	.7				
Formation End Depth:	4.9				
Formation End Depth UOM:	m				
Formation ID:	1006615263				
Layer:	3				
Color:	2				
General Color:	GREY				
Mat1:	28				
Most Common Material:	SAND				
Mat2:					
Other Materials:					
Mat3:	77				
Other Materials:	LOOSE				
Formation Top Depth:	4.9				
Formation End Depth:	6.6				
Formation End Depth UOM:	m				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Annular Space/Abandonment Sealing Record</u>					
Plug ID:		1006615272			
Layer:		2			
Plug From:		.3			
Plug To:		2.7			
Plug Depth UOM:		m			
Plug ID:		1006615271			
Layer:		1			
Plug From:		0			
Plug To:		.3			
Plug Depth UOM:		m			
<u>Method of Construction & Well Use</u>					
Method Construction ID:		1006615270			
Method Construction Code:		6			
Method Construction:		Boring			
Other Method Construction:					
<u>Pipe Information</u>					
Pipe ID:		1006615260			
Casing No:		0			
Comment:					
Alt Name:					
<u>Construction Record - Casing</u>					
Casing ID:		1006615267			
Layer:		1			
Material:		5			
Open Hole or Material:		PLASTIC			
Depth From:		.1			
Depth To:		3			
Casing Diameter:		5.1			
Casing Diameter UOM:		cm			
Casing Depth UOM:		m			
<u>Construction Record - Screen</u>					
Screen ID:		1006615268			
Layer:		1			
Slot:		10			
Screen Top Depth:		3			
Screen End Depth:		6			
Screen Material:		5			
Screen Depth UOM:		m			
Screen Diameter UOM:		cm			
Screen Diameter:		6.4			
<u>Water Details</u>					
Water ID:		1006615266			
Layer:		1			
Kind Code:		8			
Kind:		Untested			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Water Found Depth:		3.4			
Water Found Depth UOM:		m			
<u>Hole Diameter</u>					
Hole ID:		1006615265			
Diameter:		5			
Depth From:		6			
Depth To:		6.6			
Hole Depth UOM:		m			
Hole Diameter UOM:		cm			
Hole ID:		1006615264			
Diameter:		18			
Depth From:		0			
Depth To:		6			
Hole Depth UOM:		m			
Hole Diameter UOM:		cm			
<u>5</u>	1 of 1	E/61.8	94.8 / -2.10	The Regional Municipality of Peel 39 Maplewood Rd Mississauga ON	SPL
Ref No:		1561-ATBM5M		Discharger Report:	
Site No:		NA		Material Group:	
Incident Dt:		2017/11/21		Client Type:	Municipal Government
Year:				Sector Type:	Miscellaneous Industrial
Incident Cause:				Source Type:	Pipeline/Components
Incident Event:		Leak/Break		Nearest Watercourse:	
Contaminant Code:		43		Site Name:	6" watermain<UNOFFICIAL>
Contaminant Name:		SEDIMENT(SUSPENDED SOLIDS/ SAND/ SILT)		Site Address:	39 Maplewood Rd
Contaminant Limit 1:				Site District Office:	Halton-Peel
Contam Limit Freq 1:				Site County/District:	Regional Municipality of Peel
Contaminant UN No 1:		n/a		Site Postal Code:	
Contaminant Qty:		0 L		Site Region:	Central
Environment Impact:				Site Municipality:	Mississauga
Nature of Impact:				Site Lot:	
Receiving Medium:				Site Conc:	
Receiving Env:		Surface Water		Northing:	4824725.04
Health/Env Conseq:		2 - Minor Environment		Easting:	613436.34
MOE Response:		No		Site Geo Ref Accu:	
Dt MOE Arvl on Scn:				Site Geo Ref Meth:	
MOE Reported Dt:		2017/11/21		Site Map Datum:	
Dt Document Closed:		2018/01/24			
Agency Involved:					
SAC Action Class:		Watercourse Spills			
Incident Reason:		Equipment Failure			
Incident Summary:		RoP - 6" Watermain Break, Sediment to Mary Six Creek			
<u>6</u>	1 of 5	SSE/63.0	95.8 / -1.13	zih and associates inc 1553 hurontario street mississauga ON L5G 3H7	GEN
Generator No.:		ON6467037		PO Box No.:	
Status:				Country:	Canada
Approval Years:		2016		Choice of Contact:	CO_OFFICIAL
Contam. Facility:		No		Co Admin:	
MHSW Facility:		No		Phone No. Admin:	
SIC Code:		621390			
SIC Description:		OFFICES OF ALL OTHER HEALTH PRACTITIONERS			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
--Details--					
Waste Code:		312			
Waste Description:		PATHOLOGICAL WASTES			
<u>6</u>	2 of 5	SSE/63.0	95.8 / -1.13	zih and associates inc 1553 hurontario street mississauga ON L5G 3H7	GEN
Generator No.:	ON6467037			PO Box No.:	
Status:				Country:	Canada
Approval Years:	2015			Choice of Contact:	CO_OFFICIAL
Contam. Facility:	No			Co Admin:	
MHSW Facility:	No			Phone No. Admin:	
SIC Code:	621390				
SIC Description:	OFFICES OF ALL OTHER HEALTH PRACTITIONERS				
--Details--					
Waste Code:		312			
Waste Description:		PATHOLOGICAL WASTES			
<u>6</u>	3 of 5	SSE/63.0	95.8 / -1.13	zih and associates inc 1553 hurontario street mississauga ON L5G 3H7	GEN
Generator No.:	ON6467037			PO Box No.:	Stop the C
Status:	Registered			Country:	Canada
Approval Years:	As of Dec 2017			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No. Admin:	
SIC Code:					
SIC Description:					
--Details--					
Waste Code:		312 P			
Waste Description:		Pathological wastes			
<u>6</u>	4 of 5	SSE/63.0	95.8 / -1.13	Cann Chesley 1553 Hurontario St Mississauga ON L5G 3H7	SCT
Established:					
Plant Size (ft²):					
Employment:					
--Details--					
Description:		Medical Equipment and Supplies Manufacturing			
SIC/NAICS Code:		339110			
<u>6</u>	5 of 5	SSE/63.0	95.8 / -1.13	World Dental Laboratory 1553 Hurontario St Mississauga ON L5G 3H7	SCT
Established:					
Plant Size (ft²):					
Employment:		1			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB		
--Details--							
Description:		Medical Equipment and Supplies Manufacturing					
SIC/NAICS Code:		339110					
7	1 of 2	W/113.1	99.1 / 2.23	DEVIL'S PULPIT GOLF ASSOCIATION 1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	FST		
Instance No:		10637741					
Cont Name:							
Instance Type:		FS Liquid Fuel Tank					
Fuel Type:		Diesel					
Status:		Active					
Capacity:		4500					
Tank Material:		Steel					
Corrosion Protection:		Impressed Current					
Tank Type:		Single Wall UST					
Install Year:		1990					
Parent Facility Type:		Fuels Safety Private Fuel Outlet - Self Serve					
Facility Type:		FS Liquid Fuel Tank					
7	2 of 2	W/113.1	99.1 / 2.23	DEVIL'S PULPIT GOLF ASSOCIATION 1747 HWY 10PRT LOTS 9&10 CON 1 CALEDON ON L0N 1C0	FST		
Instance No:		10637690					
Cont Name:							
Instance Type:		FS Liquid Fuel Tank					
Fuel Type:		Gasoline					
Status:		Active					
Capacity:		4500					
Tank Material:		Steel					
Corrosion Protection:		Impressed Current					
Tank Type:		Single Wall UST					
Install Year:		1990					
Parent Facility Type:		Fuels Safety Private Fuel Outlet - Self Serve					
Facility Type:		FS Liquid Fuel Tank					
8	1 of 5	N/136.2	97.3 / 0.36	QUEEN ELIZABETH SR. PUBLIC SCHOOL 30-247 PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	GEN		
Generator No.:		ON0359853		PO Box No.:			
Status:				Country:			
Approval Years:		94,95,96		Choice of Contact:			
Contam. Facility:				Co Admin:			
MHSW Facility:				Phone No. Admin:			
SIC Code:		8511					
SIC Description:		ELEM.T./SECON. EDUC.					
--Details--							
Waste Code:		148					
Waste Description:		INORGANIC LABORATORY CHEMICALS					
Waste Code:		212					
Waste Description:		ALIPHATIC SOLVENTS					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
Waste Code:		213			
Waste Description:		PETROLEUM DISTILLATES			
Waste Code:		263			
Waste Description:		ORGANIC LABORATORY CHEMICALS			
<hr/>					
<u>8</u>	2 of 5	N/136.2	97.3 / 0.36	PEEL BOARD OF EDUCATION QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	GEN
Generator No.:	ON0359853			PO Box No.:	
Status:				Country:	
Approval Years:	92,93			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No. Admin:	
SIC Code:	8511				
SIC Description:		ELEMT./SECON. EDUC.			
<hr/>					
--Details--					
Waste Code:		148			
Waste Description:		INORGANIC LABORATORY CHEMICALS			
Waste Code:		212			
Waste Description:		ALIPHATIC SOLVENTS			
Waste Code:		213			
Waste Description:		PETROLEUM DISTILLATES			
Waste Code:		263			
Waste Description:		ORGANIC LABORATORY CHEMICALS			
<hr/>					
<u>8</u>	3 of 5	N/136.2	97.3 / 0.36	QUEEN ELIZABETH SR. PUBLIC SCHOOL PEEL BOARD OF EDUCATION 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	GEN
Generator No.:	ON0359853			PO Box No.:	
Status:				Country:	
Approval Years:	86,87,88,89,90			Choice of Contact:	
Contam. Facility:				Co Admin:	
MHSW Facility:				Phone No. Admin:	
SIC Code:	8511				
SIC Description:		ELEMT./SECON. EDUC.			
<hr/>					
--Details--					
Waste Code:		148			
Waste Description:		INORGANIC LABORATORY CHEMICALS			
Waste Code:		212			
Waste Description:		ALIPHATIC SOLVENTS			
Waste Code:		213			
Waste Description:		PETROLEUM DISTILLATES			
Waste Code:		263			
Waste Description:		ORGANIC LABORATORY CHEMICALS			
<hr/>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
8	4 of 5	N/136.2	97.3 / 0.36	PEEL DISTRICT SCHOOL BOARD QUEEN ELIZABETH SENIOR PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	GEN
Generator No.:		ON0359853	PO Box No.:		
Status:			Country:		
Approval Years:		98,99,00,01,05	Choice of Contact:		
Contam. Facility:			Co Admin:		
MHSW Facility:			Phone No. Admin:		
SIC Code:		8511			
SIC Description:		ELEMT./SECON. EDUC.			
--Details--					
Waste Code:		243			
Waste Description:		PCB'S			
Waste Code:		148			
Waste Description:		INORGANIC LABORATORY CHEMICALS			
Waste Code:		212			
Waste Description:		ALIPHATIC SOLVENTS			
Waste Code:		213			
Waste Description:		PETROLEUM DISTILLATES			
Waste Code:		263			
Waste Description:		ORGANIC LABORATORY CHEMICALS			
8	5 of 5	N/136.2	97.3 / 0.36	PEEL DISTRICT SCHOOL BOARD QUEEN ELIZABETH SR. PUBLIC SCHOOL 60 SOUTH SERVICE ROAD MISSISSAUGA ON L5G 2R9	GEN
Generator No.:		ON0359853	PO Box No.:		
Status:			Country:		
Approval Years:		97	Choice of Contact:		
Contam. Facility:			Co Admin:		
MHSW Facility:			Phone No. Admin:		
SIC Code:		8511			
SIC Description:		ELEMT./SECON. EDUC.			
--Details--					
Waste Code:		148			
Waste Description:		INORGANIC LABORATORY CHEMICALS			
Waste Code:		212			
Waste Description:		ALIPHATIC SOLVENTS			
Waste Code:		213			
Waste Description:		PETROLEUM DISTILLATES			
Waste Code:		263			
Waste Description:		ORGANIC LABORATORY CHEMICALS			
9	1 of 1	SE/136.8	94.9 / -2.01	TDI Computer Systems Limited 1523 Hurontario St Mississauga ON L5G 3H7	SCT
Established:		01-AUG-83			
Plant Size (ft²):		1200			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Employment:					
--Details--					
Description:		Computer Systems Design and Related Services			
SIC/NAICS Code:		541510			
Description:		Computer Systems Design and Related Services			
SIC/NAICS Code:		541510			
Description:		Software Publishers			
SIC/NAICS Code:		511210			
10	1 of 1	NW/164.2	99.8 / 2.96	MISSISSAUGA ON	WWIS
Well ID:	7112707	Data Entry Status:			
Construction Date:		Data Src:			
Primary Water Use:	Test Hole	Date Received: 10/7/2008			
Sec. Water Use:		Selected Flag: Yes			
Final Well Status:	Test Hole	Abandonment Rec:			
Water Type:		Contractor: 7215			
Casing Material:		Form Version: 7			
Audit No:	Z81551	Owner:			
Tag:	A070287	Street Name: 49 SOUTH SERVICE RD.			
Construction Method:		County: PEEL			
Elevation (m):		Municipality: MISSISSAUGA CITY			
Elevation Reliability:		Site Info:			
Depth to Bedrock:		Lot:			
Well Depth:		Concession:			
Overburden/Bedrock:		Concession Name:			
Pump Rate:		Easting NAD83:			
Static Water Level:		Northing NAD83:			
Flowing (Y/N):		Zone:			
Flow Rate:		UTM Reliability:			
Clear/Cloudy:					
Bore Hole Information					
Bore Hole ID:	1001830623	Elevation: 98.83			
DP2BR:		Elevrc:			
Spatial Status:		Zone: 17			
Code OB:		East83: 613212			
Code OB Desc:		Org CS: UTM83			
Open Hole:		North83: 4824877			
Cluster Kind:		UTMRC: 3			
Date Completed:	04-SEP-08	UTMRC Desc: margin of error : 10 - 30 m			
Remarks:		Location Method: wwr			
Elevrc Desc:					
Location Source Date:					
Improvement Location Source:					
Improvement Location Method:					
Source Revision Comment:					
Supplier Comment:					
Overburden and Bedrock					
Materials Interval					
Formation ID:	1001922158				
Layer:	1				
Color:	6				
General Color:	BROWN				

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Mat1:		01			
Most Common Material:		FILL			
Mat2:					
Other Materials:					
Mat3:		91			
Other Materials:		WATER-BEARING			
Formation Top Depth:		0			
Formation End Depth:		5			
Formation End Depth UOM:		ft			
Formation ID:		1001922159			
Layer:		2			
Color:		6			
General Color:		BROWN			
Mat1:		28			
Most Common Material:		SAND			
Mat2:		05			
Other Materials:		CLAY			
Mat3:		91			
Other Materials:		WATER-BEARING			
Formation Top Depth:		5			
Formation End Depth:		15			
Formation End Depth UOM:		ft			
<u>Annular Space/Abandonment Sealing Record</u>					
Plug ID:		1001922161			
Layer:		1			
Plug From:		15			
Plug To:		5			
Plug Depth UOM:		ft			
Plug ID:		1001922162			
Layer:		2			
Plug From:		5			
Plug To:		1			
Plug Depth UOM:		ft			
Plug ID:		1001922163			
Layer:		3			
Plug From:		1			
Plug To:		0			
Plug Depth UOM:		ft			
<u>Method of Construction & Well Use</u>					
Method Construction ID:		1001922168			
Method Construction Code:		2			
Method Construction:		Rotary (Convent.)			
Other Method Construction:					
<u>Pipe Information</u>					
Pipe ID:		1001922157			
Casing No:		0			
Comment:					
Alt Name:					
<u>Construction Record - Casing</u>					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
Casing ID:		1001922165			
Layer:		1			
Material:		5			
Open Hole or Material:		PLASTIC			
Depth From:		5			
Depth To:		0			
Casing Diameter:		2			
Casing Diameter UOM:		inch			
Casing Depth UOM:		ft			
 <u>Construction Record - Screen</u>					
Screen ID:		1001922166			
Layer:		1			
Slot:		10			
Screen Top Depth:		5			
Screen End Depth:		15			
Screen Material:		5			
Screen Depth UOM:		ft			
Screen Diameter UOM:		inch			
Screen Diameter:		2			
 <u>Water Details</u>					
Water ID:		1001922164			
Layer:					
Kind Code:					
Kind:					
Water Found Depth:					
Water Found Depth UOM:		ft			
 <u>Hole Diameter</u>					
Hole ID:		1001922160			
Diameter:		8			
Depth From:		15			
Depth To:		0			
Hole Depth UOM:		ft			
Hole Diameter UOM:		inch			
<hr/>					
<u>11</u>	1 of 1	ENE/166.0	94.9 / -1.98	Alectra Utilities Corporation 1548 Weaver Ave Mississauga ON	SPL
Ref No:	5745-AYKGWS			Discharger Report:	
Site No:	NA			Material Group:	
Incident Dt:	2018/05/04			Client Type:	Corporation
Year:				Sector Type:	Miscellaneous Industrial
Incident Cause:				Source Type:	Transformer
Incident Event:	Leak/Break			Nearest Watercourse:	
Contaminant Code:	15			Site Name:	residence<UNOFFICIAL>
Contaminant Name:	TRANSFORMER OIL (N.O.S.)			Site Address:	1548 Weaver Ave
Contaminant Limit 1:				Site District Office:	Halton-Peel
Contam Limit Freq 1:				Site County/District:	Regional Municipality of Peel
Contaminant UN No 1:	n/a			Site Postal Code:	
Contaminant Qty:	100 L			Site Region:	Central
Environment Impact:				Site Municipality:	Mississauga
Nature of Impact:				Site Lot:	
Receiving Medium:				Site Conc:	
Receiving Env:	Land			Northing:	4824905.56
Health/Env Conseq:	2 - Minor Environment			Easting:	613493.98
MOE Response:	Yes			Site Geo Ref Accu:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Dt MOE Arvl on Scn: 2018/05/23 MOE Reported Dt: 2018/05/08 Dt Document Closed: Agency Involved: SAC Action Class: Land Spills Incident Reason: Weather Conditions Incident Summary: Alectra Ut: 100L non PCB oil to driveway fr transformer, cng					
Site Geo Ref Meth: Site Map Datum:					
12	1 of 1	NW/172.8	99.8 / 2.96	Mississauga ON	WWIS
Well ID: 7108247 Construction Date: Primary Water Use: Test Hole Sec. Water Use: Final Well Status: Monitoring and Test Hole Water Type: Casing Material: Audit No: Z79544 Tag: A066175 Construction Method: Elevation (m): Elevation Reliability: Depth to Bedrock: Well Depth: Overburden/Bedrock: Pump Rate: Static Water Level: Flowing (Y/N): Flow Rate: Clear/Cloudy:					
Data Entry Status: Data Src: Date Received: 7/15/2008 Selected Flag: Yes Abandonment Rec: Contractor: 7215 Form Version: 4 Owner: Street Name: 49 SOUTH SERVICE RD. County: PEEL Municipality: MISSISSAUGA CITY Site Info: Lot: Concession: Concession Name: Easting NAD83: Northing NAD83: Zone: UTM Reliability:					
<u>Bore Hole Information</u>					
Bore Hole ID: 1001658631 DP2BR: Spatial Status: Code OB: Code OB Desc: Open Hole: Cluster Kind: Date Completed: 24-APR-08 Remarks: Elevrc Desc: Location Source Date: Improvement Location Source: Improvement Location Method: Source Revision Comment: Supplier Comment:					
Elevation: 98.86 Elevrc: Zone: 17 East83: 613210 Org CS: UTM83 North83: 4824888 UTMRC: 3 UTMRC Desc: margin of error : 10 - 30 m Location Method: wwr					
<u>Overburden and Bedrock</u>					
<u>Materials Interval</u>					
Formation ID: 1001697789 Layer: 2 Color: 2 General Color: GREY Mat1: 28 Most Common Material: SAND Mat2: 06 Other Materials: SILT Mat3: 91					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
Other Materials:		WATER-BEARING			
Formation Top Depth:		4			
Formation End Depth:		13			
Formation End Depth UOM:		ft			
Formation ID:		1001697788			
Layer:		1			
Color:		6			
General Color:		BROWN			
Mat1:		28			
Most Common Material:		SAND			
Mat2:		11			
Other Materials:		GRAVEL			
Mat3:					
Other Materials:					
Formation Top Depth:		0			
Formation End Depth:		4			
Formation End Depth UOM:		ft			
Formation ID:		1001697790			
Layer:		3			
Color:		2			
General Color:		GREY			
Mat1:		06			
Most Common Material:		SILT			
Mat2:		28			
Other Materials:		SAND			
Mat3:					
Other Materials:					
Formation Top Depth:		13			
Formation End Depth:		15			
Formation End Depth UOM:		ft			
 <u>Annular Space/Abandonment</u>					
<u>Sealing Record</u>					
Plug ID:		1001697792			
Layer:		1			
Plug From:		0			
Plug To:		6			
Plug Depth UOM:		ft			
Plug ID:		1001697794			
Layer:		3			
Plug From:		1			
Plug To:		4			
Plug Depth UOM:		ft			
Plug ID:		1001697793			
Layer:		2			
Plug From:		6			
Plug To:		1			
Plug Depth UOM:		ft			
Plug ID:		1001697795			
Layer:		4			
Plug From:		4			
Plug To:		15			
Plug Depth UOM:		ft			
 <u>Method of Construction & Well</u>					
<u>Use</u>					
Method Construction ID:		1001697800			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Method Construction Code:		2			
Method Construction:		Rotary (Convent.)			
Other Method Construction:					
<u>Pipe Information</u>					
Pipe ID:		1001697787			
Casing No:		0			
Comment:					
Alt Name:					
<u>Construction Record - Casing</u>					
Casing ID:		1001697797			
Layer:					
Material:		5			
Open Hole or Material:		PLASTIC			
Depth From:					
Depth To:		5			
Casing Diameter:		2			
Casing Diameter UOM:		inch			
Casing Depth UOM:		ft			
<u>Construction Record - Screen</u>					
Screen ID:		1001697798			
Layer:					
Slot:					
Screen Top Depth:					
Screen End Depth:					
Screen Material:		5			
Screen Depth UOM:					
Screen Diameter UOM:					
Screen Diameter:					
<u>Water Details</u>					
Water ID:		1001697796			
Layer:		1			
Kind Code:					
Kind:					
Water Found Depth:					
Water Found Depth UOM:		ft			
<u>Hole Diameter</u>					
Hole ID:		1001697791			
Diameter:		8			
Depth From:					
Depth To:		15			
Hole Depth UOM:		ft			
Hole Diameter UOM:		inch			
<u>13</u>	1 of 5	NW/181.5	99.8 / 2.96	SNC Lavalin-ProFac 49 South Service Road Mississauga ON L5G 2R8	GEN
Generator No.:		ON8719017		PO Box No.:	
Status:				Country:	
Approval Years:		07,08		Choice of Contact:	
Contam. Facility:				Co Admin:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
MHSW Facility: SIC Code: SIC Description:	561210	Facilities Support Services		Phone No. Admin:	
<hr/>					
--Details-- Waste Code: Waste Description:	251	OIL SKIMMINGS & SLUDGES			
<hr/>					
13	2 of 5	NW/181.5	99.8 / 2.96	SNC Lavalin-ProFac 49 South Service Road Mississauga ON L5G 2R8	GEN
Generator No.: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON8719017 2009 561210	Facilities Support Services		PO Box No.: Country: Choice of Contact: Co Admin: Phone No. Admin:	
<hr/>					
--Details-- Waste Code: Waste Description:	251	OIL SKIMMINGS & SLUDGES			
<hr/>					
13	3 of 5	NW/181.5	99.8 / 2.96	SNC LAVALIN PROFAC INC. 49 South Service Road Mississauga ON L5G 2R8	GEN
Generator No.: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON6197573 2009 922120			PO Box No.: Country: Choice of Contact: Co Admin: Phone No. Admin:	
<hr/>					
--Details-- Waste Code: Waste Description:	221	LIGHT FUELS			
<hr/>					
13	4 of 5	NW/181.5	99.8 / 2.96	Civil Underground and excavation company 49 south service rd mississauga ON L5G 2R8	GEN
Generator No.: Status: Approval Years: Contam. Facility: MHSW Facility: SIC Code: SIC Description:	ON5756807 2010 238190, 238910	Other Foundation Structure and Building Exterior Contractors, Site Preparation Contractors		PO Box No.: Country: Choice of Contact: Co Admin: Phone No. Admin:	
<hr/>					
--Details-- Waste Code: Waste Description:	251	OIL SKIMMINGS & SLUDGES			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
13	5 of 5	NW/181.5	99.8 / 2.96	SNC Lavalin Profac<UNOFFICIAL> 49 South Service Road Mississauga ON L5G 2R8	SPL
Ref No: 7041-7N2P92 Site No: Incident Dt: Year: Incident Cause: Other Discharges Incident Event: Contaminant Code: Contaminant Name: OIL AND WATER MIXTURE Contaminant Limit 1: Contam Limit Freq 1: Contaminant UN No 1: Contaminant Qty: Environment Impact: Confirmed Nature of Impact: Other Impact(s); Surface Water Pollution Receiving Medium: Receiving Env: Health/Env Conseq: MOE Response: Dt MOE Arvl on Scn: MOE Reported Dt: 1/6/2009 Dt Document Closed: Agency Involved: SAC Action Class: Watercourse Spills Incident Reason: Spill Incident Summary: SNC Lavalin Profac: Oily water to storm drain		Discharger Report: Material Group: Client Type: Sector Type: Other Source Type: Nearest Watercourse: Site Name: SNC Lavalin Profac<UNOFFICIAL> Site Address: Site District Office: Site County/District: Site Postal Code: Site Region: Site Municipality: Mississauga Site Lot: Site Conc: Northing: Easting: Site Geo Ref Accu: Site Geo Ref Meth: Site Map Datum:			
14	1 of 1	NE/183.9	95.8 / -1.04	ON	BORE
Borehole ID: 647804 Use: Geotechnical/Geological Investigation Drill Method:: Hand auger Easting:: 613485 Location Accuracy:: Elev. Reliability Note:: Total Depth m:: 1.8 Township:: Lot:: Completion Date:: APR-1969 Primary Water Use:: Not Used		Type: Borehole Status:: UTM Zone:: 17 Northing:: 4824933 Orig. Ground Elev m:: 97.6 DEM Ground Elev m:: 98 Primary Name:: Concession:: Municipality: Static Water Level:: -999.9 Sec. Water Use::			
--Details-- Stratum ID: 218520413 Bottom Depth(m): 1.8		Top Depth(m): 0.0 Stratum Desc: SAND(80)-MEDIUM TO COARSE,SILT(20). BROWN,LACUSTRINE,DENSE, AGE GLACIAL. 030 00000020			
15	1 of 2	SSE/214.4	92.5 / -4.39	858835 ONTARIO LTD.-PT.LOTS 1&2/RANGE 2 POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	CA
Certificate #: 3-1228-92- Application Year: 92 Issue Date: 6/1/1993 Approval Type: Municipal sewage Status: Underwent 1st revision in 1993 Application Type:					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Client Name:: Client Address:: Client City:: Client Postal Code:: Project Description:: Contaminants:: Emission Control::					
15	2 of 2	SSE/214.4	92.5 / -4.39	858835 ONTARIO LTD.-PT.LOTS 1&2,RANGE 2 POLESDEN DR./HAMPSHIRE CRES. MISSISSAUGA CITY ON	CA
Certificate #: 7-0962-92- Application Year: 92 Issue Date: 6/1/1993 Approval Type: Municipal water Status: Underwent 1st revision in 1993 Application Type: Client Name:: Client Address:: Client City:: Client Postal Code:: Project Description:: Contaminants:: Emission Control::					

Unplottable Summary

Total: **23** Unplottable sites

DB	Company Name/Site Name	Address	City	Postal
CA	MISSISSAUGA CITY CITY CENTRE PLAZA	HURONTARIO ST. PH. 1 TO 5	MISSISSAUGA CITY ON	
CA	HUNTINGFIELD CHASE LTD.- PT.LOTS 1&2/C-1	ST.'A'/HURONTARIO ST.(HWY.#10)	MISSISSAUGA CITY ON	
CA	MISSISSAUGA CITY	HURONTARIO STREET	MISSISSAUGA CITY ON	
CA	E. ESCUBEDO, C. DIPLACIDO & R. LAYFIELD	HURONTARIO ST./STM-WATER MGT.	MISSISSAUGA CITY ON	
CA	MISSISSAUGA CITY	HURONTARIO ST., HERITAGE WALK	MISSISSAUGA CITY ON	
CA	GOTTARDO PROPERTIES LTD. & GOTTARDO CORP	HURONTARIO ST. STREET A	MISSISSAUGA CITY ON	
CA	JOSEPH GYETVAN	HURONTARIO ST.	MISSISSAUGA CITY ON	
CA	PEEL NON-PROFIT HOUSING CORP.	BLOCK 2, PT. LOT 15, CONC. 2	MISSISSAUGA CITY ON	
CA	GOTTARDO PROPERTIES LTD. & GOTTARDO CORP	HURONTARIO ST. STREET A	MISSISSAUGA CITY ON	
CA	THE ANTREX GROUP-PT. LOTS 2 & 3, CONC. 1	STREET 'A'/HURONTARIO ST.	MISSISSAUGA CITY ON	
LIMO	The Corporation of the Regional Municipality of Peel	Part of Lot 14/Credit Indian Reserve	City of Mississauga ON	
NPCB	PEEL BOARD OF EDUCATION	GLENFOREST SECONDARY SCHOOL	MISSISSAUGA ON	
NPCB	PEEL BOARD OF EDUCATION	GLENFOREST SECONDARY SCHOOL GLENFOREST SECONDARY SCHOOL	MISSISSAUGA ON	
NPCB	PEEL BOARD OF EDUCATION	GLENFOREST SECONDARY SCHOOL	Mississauga ON	
SPL	SHIPPIGAN FISHERIES	QEW TRANSPORT TRUCK (CARGO)	MISSISSAUGA CITY ON	
SPL	ONTARIO HYDRO	"HAIG JUNCTION" (SOUTH SERVICE RD. QEW, BETWEEN DIXIE AND CAWTHRA RDS. TRANSFORMER	MISSISSAUGA CITY ON	

SPL		QEW-WESTBOUND, WEST OF CAWTHRA - QEW<UNOFFICIAL>	Mississauga ON
SPL		MVA at Hurontario St just north of 401 <UNOFFICIAL>	Mississauga ON
SPL		South Service Rd (between Alexandra to Ogden Ave)	Mississauga ON
SPL	TRANSPORT TRUCK	STORM SEWER ON SOUTH SERVICE ROAD, JUST EAST OF HWY 10. MOTOR VEHICLE (OPERATING FLUID)	MISSISSAUGA CITY ON
SPL	Transportation Network Carrier<UNOFFICIAL>	QEW, Eastbound Lane - Just east of Hwy 10	Mississauga ON
SPL	TRANSPORT TRUCK	QEW (EASTBOUND) MISSISSAUGA OFF-RAMP AND BETWEEN WINSTON CHUR. & ERINS MILLS MOTOR VEHICLE (OPERATING FLUID)	MISSISSAUGA CITY ON
WWIS		lot 14	ON

Unplottable Report

Site: MISSISSAUGA CITY CITY CENTRE PLAZA
HURONTARIO ST. PH. 1 TO 5 MISSISSAUGA CITY ON

Database:
CA

Certificate #: 7-2058-88-
Application Year: 88
Issue Date: 1/20/1989
Approval Type: Municipal water
Status: Approved in 1989
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: HUNTINGFIELD CHASE LTD.-PT.LOTS 1&2/C-1
ST.'A'/HURONTARIO ST.(HWY.#10) MISSISSAUGA CITY ON

Database:
CA

Certificate #: 7-1224-91-
Application Year: 91
Issue Date: 10/9/1991
Approval Type: Municipal water
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: MISSISSAUGA CITY
HURONTARIO STREET MISSISSAUGA CITY ON

Database:
CA

Certificate #: 3-1325-88-
Application Year: 88
Issue Date: 8/3/1988
Approval Type: Municipal sewage
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: E. ESCUBEDO, C. DIPLACIDO & R. LAYFIELD
HURONTARIO ST./STM-WATER MGT. MISSISSAUGA CITY ON

Database:
CA

Certificate #: 3-0848-92-

Application Year: 92
Issue Date: 9/17/1992
Approval Type: Municipal sewage
Status: Cancelled
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: **MISSISSAUGA CITY**
HURONTARIO ST., HERITAGE WALK MISSISSAUGA CITY ON

Database:
CA

Certificate #: 3-0914-97-
Application Year: 97
Issue Date: 8/18/1997
Approval Type: Municipal sewage
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: **GOTTARDO PROPERTIES LTD. & GOTTARDO CORP**
HURONTARIO ST. STREET A MISSISSAUGA CITY ON

Database:
CA

Certificate #: 3-0471-88-
Application Year: 88
Issue Date: 5/5/1988
Approval Type: Municipal sewage
Status: Revised
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: **JOSEPH GYETVAN**
HURONTARIO ST. MISSISSAUGA CITY ON

Database:
CA

Certificate #: 7-0850-87-
Application Year: 87
Issue Date: 6/25/1987
Approval Type: Municipal water
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: PEEL NON-PROFIT HOUSING CORP.
BLOCK 2, PT. LOT 15, CONC. 2 MISSISSAUGA CITY ON

Database:
CA

Certificate #: 8-3121-91-
Application Year: 91
Issue Date: 12/19/1991
Approval Type: Industrial air
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description:: INSTALL 400 KW KOHLER DIESEL GENERATOR
Contaminants:: Nitrogen Oxides
Emission Control:: Silencer, Noise Control - Acoustic Louvre, Muffler,

Site: GOTTARDO PROPERTIES LTD. & GOTTARDO CORP
HURONTARIO ST. STREET A MISSISSAUGA CITY ON

Database:
CA

Certificate #: 7-0417-88-
Application Year: 88
Issue Date: 5/5/1988
Approval Type: Municipal water
Status: Revised
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: THE ANTREX GROUP-PT. LOTS 2 & 3, CONC. 1
STREET 'A'/HURONTARIO ST. MISSISSAUGA CITY ON

Database:
CA

Certificate #: 7-0235-91-
Application Year: 91
Issue Date: 3/21/1991
Approval Type: Municipal water
Status: Approved
Application Type:
Client Name::
Client Address::
Client City::
Client Postal Code::
Project Description::
Contaminants::
Emission Control::

Site: The Corporation of the Regional Municipality of Peel
Part of Lot 14/Credit Indian Reserve City of Mississauga ON

Database:
LIMO

C of A No:	A220103	Site County:	York
C of A Issue Date:	4/24/1978	MOE Region:	Central
C of A Issued to:		MOE District:	Halton-Peel
Operation Status:	Closed	Easting:	
Landfill Type:		Northing:	
Total Site Area:		Latitude:	
Footprint:		Longitude:	
Tot Apprvd Capac:		UTM Zone:	

Tot Aprv Cp Unit:		Data Source:	small landfills
Fill Rate:		Cntm Attn Zn:	
Fill Rate Unit:		Grndwtr Mntr:	
Est Remain Cap:		Surf Wtr Mntr:	
ERC Volume Unit:		Lst Rprting Yr:	
ERC Methodology:		Fin Assrnce:	
ERC Dt Last Det:		Nat Attuatn:	
Total Waste Rec:		Liners:	
TWR Unit:		Cvr Material:	
TWR Methodology:			
Site Name:	North Sheridan Landfill		
Air Emmis Monitor:			
Leachate Off-Site:			
Leachate On Site:			
Landfill Gas Manag (P):			
Landfill Gas Manag (F):			
Landfill Gas Manag (E):			
Req Col Lndfil Gas:			
Lndfil Gas Cllected:			
Lndfil Gas Mntr:			
Service Area:			
Approved Waste Type:			

Site: PEEL BOARD OF EDUCATION
GLENFOREST SECONDARY SCHOOL MISSISSAUGA ON

Database:
NPCB

Company Code: O0208A
Industry: SCHOOL/CARE/FACILITY
Site Status: STORAGE ONLY (NON FEDERAL)
Transaction Date: 8/31/1993
Inspection Date:

--Details--

Label: OR22570
Serial No.:
PCB Type/Code: ASKAREL/ASKAREL
Location:
Item/State: TRANSFORMER/FULL
No. of Items: 1
Manufacturer:
Status: STORED FOR DISPOSAL
Contents: 2321 L

Site: PEEL BOARD OF EDUCATION
GLENFOREST SECONDARY SCHOOL GLENFOREST SECONDARY SCHOOL MISSISSAUGA ON

Database:
NPCB

Company Code: O0208A
Industry:
Site Status:
Transaction Date:
Inspection Date:

--Details--

Label:
Serial No.:
PCB Type/Code:
Location:
Item/State:
No. of Items:
Manufacturer:
Status: In-Storage
Contents:

Site: PEEL BOARD OF EDUCATION
GLENFOREST SECONDARY SCHOOL Mississauga ON

Database:
NPCB

Company Code: 00208A
Industry: School/Care/Facility
Site Status: Stored for Disposal
Transaction Date: 3/21/1990
Inspection Date:

--Details--

Label:
Serial No.:
PCB Type/Code: Askarel/Askarel
Location: IN STORAGE 3214 MAVIS ROAD
Item/State:
No. of Items:
Manufacturer:
Status: Stored for disposal
Contents:

Site: SHIPPIGAN FISHERIES
QEW TRANSPORT TRUCK (CARGO) MISSISSAUGA CITY ON

Database:
SPL

Ref No:	31678	Discharger Report:
Site No:		Material Group:
Incident Dt:	3/6/1990	Client Type:
Year:		Sector Type:
Incident Cause:	OTHER TRANSPORTATION ACCIDENT	Source Type:
Incident Event:		Nearest Watercourse:
Contaminant Code:		Site Name:
Contaminant Name:		Site Address:
Contaminant Limit 1:		Site District Office:
Contam Limit Freq 1:		Site County/District:
Contaminant UN No 1:		Site Postal Code:
Contaminant Qty:		Site Region:
Environment Impact:	POSSIBLE	Site Municipality: 21102
Nature of Impact:	Soil contamination	Site Lot:
Receiving Medium:	LAND	Site Conc:
Receiving Env:		Northing:
Health/Env Conseq:		Easting: FIRE DEPT, MOT, OPP
MOE Response:		Site Geo Ref Accu:
Dt MOE Arvl on Scn:		Site Geo Ref Meth:
MOE Reported Dt:	3/6/1990	Site Map Datum:
Dt Document Closed:		
Agency Involved:		
SAC Action Class:		
Incident Reason:	ADVERSE ROAD CONDITION	
Incident Summary:	SHIPPIGAN FISHERIES: 150LDIESEL FUEL TO ROADWAY	

Site: ONTARIO HYDRO
"HAIG JUNCTION" (SOUTH SERVICE RD. QEW, BETWEEN DIXIE AND CAWTHRA RDS. TRANSFORMER
MISSISSAUGA CITY ON

Database:
SPL

Ref No:	43019	Discharger Report:
Site No:		Material Group:
Incident Dt:	11/4/1990	Client Type:
Year:		Sector Type:
Incident Cause:	VALVE/FITTING LEAK OR FAILURE	Source Type:
Incident Event:		Nearest Watercourse:
Contaminant Code:		Site Name:
Contaminant Name:		Site Address:
Contaminant Limit 1:		Site District Office:
Contam Limit Freq 1:		Site County/District:
Contaminant UN No 1:		Site Postal Code:

Contaminant Qty:		Site Region:	
Environment Impact:	POSSIBLE	Site Municipality:	21102
Nature of Impact:	Soil contamination	Site Lot:	
Receiving Medium:	LAND	Site Conc:	
Receiving Env:		Northing:	
Health/Env Conseq:		Easting:	
MOE Response:		Site Geo Ref Accu:	
Dt MOE Arvl on Scn:		Site Geo Ref Meth:	
MOE Reported Dt:	11/4/1990	Site Map Datum:	
Dt Document Closed:			
Agency Involved:			
SAC Action Class:			
Incident Reason:	UNKNOWN		
Incident Summary:	ONTARIO HYDRO - 20 L. LINE INSULATING OIL TO GROUND, CONTAINED.		

Site: **QEW-WESTBOUND, WEST OF CAWTHRA - QEW<UNOFFICIAL> Mississauga ON** **Database:** **SPL**

Ref No:	4448-6RVQ3Y	Discharger Report:	
Site No:		Material Group:	Wastes
Incident Dt:	7/20/2006	Client Type:	
Year:		Sector Type:	Transport Truck
Incident Cause:	Other Transport Accident	Source Type:	
Incident Event:		Nearest Watercourse:	
Contaminant Code:	41	Site Name:	
Contaminant Name:	DIESEL FUEL AND WATER MIXTURE	Site Address:	
Contaminant Limit 1:		Site District Office:	Halton-Peel
Contam Limit Freq 1:		Site County/District:	
Contaminant UN No 1:		Site Postal Code:	
Contaminant Qty:	500 L	Site Region:	
Environment Impact:	Possible	Site Municipality:	Mississauga
Nature of Impact:	Human Health/Safety; Surface Water Pollution	Site Lot:	
Receiving Medium:	Water	Site Conc:	
Receiving Env:		Northing:	
Health/Env Conseq:		Easting:	
MOE Response:		Site Geo Ref Accu:	
Dt MOE Arvl on Scn:		Site Geo Ref Meth:	
MOE Reported Dt:	7/20/2006	Site Map Datum:	
Dt Document Closed:			
Agency Involved:			
SAC Action Class:			
Incident Reason:	Error- Operator error		
Incident Summary:	MVA: QEW/Cawthra,fully engulfed tractor-trailer CB impacted.		

Site: **MVA at Hurontario St just north of 401 <UNOFFICIAL> Mississauga ON** **Database:** **SPL**

Ref No:	8811-87YKWE	Discharger Report:	
Site No:		Material Group:	
Incident Dt:		Client Type:	
Year:		Sector Type:	Transport Truck
Incident Cause:	Other Transport Accident	Source Type:	
Incident Event:		Nearest Watercourse:	
Contaminant Code:	13	Site Name:	MVA at Hurontario St just north of 401 <UNOFFICIAL>
Contaminant Name:	DIESEL FUEL	Site Address:	
Contaminant Limit 1:		Site District Office:	
Contam Limit Freq 1:		Site County/District:	
Contaminant UN No 1:		Site Postal Code:	
Contaminant Qty:	450 L	Site Region:	
Environment Impact:	Confirmed	Site Municipality:	
Nature of Impact:	Soil Contamination; Surface Water Pollution	Site Lot:	
Receiving Medium:		Site Conc:	
Receiving Env:		Northing:	
Health/Env Conseq:		Easting:	
MOE Response:		Site Geo Ref Accu:	

Dt MOE Arvl on Scn:
MOE Reported Dt: 8/3/2010
Dt Document Closed:
Agency Involved:
SAC Action Class: Highway Spills (usually highway accidents)
Incident Reason: Spill
Incident Summary: Spill, 450 L, Diesel,Hurontario north of 401, Ajax Logistics

Site Geo Ref Meth:
Site Map Datum:

Site: South Service Rd (between Alexandra to Ogden Ave) Mississauga ON **Database:** SPL

Ref No:	0627-79UTMV	Discharger Report:	
Site No:		Material Group:	Oil
Incident Dt:		Client Type:	
Year:		Sector Type:	Other
Incident Cause:	Other Discharges	Source Type:	
Incident Event:		Nearest Watercourse:	
Contaminant Code:	13	Site Name:	Diesel to Shoulder<UNOFFICIAL>
Contaminant Name:	DIESEL FUEL	Site Address:	
Contaminant Limit 1:		Site District Office:	
Contam Limit Freq 1:		Site County/District:	
Contaminant UN No 1:		Site Postal Code:	
Contaminant Qty:	10 L	Site Region:	
Environment Impact:	Possible	Site Municipality:	Mississauga
Nature of Impact:	Other Impact(s); Soil Contamination	Site Lot:	
Receiving Medium:	Land	Site Conc:	
Receiving Env:		Northing:	
Health/Env Conseq:		Easting:	
MOE Response:	No Field Response	Site Geo Ref Accu:	
Dt MOE Arvl on Scn:		Site Geo Ref Meth:	
MOE Reported Dt:	12/13/2007	Site Map Datum:	
Dt Document Closed:	12/18/2007		
Agency Involved:			
SAC Action Class:			
Incident Reason:	Unknown - Reason not determined		
Incident Summary:	South Service Rd: <10 L diesel to shoulder, contd,clng		

Site: TRANSPORT TRUCK
STORM SEWER ON SOUTH SERVICE ROAD, JUST EAST OF HWY 10. MOTOR VEHICLE (OPERATING FLUID)
MISSISSAUGA CITY ON **Database:** SPL

Ref No:	138234	Discharger Report:	
Site No:		Material Group:	
Incident Dt:	3/14/1997	Client Type:	
Year:		Sector Type:	
Incident Cause:	OTHER TRANSPORTATION ACCIDENT	Source Type:	
Incident Event:		Nearest Watercourse:	
Contaminant Code:		Site Name:	
Contaminant Name:		Site Address:	
Contaminant Limit 1:		Site District Office:	
Contam Limit Freq 1:		Site County/District:	
Contaminant UN No 1:		Site Postal Code:	
Contaminant Qty:		Site Region:	
Environment Impact:	POSSIBLE	Site Municipality:	21102
Nature of Impact:	Multi Media Pollution	Site Lot:	
Receiving Medium:	LAND / WATER	Site Conc:	
Receiving Env:		Northing:	
Health/Env Conseq:		Easting:	OPP, WORKS, MTO
MOE Response:		Site Geo Ref Accu:	
Dt MOE Arvl on Scn:		Site Geo Ref Meth:	
MOE Reported Dt:	3/14/1997	Site Map Datum:	
Dt Document Closed:			
Agency Involved:			
SAC Action Class:			
Incident Reason:	ADVERSE ROAD CONDITION		
Incident Summary:	GAY LEA FOODS: 225 L OF DIESEL TO ROAD AND STORM SEWER, OPP,WORKS		

Site: Transportation Network Carrier<UNOFFICIAL>
QEW, Eastbound Lane - Just east of Hwy 10 Mississauga ON

Database:
SPL

Ref No: 8830-877QB3
Site No:
Incident Dt:
Year:
Incident Cause: Other Transport Accident
Incident Event:
Contaminant Code: 13

Contaminant Name: DIESEL FUEL
Contaminant Limit 1:
Contam Limit Freq 1:
Contaminant UN No 1:
Contaminant Qty: 300 L
Environment Impact: Confirmed
Nature of Impact: Surface Water Pollution
Receiving Medium:
Receiving Env:
Health/Env Conseq:
MOE Response: No Field Response
Dt MOE Arvl on Scn:
MOE Reported Dt: 7/9/2010
Dt Document Closed:
Agency Involved:
SAC Action Class: Watercourse Spills
Incident Reason: Equipment Failure - Malfunction of system components
Incident Summary: TT MVA on QEW - EB, 250-300L to grnd & CBs

Discharger Report:
Material Group:
Client Type:
Sector Type: Transport Truck
Source Type:
Nearest Watercourse:
Site Name: QEW, Eastbound Lane - East of Hwy 10<UNOFFICIAL>
Site Address:
Site District Office:
Site County/District:
Site Postal Code:
Site Region:
Site Municipality:
Site Lot:
Site Conc:
Northing:
Easting:
Site Geo Ref Accu:
Site Geo Ref Meth:
Site Map Datum:

Site: TRANSPORT TRUCK
QEW (EASTBOUND) MISSISSAUGA OFF-RAMP AND BETWEEN WINSTON CHUR. & ERINS MILLS MOTOR VEHICLE
(OPERATING FLUID) MISSISSAUGA CITY ON

Database:
SPL

Ref No: 93073
Site No:
Incident Dt: 11/5/1993
Year:
Incident Cause: OTHER TRANSPORTATION ACCIDENT
Incident Event:
Contaminant Code:
Contaminant Name:
Contaminant Limit 1:
Contam Limit Freq 1:
Contaminant UN No 1:
Contaminant Qty:
Environment Impact: POSSIBLE
Nature of Impact: Water course or lake
Receiving Medium: LAND / WATER
Receiving Env:
Health/Env Conseq:
MOE Response:
Dt MOE Arvl on Scn:
MOE Reported Dt: 11/5/1993
Dt Document Closed:
Agency Involved:
SAC Action Class:
Incident Reason: MATERIAL FAILURE
Incident Summary: RIEGER PRINTING: 340 L DIESEL FUEL TO QEW & DITCH FROM LEAKING SADDLE TANK.

Discharger Report:
Material Group:
Client Type:
Sector Type:
Source Type:
Nearest Watercourse:
Site Name:
Site Address:
Site District Office:
Site County/District:
Site Postal Code:
Site Region: 21102
Site Municipality:
Site Lot:
Site Conc:
Northing:
Easting: MISSISSAUGA F.D. MTO, PEEL REGION
Site Geo Ref Accu:
Site Geo Ref Meth:
Site Map Datum:

Site:
lot 14 ON

Database:
WWIS

Well ID: 4904642
Construction Date:
Primary Water Use: Livestock
Sec. Water Use:
Final Well Status: Water Supply
Water Type:
Casing Material:
Audit No:
Tag:
Construction Method:
Elevation (m):
Elevation Reliability:
Depth to Bedrock:
Well Depth:
Overburden/Bedrock:
Pump Rate:
Static Water Level:
Flowing (Y/N):
Flow Rate:
Clear/Cloudy:

Data Entry Status:
Data Src: 1
Date Received: 5/21/1975
Selected Flag: Yes
Abandonment Rec:
Contractor: 3406
Form Version: 1
Owner:
Street Name:
County: WELLINGTON
Municipality: PEEL TOWNSHIP
Site Info:
Lot: 014
Concession:
Concession Name:
Easting NAD83:
Northing NAD83:
Zone:
UTM Reliability:

Bore Hole Information

Bore Hole ID: 10319423
DP2BR: 15
Spatial Status:
Code OB: r
Code OB Desc: Bedrock
Open Hole:
Cluster Kind:
Date Completed: 27-MAR-75
Remarks:
Elevrc Desc:
Location Source Date:
Improvement Location Source:
Improvement Location Method:
Source Revision Comment:
Supplier Comment:

Elevation:
Elevrc:
Zone: 17
East83:
Org CS:
North83:
UTMRC: 9
UTMRC Desc: unknown UTM
Location Method: na

Overburden and Bedrock **Materials Interval**

Formation ID: 932046575
Layer: 2
Color: 3
General Color: BLUE
Mat1: 17
Most Common Material: SHALE
Mat2: 15
Other Materials: LIMESTONE
Mat3:
Other Materials:
Formation Top Depth: 15
Formation End Depth: 56
Formation End Depth UOM: ft

Formation ID: 932046574
Layer: 1
Color: 6
General Color: BROWN
Mat1: 05
Most Common Material: CLAY
Mat2: 11
Other Materials: GRAVEL
Mat3:
Other Materials:
Formation Top Depth: 0

Formation End Depth: 15
Formation End Depth UOM: ft

Method of Construction & Well Use

Method Construction ID: 964904642
Method Construction Code: 2
Method Construction: Rotary (Convent.)
Other Method Construction:

Pipe Information

Pipe ID: 10867993
Casing No: 1
Comment:
Alt Name:

Construction Record - Casing

Casing ID: 930527303
Layer: 1
Material: 1
Open Hole or Material: STEEL
Depth From:
Depth To: 56
Casing Diameter: 6
Casing Diameter UOM: inch
Casing Depth UOM: ft

Results of Well Yield Testing

Pump Test ID: 994904642
Pump Set At:
Static Level: 28
Final Level After Pumping: 47
Recommended Pump Depth: 49
Pumping Rate: 6
Flowing Rate:
Recommended Pump Rate: 5
Levels UOM: ft
Rate UOM: GPM
Water State After Test Code: 1
Water State After Test: CLEAR
Pumping Test Method: 1
Pumping Duration HR: 24
Pumping Duration MIN: 0
Flowing: N

Draw Down & Recovery

Pump Test Detail ID: 934259651
Test Type:
Test Duration: 15
Test Level: 28
Test Level UOM: ft

Pump Test Detail ID: 935044479
Test Type:
Test Duration: 60
Test Level: 28
Test Level UOM: ft

Pump Test Detail ID: 934779532
Test Type:

Test Duration: 45
Test Level: 28
Test Level UOM: ft

Pump Test Detail ID: 934533763
Test Type:
Test Duration: 30
Test Level: 28
Test Level UOM: ft

Water Details

Water ID: 933792672
Layer: 1
Kind Code: 1
Kind: FRESH
Water Found Depth: 56
Water Found Depth UOM: ft

Appendix: Database Descriptions

*Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. **Note:** Databases denoted with " * " indicates that the database will no longer be updated. See the individual database description for more information.*

Abandoned Aggregate Inventory:

Provincial [AAGR](#)

The MAAP Program maintains a database of abandoned pits and quarries. Please note that the database is only referenced by lot and concession and city/town location. The database provides information regarding the location, type, size, land use, status and general comments.*

Government Publication Date: Sept 2002*

Aggregate Inventory:

Provincial [AGR](#)

The Ontario Ministry of Natural Resources maintains a database of all active pits and quarries. The database provides information regarding the registered owner/operator, location name, operation type, approval type, and maximum annual tonnage.

Government Publication Date: Up to Sep 2017

Abandoned Mine Information System:

Provincial [AMIS](#)

The Abandoned Mines Information System contains data on known abandoned and inactive mines located on both Crown and privately held lands. The information was provided by the Ministry of Northern Development and Mines (MNDM), with the following disclaimer: "the database provided has been compiled from various sources, and the Ministry of Northern Development and Mines makes no representation and takes no responsibility that such information is accurate, current or complete". Reported information includes official mine name, status, background information, mine start/end date, primary commodity, mine features, hazards and remediation.

Government Publication Date: 1800-Nov 2016

Anderson's Waste Disposal Sites:

Private [ANDR](#)

The information provided in this database was collected by examining various historical documents which aimed to characterize the likely position of former waste disposal sites from 1860 to present. The research initiative behind the creation of this database was to identify those sites that are missing from the Ontario MOE Waste Disposal Site Inventory, as well as to provide revisions and corrections to the positions and descriptions of sites currently listed in the MOE inventory. In addition to historic waste disposal facilities, the database also identifies certain auto wreckers and scrap yards that have been extrapolated from documentary sources. Please note that the data is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

Government Publication Date: 1860s-Present

Automobile Wrecking & Supplies:

Private [AUWR](#)

This database provides an inventory of known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

Government Publication Date: 1999-Jul 31, 2018

Borehole:

Provincial [BORE](#)

A borehole is the generalized term for any narrow shaft drilled in the ground, either vertically or horizontally. The information here includes geotechnical investigations or environmental site assessments, mineral exploration, or as a pilot hole for installing piers or underground utilities. Information is from many sources such as the Ministry of Transportation (MTO) boreholes from engineering reports and projects from the 1950 to 1990's in Southern Ontario. Boreholes from the Ontario Geological Survey (OGS) including The Urban Geology Analysis Information System (UGAIS) and the York Peel Durham Toronto (YPDT) database of the Conservation Authority Moraine Coalition. This database will include fields such as location, stratigraphy, depth, elevation, year drilled, etc. For all water well data or oil and gas well data for Ontario please refer to WWIS and OOGW.

Government Publication Date: 1875-Jul 2014

Certificates of Approval:

Provincial [CA](#)

This database contains the following types of approvals: Air & Noise, Industrial Sewage, Municipal & Private Sewage, Waste Management Systems and Renewable Energy Approvals. The MOE in Ontario states that any facility that releases emissions to the atmosphere, discharges contaminants to ground or surface water, provides potable water supplies, or stores, transports or disposes of waste, must have a Certificate of Approval before it can operate lawfully. Fields include approval number, business name, address, approval date, approval type and status. This database will no longer be updated, as CofA's have been replaced by either Environmental Activity and Sector Registry (EASR) or Environmental Compliance Approval (ECA). Please refer to those individual databases for any information after Oct.31, 2011.

Government Publication Date: 1985-Oct 30, 2011*

Commercial Fuel Oil Tanks:

Provincial

CFOT

List of commercial underground fuel oil tanks made available by the Fuels Safety Program of the Technical Standards & Safety Authority (TSSA). Ontario Regulation 213/01 of the Technical Standards and Safety Act (2000) requires that all underground tanks be registered with the TSSA. Note: the Fuels Safety Division does not register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of commercial fuel tanks in the province. The TSSA updates information in its system on an ongoing basis; this listing is a copy of the data captured at one moment in time and is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Chemical Register:

Private

CHEM

This database includes information from both a one time study conducted in 1992 and private source and is a listing of facilities that manufacture or distribute chemicals. The production of these chemical substances may involve one or more chemical reactions and/or chemical separation processes (i.e. fractionation, solvent extraction, crystallization, etc.).

Government Publication Date: 1999-Jul 31, 2018

Compressed Natural Gas Stations:

Private

CNG

Canada has a network of public access compressed natural gas (CNG) refuelling stations. These stations dispense natural gas in compressed form at 3,000 pounds per square inch (psi), the pressure which is allowed within the current Canadian codes and standards. The majority of natural gas refuelling is located at existing retail gasoline that have a separate refuelling island for natural gas. This list of stations is made available by the Canadian Natural Gas Vehicle Alliance.

Government Publication Date: Dec 2012 - Apr 2018

Inventory of Coal Gasification Plants and Coal Tar Sites:

Provincial

COAL

This inventory includes both the "Inventory of Coal Gasification Plant Waste Sites in Ontario-April 1987" and the Inventory of Industrial Sites Producing or Using Coal Tar and Related Tars in Ontario-November 1988) collected by the MOE. It identifies industrial sites that produced and continue to produce or use coal tar and other related tars. Detailed information is available and includes: facility type, size, land use, information on adjoining properties, soil condition, site operators/occupants, site description, potential environmental impacts and historic maps available. This was a one-time inventory.*

Government Publication Date: Apr 1987 and Nov 1988*

Compliance and Convictions:

Provincial

CONV

This database summarizes the fines and convictions handed down by the Ontario courts beginning in 1989. Companies and individuals named here have been found guilty of environmental offenses in Ontario courts of law.

Government Publication Date: 1989-Apr 2018

Certificates of Property Use:

Provincial

CPU

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all CPU's on the registry such as (EPA s. 168.6) - Certificate of Property Use.

Government Publication Date: 1994-Jul 31, 2018

Drill Hole Database:

Provincial

DRL

The Ontario Drill Hole Database contains information on more than 113,000 percussion, overburden, sonic and diamond drill holes from assessment files on record with the department of Mines and Minerals. Please note that limited data is available for southern Ontario, as it was the last area to be completed. The database was created when surveys submitted to the Ministry were converted in the Assessment File Research Image Database (AFRI) project. However, the degree of accuracy (coordinates) as to the exact location of drill holes is dependent upon the source document submitted to the MNDM. Levels of accuracy used to locate holes are: centering on the mining claim; a sketch of the mining claim; a 1:50,000 map; a detailed company map; or from submitted a "Report of Work".

Government Publication Date: 1886-Nov 30, 2017

Dry Cleaning Facilities:

Federal

DRYCLEANERS

List of dry cleaning facilities made available by Environment and Climate Change Canada. Environment and Climate Change Canada's Tetrachloroethylene (Use in Dry Cleaning and Reporting Requirements) Regulations (SOR/2003-79) are intended to reduce releases of tetrachloroethylene to the environment from dry cleaning facilities.

Government Publication Date: Jan 2004-Dec 2016

Environmental Activity and Sector Registry:

Provincial

EASR

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. The EASR allows businesses to register certain activities with the ministry, rather than apply for an approval. The registry is available for common systems and processes, to which preset rules of operation can be applied. The EASR is currently available for: heating systems, standby power systems and automotive refinishing. Businesses whose activities aren't subject to the EASR may apply for an ECA (Environmental Compliance Approval), Please see our ECA database.

Government Publication Date: Oct 2011-Jul 31, 2018

Environmental Registry:

Provincial

EBR

The Environmental Registry lists proposals, decisions and exceptions regarding policies, Acts, instruments, or regulations that could significantly affect the environment. Through the Registry, thirteen provincial ministries notify the public of upcoming proposals and invite their comments. For example, if a local business is requesting a permit, license, or certificate of approval to release substances into the air or water; these are notified on the registry. Data includes: Approval for discharge into the natural environment other than water (i.e. Air) - EPA s. 9, Approval for sewage works - OWRA s. 53(1), and EPA s. 27 - Approval for a waste disposal site. For information regarding Permit to Take Water (PTTW), Certificate of Property Use (CPU) and (ORD) Orders please refer to those individual databases.

Government Publication Date: 1994-Jul 31, 2018

Environmental Compliance Approval:

Provincial

ECA

On October 31, 2011, a smarter, faster environmental approvals system came into effect in Ontario. In the past, a business had to apply for multiple approvals (known as certificates of approval) for individual processes and pieces of equipment. Today, a business either registers itself, or applies for a single approval, depending on the types of activities it conducts. Businesses whose activities aren't subject to the EASR may apply for an ECA. A single ECA addresses all of a business's emissions, discharges and wastes. Separate approvals for air, noise and waste are no longer required. This database will also include Renewable Energy Approvals. For certificates of approval prior to Nov 1st, 2011, please refer to the CA database. For all Waste Disposal Sites please refer to the WDS database.

Government Publication Date: Oct 2011-Jul 31, 2018

Environmental Effects Monitoring:

Federal

EEM

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

Government Publication Date: 1992-2007*

ERIS Historical Searches:

Private

EHS

ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

Government Publication Date: 1999-Feb 28, 2018

Environmental Issues Inventory System:

Federal

EIIS

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

Government Publication Date: 1992-2001*

Emergency Management Historical Event:

Provincial

EMHE

List of locations of historical occurrences of emergency events, including those assigned to the Ministry of Natural Resources by Order-In-Council (OIC) under the Emergency Management and Civil Protection Act, as well as events where MNR provided requested emergency response assistance. Many of these events will have involved community evacuations, significant structural loss, and/or involvement of MNR emergency response staff. These events fall into one of ten (10) type categories: Dam Failure; Drought / Low Water; Erosion; Flood; Forest Fire; Soil and Bedrock Instability; Petroleum Resource Center Event, EMO Requested Assistance, Continuity of Operations Event, Other Requested Assistance. EMHE record details are reproduced by ERIS under License with the Ontario Ministry of Natural Resources © Queen's Printer for Ontario, 2017.

Government Publication Date: Dec 31, 2016

List of TSSA Expired Facilities:

Provincial

EXP

List of facilities and tanks - for which there was once a registration - no longer registered with the Fuels Safety Program of the Technical Standards and Safety Authority (TSSA). Includes private fuel outlets, bulk plants, fuel oil tanks, gasoline stations, marinas, propane filling stations, liquid fuel tanks, piping systems, etc. Tanks which have been removed from the ground are included in the expired facilities inventory held by the TSSA. Notes: the Fuels Safety Division did not register private fuel underground/aboveground storage tanks prior to January of 1990, or furnace oil tanks prior to May 1, 2002; nor does the Division register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of expired tanks/tank facilities in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Federal Convictions:

Federal

FCON

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

Government Publication Date: 1988-Jun 2007*

Contaminated Sites on Federal Land:

Federal

FCS

The Federal Contaminated Sites Inventory includes information on known federal contaminated sites under the custodianship of departments, agencies and consolidated Crown corporations as well as those that are being or have been investigated to determine whether they have contamination arising from past use that could pose a risk to human health or the environment. The inventory also includes non-federal contaminated sites for which the Government of Canada has accepted some or all financial responsibility. It does not include sites where contamination has been caused by, and which are under the control of, enterprise Crown corporations, private individuals, firms or other levels of government.

Government Publication Date: Jun 2000-May 2018

Fisheries & Oceans Fuel Tanks:

Federal

FOFT

Fisheries & Oceans Canada maintains an inventory of aboveground & underground fuel storage tanks located on Fisheries & Oceans property or controlled by DFO. Our inventory provides information on the site name, location, tank owner, tank operator, facility type, storage tank location, tank contents & capacity, and date of tank installation.

Government Publication Date: 1964-Sep 2017

Fuel Storage Tank:

Provincial

FST

List of registered private and retail fuel storage tanks made available by the Fuels Safety Program of the Technical Standards & Safety Authority (TSSA). Ontario Regulation 213/01 of the Technical Standards and Safety Act (2000) requires that all underground tanks be registered with the TSSA. Notes: the Fuels Safety Division did not register private fuel underground/aboveground storage tanks prior to January of 1990, or furnace oil tanks prior to May 1, 2002; nor does the Division register waste oil tanks in apartments, office buildings, residences, etc., or aboveground gas or diesel tanks. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of fuel storage tanks/tank facilities in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Fuel Storage Tank - Historic:

Provincial

FSTH

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks. Public records of private fuel storage tanks are only available since the registration became effective in September 1989. This information is now collected by the Technical Standards and Safety Authority.

Government Publication Date: Pre-Jan 2010*

Ontario Regulation 347 Waste Generators Summary:

Provincial

GEN

Regulation 347 of the Ontario EPA defines a waste generation site as any site, equipment and/or operation involved in the production, collection, handling and/or storage of regulated wastes. A generator of regulated waste is required to register the waste generation site and each waste produced, collected, handled, or stored at the site. This database contains the registration number, company name and address of registered generators including the types of hazardous wastes generated. It includes data on waste generating facilities such as: drycleaners, waste treatment and disposal facilities, machine shops, electric power distribution etc. This information is a summary of all years from 1986 including the most currently available data. Some records may contain, within the company name, the phrase "See & Use..." followed by a series of letters and numbers. This occurs when one company is amalgamated with or taken over by another registered company. The number listed as "See & Use", refers to the new ownership and the other identification number refers to the original ownership. This phrase serves as a link between the 2 companies until operations have been fully transferred.

Government Publication Date: 1986-December 31, 2017

Greenhouse Gas Emissions from Large Facilities:

Federal

GHG

List of greenhouse gas emissions from large facilities made available by Environment Canada. Greenhouse gas emissions in kilotonnes of carbon dioxide equivalents (kt CO₂ eq).

Government Publication Date: 2013-Dec 2016

TSSA Historic Incidents:

Provincial

HINC

List of historic incidences of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen recorded by the TSSA in their previous incident tracking system. The TSSA's Fuels Safety Program administers the Technical Standards & Safety Act 2000, providing fuel-related safety services associated with the safe transportation, storage, handling and use of fuels such as gasoline, diesel, propane, natural gas and hydrogen. Under this Act, the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors and equipment or appliances that use fuels. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of historical fuel spills and leaks in the province. This listing is a copy of the data captured at one moment in time and is hence limited by the record date provided here.

Government Publication Date: 2006-June 2009*

Indian & Northern Affairs Fuel Tanks:

Federal

IAFT

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

Government Publication Date: 1950-Aug 2003*

TSSA Incidents:Provincial [INC](#)

List of spills and leaks of diesel, fuel oil, gasoline, natural gas, propane, and hydrogen reported to the Spills Action Centre (SAC) and made available by the Technical Standards and Safety Authority (TSSA). Under the Technical Standards & Safety Act (2000), the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors, and equipment or appliances that use fuels. Includes incidents from fuel-related hazards such as spills, fires, and explosions. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of fuel-related leaks, spills, and incidents in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Landfill Inventory Management Ontario:Provincial [LIMO](#)

The Landfill Inventory Management Ontario (LIMO) database is updated every year, as the ministry compiles new and updated information. The inventory will include small and large landfills. Additionally, each year the ministry will request operators of the larger landfills complete a landfill data collection form that will be used to update LIMO and will include the following information from the previous operating year. This will include additional information such as estimated amount of total waste received, landfill capacity, estimated total remaining landfill capacity, fill rates, engineering designs, reporting and monitoring details, size of location, service area, approved waste types, leachate of site treatment, contaminant attenuation zone and more. The small landfills will include information such as site owner, site location and certificate of approval # and status.

Government Publication Date: Dec 31, 2013

Canadian Mine Locations:Private [MINE](#)

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

Government Publication Date: 1998-2009*

Environmental Penalty Annual Report:Provincial [MISA PENALTY](#)

This database contains data from Ontario's annual environmental penalty report published by the Ministry of the Environment and Climate Change. These reports provide information on environmental penalties for land or water violations issued to companies in one of the nine industrial sectors covered by the Municipal Industrial Strategy for Abatement (MISA) regulations.

Government Publication Date: Jan 1, 2011 - Dec 31, 2017

Mineral Occurrences:Provincial [MNR](#)

In the early 70's, the Ministry of Northern Development and Mines created an inventory of approximately 19,000 mineral occurrences in Ontario, in regard to metallic and industrial minerals, as well as some information on building stones and aggregate deposits. Please note that the "Horizontal Positional Accuracy" is approximately +/- 200 m. Many reference elements for each record were derived from field sketches using pace or chain/tape measurements against claim posts or topographic features in the area. The primary limiting factor for the level of positional accuracy is the scale of the source material. The testing of horizontal accuracy of the source materials was accomplished by comparing the plan metric (X and Y) coordinates of that point with the coordinates of the same point as defined from a source of higher accuracy.

Government Publication Date: 1846-Jan 2018

National Analysis of Trends in Emergencies System (NATES):Federal [NATE](#)

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

Government Publication Date: 1974-1994*

Non-Compliance Reports:Provincial [NCPL](#)

The Ministry of the Environment provides information about non-compliant discharges of contaminants to air and water that exceed legal allowable limits, from regulated industrial and municipal facilities. A reported non-compliance failure may be in regard to a Control Order, Certificate of Approval, Sectoral Regulation or specific regulation/act.

Government Publication Date: Dec 31, 2016

National Defense & Canadian Forces Fuel Tanks:Federal [NDFT](#)

The Department of National Defense and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

Government Publication Date: Up to May 2001*

National Defense & Canadian Forces Spills:

Federal

NDSP

The Department of National Defense and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the "Transportation of Dangerous Goods Act - 1992". Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

Government Publication Date: Mar 1999-Apr 2018

National Defence & Canadian Forces Waste Disposal Sites:

Federal

NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

Government Publication Date: 2001-Apr 2007*

National Energy Board Pipeline Incidents:

Federal

NEBI

Locations of pipeline incidents from 2008 to present, made available by the National Energy Board (NEB). Includes incidents reported under the Onshore Pipeline Regulations and the Processing Plant Regulations related to pipelines under federal jurisdiction, does not include incident data related to pipelines under provincial or territorial jurisdiction.

Government Publication Date: 2008-Mar 31, 2018

National Energy Board Wells:

Federal

NEBW

The NEBW database contains information on onshore & offshore oil and gas wells that are outside provincial jurisdiction(s) and are thereby regulated by the National Energy Board. Data is provided regarding the operator, well name, well ID No./UWI, status, classification, well depth, spud and release date.

Government Publication Date: 1920-Feb 2003*

National Environmental Emergencies System (NEES):

Federal

NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for previous Environment Canada spill datasets. NEES is composed of the historic datasets ' or Trends ' which dates from approximately 1974 to present. NEES Trends is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

Government Publication Date: 1974-2003*

National PCB Inventory:

Federal

NPCB

Environment Canada's National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. Federal out-of-service PCB containing equipment and PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada's mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites. Some addresses provided may be Head Office addresses and are not necessarily the location of where the waste is being used or stored.

Government Publication Date: 1988-2008*

National Pollutant Release Inventory:

Federal

NPRI

Environment Canada has defined the National Pollutant Release Inventory ("NPRI") as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

Government Publication Date: 1993-May 2017

Oil and Gas Wells:

Private

OGW

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickle's database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at www.nickles.com.

Government Publication Date: 1988-April 30, 2018

Ontario Oil and Gas Wells:

Provincial

OOGW

In 1998, the MNR handed over to the Ontario Oil, Gas and Salt Resources Corporation, the responsibility of maintaining a database of oil and gas wells drilled in Ontario. The OGSRL Library has over 20,000+ wells in their database. Information available for all wells in the ERIS database include well owner/operator, location, permit issue date, and well cap date, license No., status, depth and the primary target (rock unit) of the well being drilled. All geology/stratigraphy table information, plus all water table information is also provide for each well record.

Government Publication Date: 1800-May 2018

Inventory of PCB Storage Sites:

Provincial

OPCB

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of PCB storage sites within the province. Ontario Regulation 11/82 (Waste Management - PCB) and Regulation 347 (Generator Waste Management) under the Ontario EPA requires the registration of inactive PCB storage equipment and/or disposal sites of PCB waste with the Ontario Ministry of Environment. This database contains information on: 1) waste quantities; 2) major and minor sites storing liquid or solid waste; and 3) a waste storage inventory.

Government Publication Date: 1987-Oct 2004; 2012-Dec 2013

Orders:

Provincial

ORD

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all Orders on the registry such as (EPA s. 17) - Order for remedial work, (EPA s. 18) - Order for preventative measures, (EPA s. 43) - Order for removal of waste and restoration of site, (EPA s. 44) - Order for conformity with Act for waste disposal sites, (EPA s. 136) - Order for performance of environmental measures.

Government Publication Date: 1994-Jul 31, 2018

Canadian Pulp and Paper:

Private

PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

Government Publication Date: 1999, 2002, 2004, 2005, 2009-2014

Parks Canada Fuel Storage Tanks:

Federal

PCFT

Canadian Heritage maintains an inventory of known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

Government Publication Date: 1920-Jan 2005*

Pesticide Register:

Provincial

PES

The Ontario Ministry of the Environment and Climate Change maintains a database of licensed operators and vendors of registered pesticides.

Government Publication Date: 1988-Mar 2018

TSSA Pipeline Incidents:

Provincial

PINC

List of pipeline incidents (strikes, leaks, spills) made available by the Technical Standards and Safety Authority (TSSA). Under the Technical Standards & Safety Act (2000), the TSSA regulates fuel suppliers, storage facilities, transport trucks, pipelines, contractors, and equipment or appliances that use fuels. Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of pipeline incidents in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Private and Retail Fuel Storage Tanks:

Provincial

PRT

The Fuels Safety Branch of the Ontario Ministry of Consumer and Commercial Relations maintained a database of all registered private fuel storage tanks and licensed retail fuel outlets. This database includes an inventory of locations that have gasoline, oil, waste oil, natural gas and/or propane storage tanks on their property. The MCCR no longer collects this information. This information is now collected by the Technical Standards and Safety Authority (TSSA).

Government Publication Date: 1989-1996*

Permit to Take Water:

Provincial

PTTW

This is a subset taken from Ontario's Environmental Registry (EBR) database. It will include all PTTW's on the registry such as OWRA s. 34 - Permit to take water.

Government Publication Date: 1994-Jul 31, 2018

Ontario Regulation 347 Waste Receivers Summary:

Provincial

REC

Part V of the Ontario Environmental Protection Act ("EPA") regulates the disposal of regulated waste through an operating waste management system or a waste disposal site operated or used pursuant to the terms and conditions of a Certificate of Approval or a Provisional Certificate of Approval. Regulation 347 of the Ontario EPA defines a waste receiving site as any site or facility to which waste is transferred by a waste carrier. A receiver of regulated waste is required to register the waste receiving facility. This database represents registered receivers of regulated wastes, identified by registration number, company name and address, and includes receivers of waste such as: landfills, incinerators, transfer stations, PCB storage sites, sludge farms and water pollution control plants. This information is a summary of all years from 1986 including the most currently available data.

Government Publication Date: 1986-2016

Record of Site Condition:

Provincial

RSC

The Record of Site Condition (RSC) is part of the Ministry of the Environment's Brownfields Environmental Site Registry. Protection from environmental cleanup orders for property owners is contingent upon documentation known as a record of site condition (RSC) being filed in the Environmental Site Registry. In order to file an RSC, the property must have been properly assessed and shown to meet the soil, sediment and groundwater standards appropriate for the use (such as residential) proposed to take place on the property. The Record of Site Condition Regulation (O. Reg. 153/04) details requirements related to site assessment and clean up.

RSCs filed after July 1, 2011 will also be included as part of the new (O.Reg. 511/09).

Government Publication Date: 1997-Sept 2001, Oct 2004-Apr 2018

Retail Fuel Storage Tanks:

Private

RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks.

Government Publication Date: 1999-Jul 31, 2018

Scott's Manufacturing Directory:

Private

SCT

Scott's Directories is a data bank containing information on over 200,000 manufacturers across Canada. Even though Scott's listings are voluntary, it is the most comprehensive database of Canadian manufacturers available. Information concerning a company's address, plant size, and main products are included in this database.

Government Publication Date: 1992-Mar 2011*

Ontario Spills:

Provincial

SPL

This database identifies information such as location (approximate), type and quantity of contaminant, date of spill, environmental impact, cause, nature of impact, etc. Information from 1988-2002 was part of the ORIS (Occurrence Reporting Information System). The SAC (Spills Action Centre) handles all spills reported in Ontario. Regulations for spills in Ontario are part of the MOE's Environmental Protection Act, Part X.

Government Publication Date: 1988-May 2018

Wastewater Discharger Registration Database:

Provincial

SRDS

Information under this heading is combination of the following 2 programs. The Municipal/Industrial Strategy for Abatement (MISA) division of the Ontario Ministry of Environment maintained a database of all direct dischargers of toxic pollutants within nine sectors including: Electric Power Generation; Mining; Petroleum Refining; Organic Chemicals; Inorganic Chemicals; Pulp & Paper; Metal Casting; Iron & Steel; and Quarries. All sampling information is now collected and stored within the Sample Result Data Store (SRDS).

Government Publication Date: 1990-Dec 31, 2016

Anderson's Storage Tanks:

Private

TANK

The information provided in this database was collected by examining various historical documents, which identified the location of former storage tanks, containing substances such as fuel, water, gas, oil, and other various types of miscellaneous products. Information is available in regard to business operating at tank site, tank location, permit year, permit & installation type, no. of tanks installed & configuration and tank capacity. Data contained within this database pertains only to the city of Toronto and is not warranted to be complete, exhaustive or authoritative. The information was collected for research purposes only.

Government Publication Date: 1915-1953*

Transport Canada Fuel Storage Tanks:

Federal

TCFT

List of fuel storage tanks currently or previously owned or operated by Transport Canada. This inventory also includes tanks on The Pickering Lands, which refers to 7,530 hectares (18,600 acres) of land in Pickering, Markham, and Uxbridge owned by the Government of Canada since 1972; properties on this land has been leased by the government since 1975, and falls under the Site Management Policy of Transport Canada, but is administered by Public Works and Government Services Canada. This inventory provides information on the site name, location, tank age, capacity and fuel type.

Government Publication Date: 1970-Aug 2017

TSSA Variances for Abandonment of Underground Storage Tanks:

Provincial

VAR

List of variances granted for abandoned tanks. Under the Technical Standards and Safety Authority (TSSA) Liquid Fuels Handling Code and Fuel Oil Code, all underground storage tanks must be removed within two years of disuse. If removal of a tank is not feasible, an application may be sought for a variance from this code requirement.

Records are not verified for accuracy or completeness. This is not a comprehensive or complete inventory of tank variances in the province. The TSSA updates information in its system on an ongoing basis; this listing is hence limited by the record date provided here.

Government Publication Date: Feb 28, 2017

Waste Disposal Sites - MOE CA Inventory:

Provincial

[WDS](#)

The Ontario Ministry of Environment, Waste Management Branch, maintains an inventory of known open (active or inactive) and closed disposal sites in the Province of Ontario. Active sites maintain a Certificate of Approval, are approved to receive and are receiving waste. Inactive sites maintain Certificate(s) of Approval but are not receiving waste. Closed sites are not receiving waste. The data contained within this database was compiled from the MOE's Certificate of Approval database. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number. All new Environmental Compliance Approvals handed out after Oct 31, 2011 for Waste Disposal Sites will still be found in this database.

Government Publication Date: Oct 2011-Jul 31, 2018

Waste Disposal Sites - MOE 1991 Historical Approval Inventory:

Provincial

[WDSH](#)

In June 1991, the Ontario Ministry of Environment, Waste Management Branch, published the "June 1991 Waste Disposal Site Inventory", of all known active and closed waste disposal sites as of October 30st, 1990. For each "active" site as of October 31st 1990, information is provided on site location, site/CA number, waste type, site status and site classification. For each "closed" site as of October 31st 1990, information is provided on site location, site/CA number, closure date and site classification. Locations of these sites may be cross-referenced to the Anderson database described under ERIS's Private Source Database section, by the CA number.

Government Publication Date: Up to Oct 1990*

Water Well Information System:

Provincial

[WWIS](#)

This database describes locations and characteristics of water wells found within Ontario in accordance with Regulation 903. It includes such information as coordinates, construction date, well depth, primary and secondary use, pump rate, static water level, well status, etc. Also included are detailed stratigraphy information, approximate depth to bedrock and the approximate depth to the water table.

Government Publication Date: Dec 31, 2017

Definitions

Database Descriptions: This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

Detail Report: This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

Distance: The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

Direction: The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

Elevation: The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

Executive Summary: This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

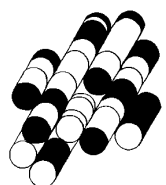
Map Key: The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

Unplottables: These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

APPENDIX F

TERRAPROBE INC.



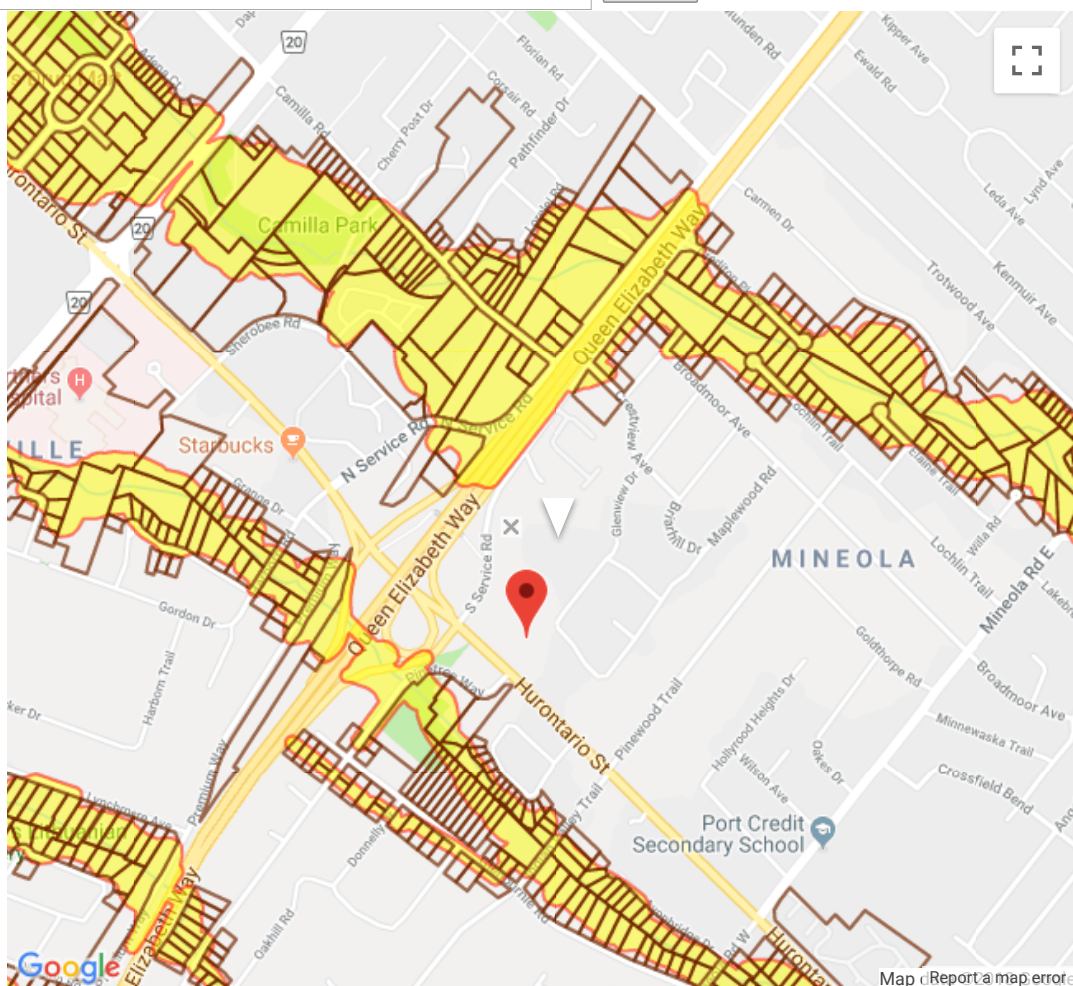
Regulation Mapping: Credit Valley Conservation

Good afternoon, please use the search box below. If you want to see the address of a parcel, please uncheck all other layers and click on the parcel;

[Print the map](#)

- ☐ Watershed Boundary
- ☐ Parcel Boundary
- ☐ Generic Regulation Limit

- ☐ Watershed
- ☐ Mono, Amaranth, Orangeville & E. Garafraxa: Regulation
- ☐ Mono, Amaranth, Orangeville & E. Garafraxa: Parcels
- ☐ Erin:Regulation
- ☐ Erin:Parcels
- ☐ Caledon North:Regulation
- ☐ Caledon South:Regulation
- ☐ Caledon:Parcels
- ☐ Halton Hills:Regulation
- ☐ Halton Hills:Parcels
- ☐ Brampton:Regulation
- ☐ Brampton:Parcels
- ☒ Mississauga:Regulation
- ☒ Mississauga North Parcels
- ☒ Mississauga Central Parcels
- ☒ Mississauga South Parcels
- ☐ Oakville:Parcels & Regulation



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Please include the full address in your search above (i.e. 1255 Old Derry Road, Mississauga, ON). You can click on each individual layer (e.g. Regulations within Brampton) to determine if the location you are interested in falls within a regulation limit. You can click on the map for more information about each polygon.

(Note:Chrome & Mozilla Firefox are the preferred browsers. If you are using Internet Explorer, make sure that the javascript is enabled. If you see a yellow bar, either simply right click and allow the blocked content or do it permanently: tools>Internet option>advanced>under security>allow active content to run on my computer).



1575 Hurontario St, Mississauga



- Legend**

 - Assessment Parcel
 - Woodland
 - Conservation Reserve
 - Provincial Park
 - Natural Heritage System
 - Ecoregion

Wetland

 - Provincially Significant Wetland Evaluated
 - Non - Provincially Significant Wetland Evaluated
 - Unevaluated Wetland

Area of Natural Heritage & Scientific Interest (ANSI)

 - Provincially Significant Life Science ANSI
 - Provincially Significant Earth Science ANSI

Greenbelt Plan

 - Boundary
 - River Valley Connections

Land Use Designations

 - Protected Countryside
 - Towns and Villages
 - Hamlets
 - Urban River Valley
 - Specialty Crop Area

Niagara Escarpment Plan (NEP)

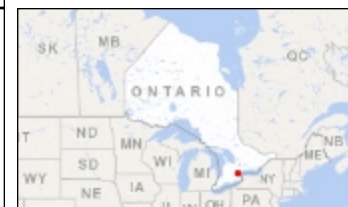
 - Boundary
 - Parks and Open Space System

Land Use Designations

 - Escarpment Natural Area
 - Escarpment Protection Area
 - Escarpment Rural Area
 - Mineral Resource Extraction Area
 - Escarpment Recreation Area
 - Urban Area
 - Minor Urban Centre

Oak Ridges Moraine Conservation Plan (ORM)

 - Boundary
 - Land Use Designations
 - Natural Core Area
 - Natural Linkage Area
 - Countryside Area
 - Rural Settlement
 - Palgrave Estates Residential Community
 - Settlement Area



0.7 0 0.33 0.7 Kilometers

This map should not be relied on as a precise indicator of routes or locations, nor as a guide to navigation. The Ontario Ministry of Natural Resources and Forestry (OMNRF) shall not be liable in any way for the use of, or reliance upon, this map or any information on this map.

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Ministry of the Environment,
Conservation and Parks

Freedom of Information and
Protection of Privacy Office

12th Floor
40 St. Clair Avenue West
Toronto ON M4V 1M2
Tel: (416) 314-4075

Ministère de l'Environnement, de
la Protection de la nature et des
Parcs

Bureau de l'accès à l'information et
de la protection de la vie privée

12^e étage
40, avenue St. Clair ouest
Toronto ON M4V 1M2
Tél. : (416) 314-4075



September 24, 2018

Kyle Reed
Terraprobe Inc.
11 Indell Lane
Brampton, ON L6T 3Y3

Dear Kyle Reed:

RE: ***Freedom of Information and Protection of Privacy Act Request***
Our File # A-2018-06320, Your Reference 1-18-0537-41

This letter is in response to your request made pursuant to the *Freedom of Information and Protection of Privacy Act* relating to 1575 Hurontario Street, Mississauga.

After a thorough search through the files of the Ministry's Halton-Peel District Office, Investigations and Enforcement Branch, Environmental Assessment and Permissions Branch, Environmental Monitoring and Reporting Branch, Sector Compliance Branch and Safe Drinking Water Branch, no records were located responsive to your request. To provide you with this response and in accordance with Section 57 of the *Freedom of Information and Protection of Privacy Act*, the fee owed is \$30.00 for 1 hour of search time @ \$30.00 per hour. **We have applied the \$30.00 for this request from your initial payment. This file is now closed.**

You may request a review of my decision by contacting the Information and Privacy Commissioner/Ontario, 2 Bloor Street East, Suite 1400, Toronto, ON M4W 1A8 (800-387-0073 or 416-326-3333). Please note that there is a \$25.00 fee and you only have 30 days from receipt of this letter to request a review.

If you have any questions regarding this matter, please contact the Freedom of Information Office at 416-314-4075.

Yours truly,

for

Janet Dadufalza
FOI Manager

Jessie Wu

From: Public Information Services
Sent: Monday, September 10, 2018 10:08 AM
To: Kyle Reed
Subject: RE: Preliminary Basic Record Search Request

NO RECORD FOUND (FUEL STORAGE TANKS ONLY)

Hello Kyle. Thank you for your request for confirmation of public information.

We confirm that there are no records in our database of any fuel storage tanks at the subject addresses.

For a further search in our archives please complete our release of public information form found at https://www.tssa.org/en/about-tssa/release-of-public-information.aspx?_mid_=392 and email the completed form to publicinformationsservices@tssa.org or through mail along with a fee of \$56.50 (including HST) per location. The fee is payable with credit card (Visa or MasterCard) or with a Cheque made payable to TSSA.

Although TSSA believes the information provided pursuant to your request is accurate, please note that TSSA does not warrant this information in any way whatsoever.

Kind regards,

Gaya

From: Kyle Reed <kreed@terraprobe.ca>
Sent: September 6, 2018 2:16 PM
To: Public Information Services <publicinformationsservices@tssa.org>
Subject: Preliminary Basic Record Search Request

Good Afternoon,

I am doing a Phase One Environmental Site Assessment and would like to request a preliminary basic record search for the following properties in Mississauga, Ontario:

1484, 1489, 1495, 1541, 1547, 1575, 1599 Hurontario St

49, 60, 84 South Service Rd

If you require any additional information, please let me know.

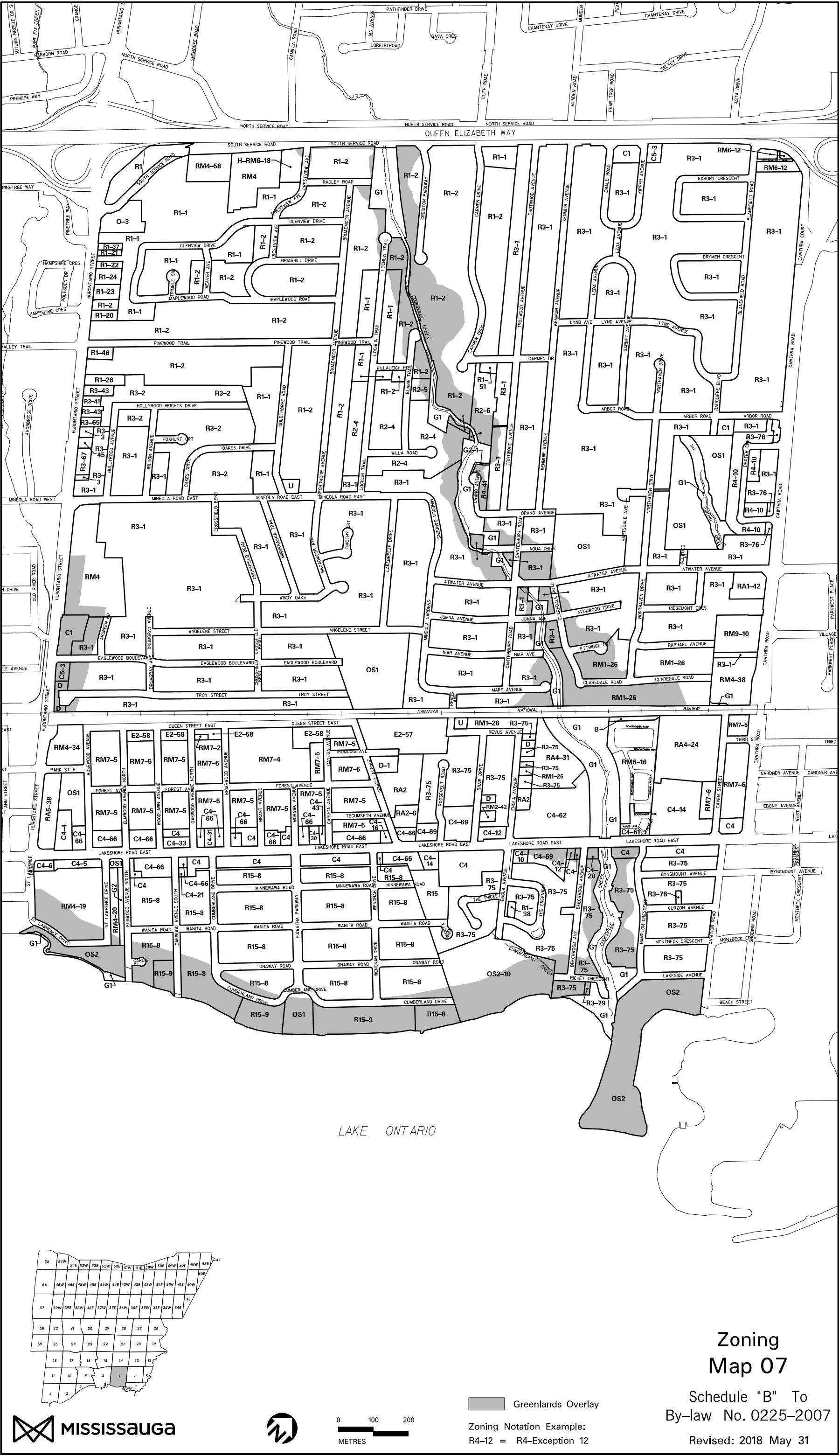
Thank you,

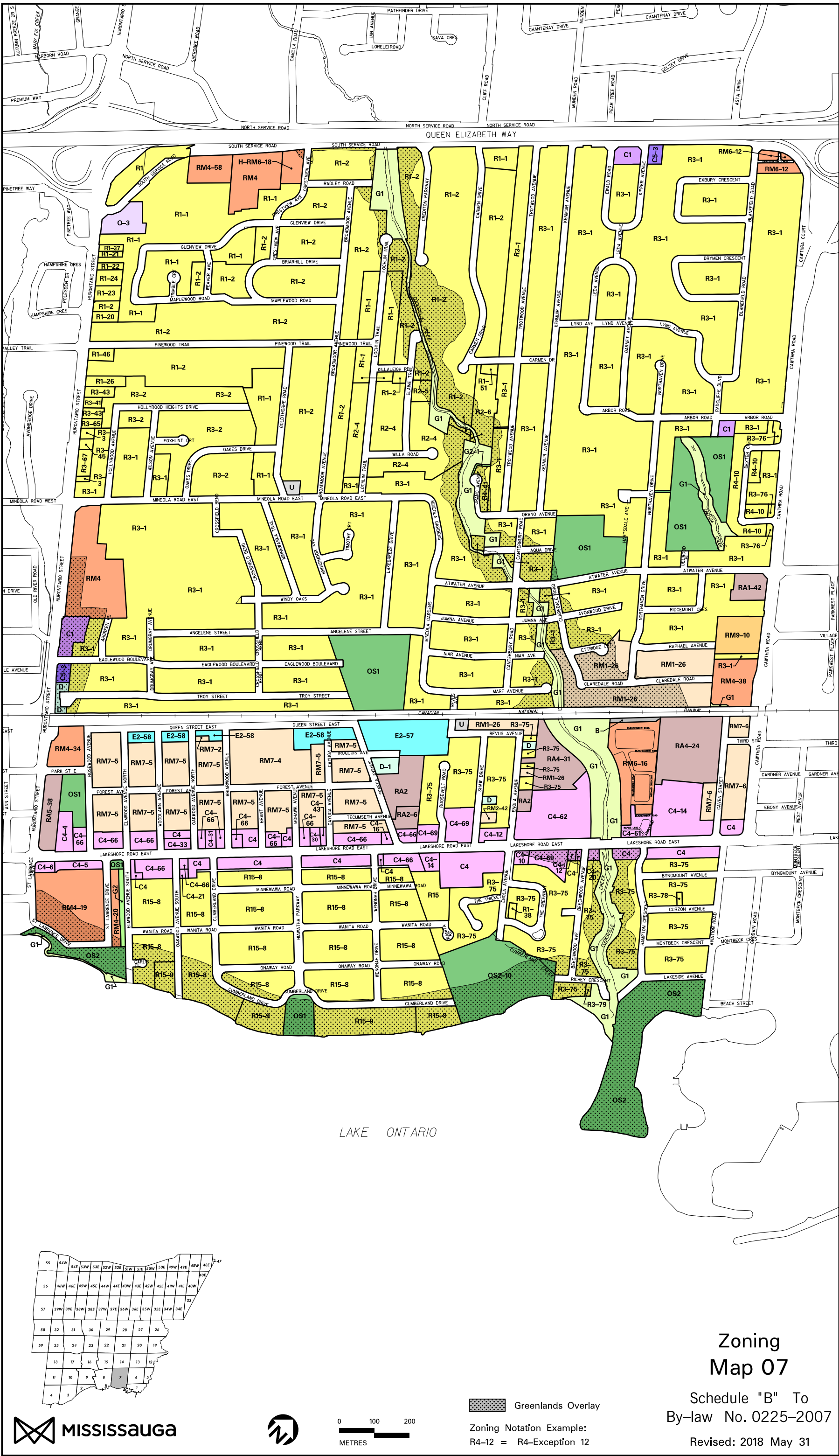
Kyle Reed, B.Sc., P.Geo.
Project Manager

Terraprobe

Consulting Geotechnical & Environmental Engineering
Construction Materials, Inspection & Testing
11 Indell Lane - **Brampton**, Ontario Canada L6T 3Y3

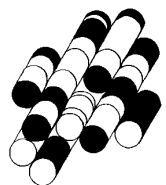
This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.





APPENDIX G

TERRAPROBE INC.





SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

AERIAL PHOTOGRAPH

File No.

1-18-0537-41

YEAR :

1954



*Approximate
Property Location*

SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

AERIAL PHOTOGRAPH

File No.

1-18-0537-41

YEAR :

1966



*Approximate
Property Location*

SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

AERIAL PHOTOGRAPH

File No.

1-18-0537-41

YEAR :

1975



SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

AERIAL PHOTOGRAPH

File No.

1-18-0537-41

YEAR:

1989



SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

SATELLITE IMAGE

File No.

1-18-0537-41

YEAR :

2010



*Approximate
Property Location*

SCALE 0 40 80m



Terraprobe

11 Indell Lane, Brampton, Ontario, L6T 3Y3
Tel: (905) 796-2650 Fax: (905) 796-2250

Title:

SATELLITE IMAGE

File No.

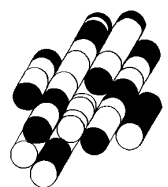
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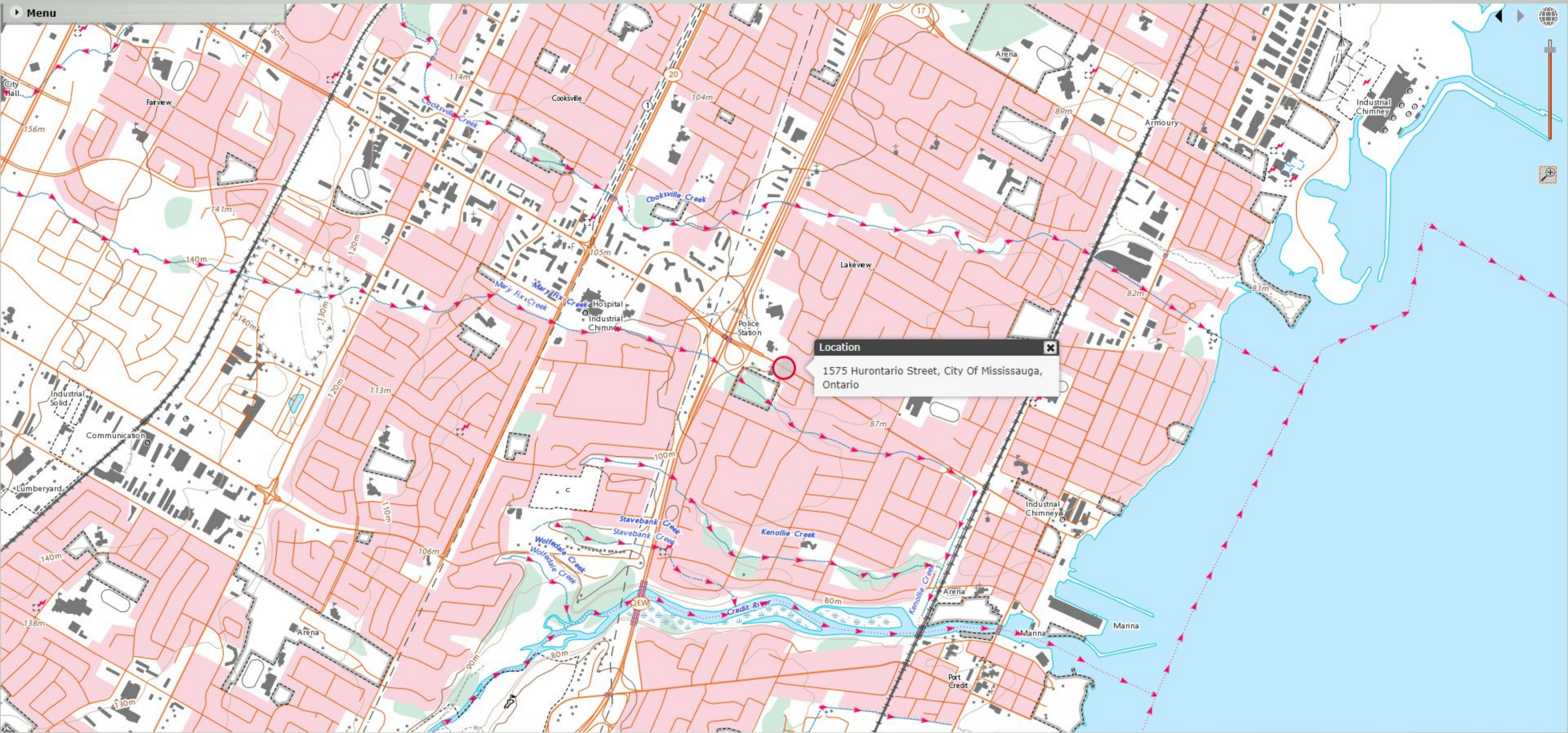
YEAR :

2017

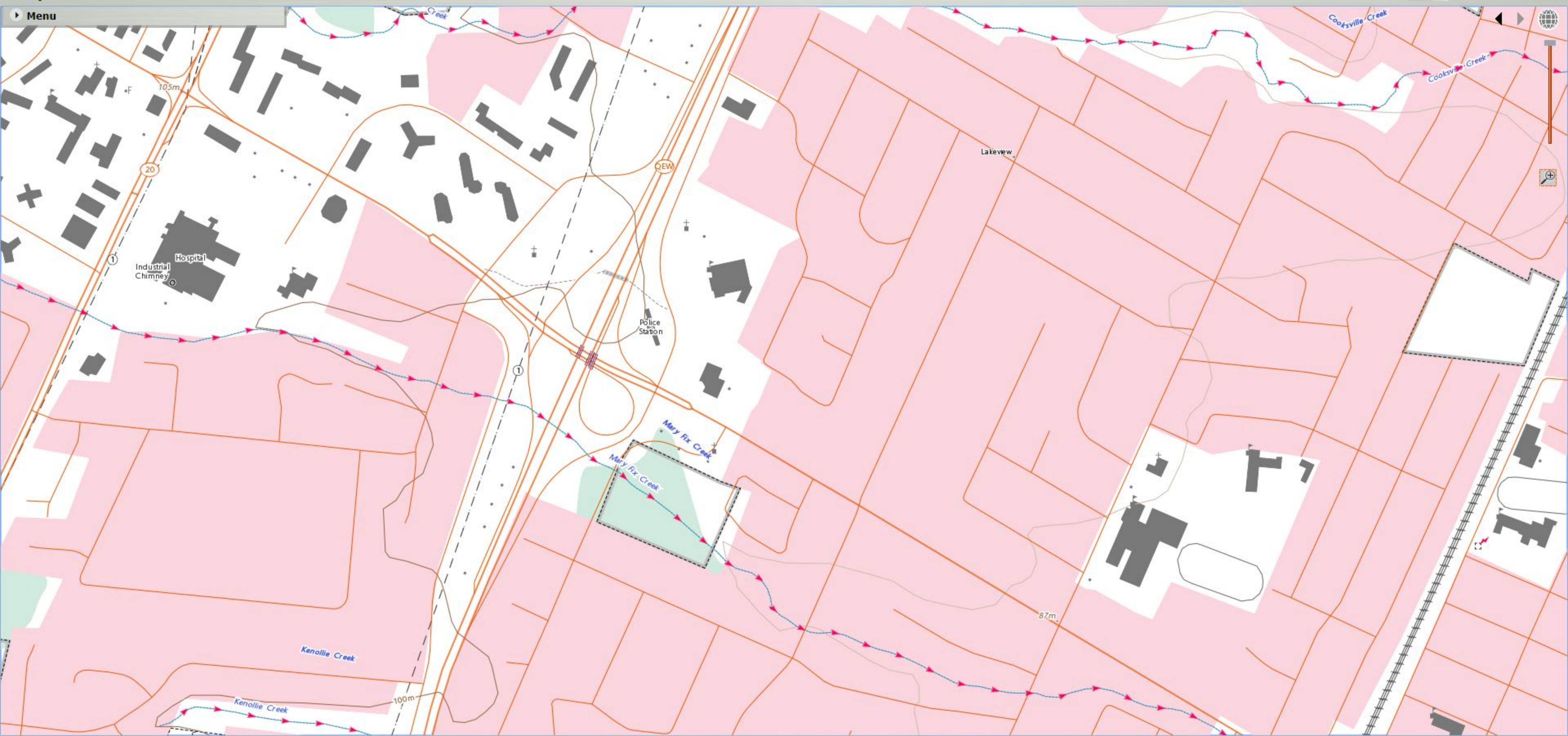
APPENDIX H

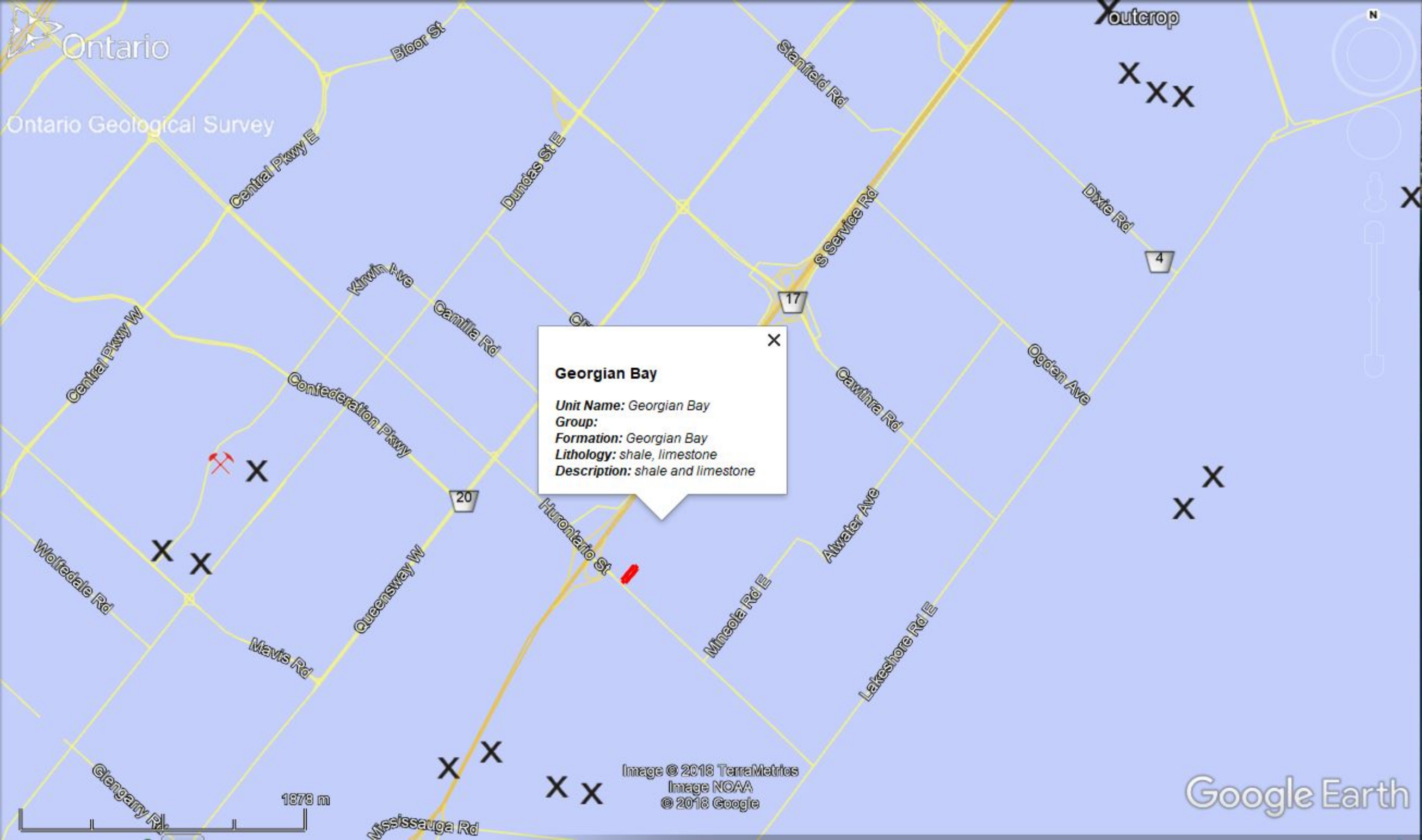
TERRAPROBE INC.





Location
1575 Hurontario Street, City Of Mississauga,
Ontario





Georgian Bay

Unit Name: Georgian Bay

Group:

Formation: Georgian Bay

Lithology: shale, limestone

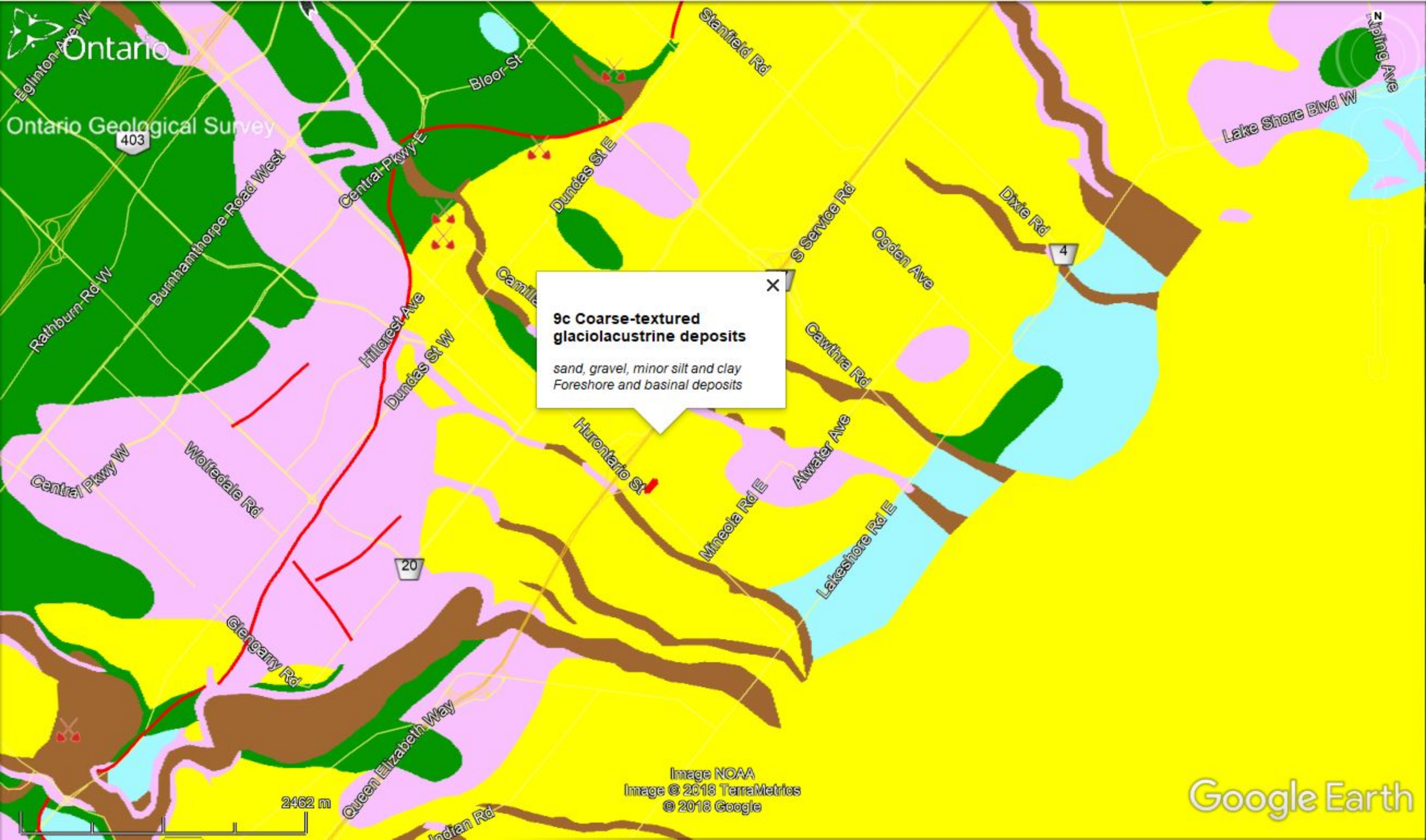
Description: shale and limestone

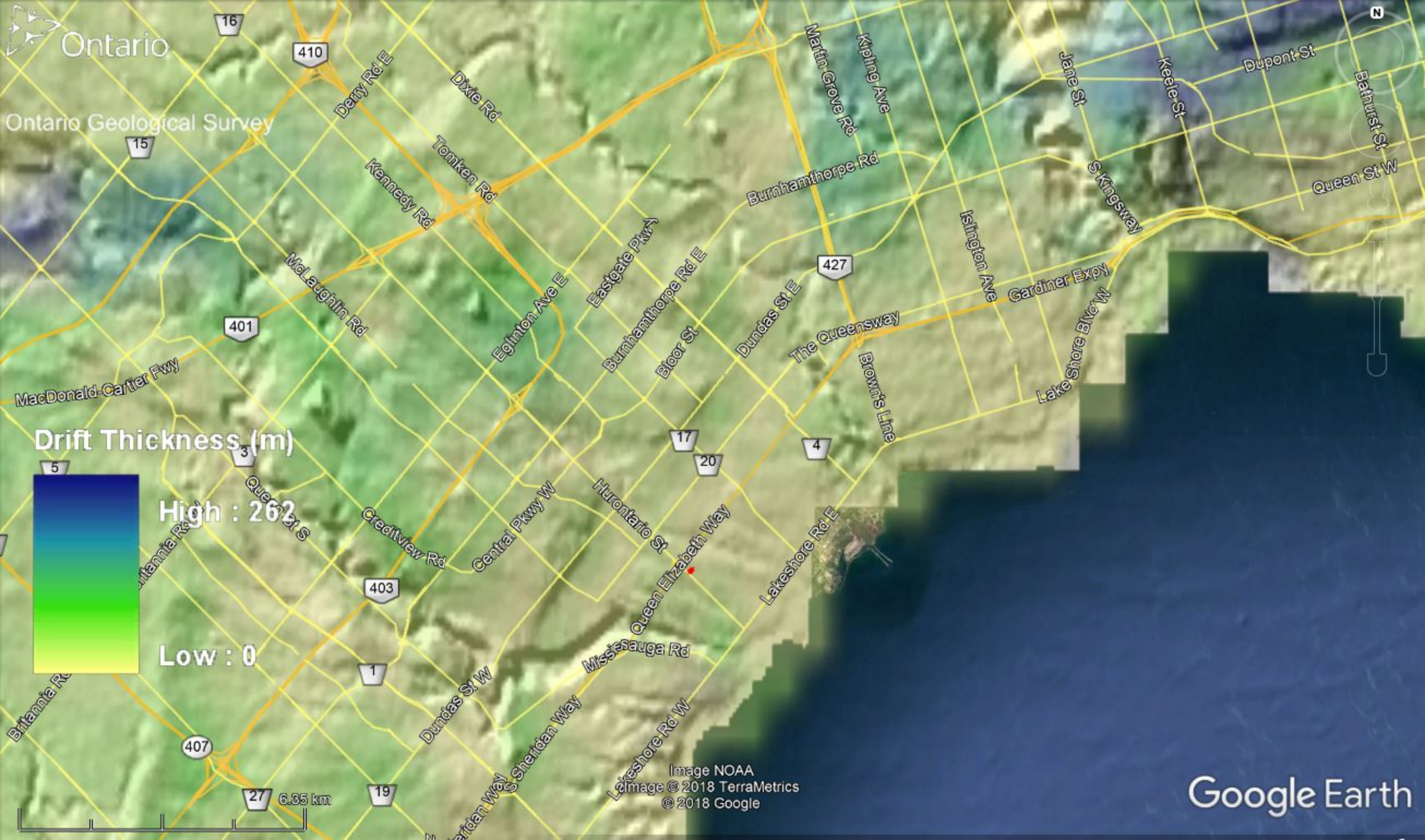
Image © 2018 TerraMetrics
Image NOAA
© 2018 Google

Google Earth

55b

Shale, limestone, dolostone,
siltstone
Georgian Bay Formation; Blue
Mountain Formation; Billings
Formation; Collingwood Member;
Eastview Member





Ontario

Ontario Geological Survey

Drift Thickness (m)

High : 26.2

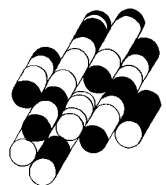
Low : 0

Image NOAA
Image © 2018 TerraMetrics
© 2018 Google

Google Earth

APPENDIX I

TERRAPROBE INC.



Water Well Records

Thursday, September 13, 2018

11:30:17 AM

TOWNSHIP CON LOT	UTM	DATE CNTR	CASING DIA	WATER	PUMP TEST	WELL USE	SCREEN	WELL	FORMATION
MISSISSAUGA CITY	17 613212 4824877 W	2008/09 7215	2			TH	0005 10	7112707 (Z81551) A070287	BRWN FILL WBRG 0005 BRWN SAND CLAY WBRG 0015
MISSISSAUGA CITY	17 613210 4824888 W	2008/04 7215	2			TH		7108247 (Z79544) A066175	BRWN SAND GRVL 0004 GREY SAND SILT WBRG 0013 GREY SILT SAND 0015
MISSISSAUGA CITY (PO	17 613315 4824636 W	2017/02 6607	2.00	UT 0011		MO	0010 10	7282244 (Z240428) A217759	BRWN SAND GRVL PCKD 0002 BRWN SAND LOOS 0016 GREY SAND LOOS 0022

Notes:

UTM: UTM in Zone, Easting, Northing and Datum is NAD83; L: UTM estimated from Centroid of Lot; W: UTM not from Lot Centroid

DATE CNTR: Date Work Completedand Well Contractor Licence Number

CASING DIA: .Casing diameter in inches

WATER: Unit of Depth in Fee. See Table 4 for Meaning of Code

PUMP TEST: Static Water Level in Feet / Water Level After Pumping in Feet / Pump Test Rate in GPM / Pump Test Duration in Hour : Minutes

WELL USE: See Table 3 for Meaning of Code

SCREEN: Screen Depth and Length in feet

WELL: WEL (AUDIT #) Well Tag . A: Abandonment; P: Partial Data Entry Only

FORMATION: See Table 1 and 2 for Meaning of Code

1. Core Material and Descriptive terms

Code	Description	Code	Description	Code	Description	Code	Description	Code	Description
BLDR	BOULDERS	FCRD	FRACTURED	IRFM	IRON FORMATION	PORS	POROUS	SOFT	SOFT
BSLT	BASALT	FGRD	FINE-GRAINED	LIMY	LIMY	PRDG	PREVIOUSLY DUG	SPST	SOAPSTONE
CGRD	COARSE-GRAINED	FGVL	FINE GRAVEL	LMSN	LIMESTONE	PRDR	PREV. DRILLED	STKY	STICKY
CGVL	COARSE GRAVEL	FILL	FILL	LOAM	TOPSOIL	QRTZ	QUARTZITE	STNS	STONES
CHRT	CHERT	FLDS	FELDSPAR	LOOS	LOOSE	QSND	QUICKSAND	STNY	STONEY
CLAY	CLAY	FLNT	FLINT	LTCL	LIGHT-COLOURED	QTZ	QUARTZ	THIK	THICK
CLN	CLEAN	FOSS	FOSILIFEROUS	LYRD	LAYERED	ROCK	ROCK	THIN	THIN
CLYY	CLAYEY	FSND	FINE SAND	MARL	MARL	SAND	SAND	TILL	TILL
CMTD	CEMENTED	GNIS	GNEISS	MGRD	MEDIUM-GRAINED	SHLE	SHALE	UNKN	UNKNOWN TYPE
CONG	CONGLOMERATE	GRNT	GRANITE	MGVL	MEDIUM GRAVEL	SHLY	SHALY	VERY	VERY
CRYS	CRYSTALLINE	GRSN	GREENSTONE	MRBL	MARBLE	SHRP	SHARP	WBRG	WATER-BEARING
CSND	COARSE SAND	GRVL	GRAVEL	MSND	MEDIUM SAND	SHST	SCHIST	WDFR	WOOD FRAGMENTS
DKCL	DARK-COLOURED	GRWK	GREYWACKE	MUCK	MUCK	SILT	SILT	WTHD	WEATHERED
DLMT	DOLOMITE	GVLY	GRAVELLY	OBDN	OVERBURDEN	SLTE	SLATE		
DNSE	DENSE	GYPG	GYPG	PCKD	PACKED	SLTY	SILTY		
DRTY	DIRTY	HARD	HARD	PEAT	PEAT	SNDS	SANDSTONE		
DRY	DRY	HPAN	HARDPAN	PGVL	PEA GRAVEL	SNDY	SANDYOAPSTONE		

2. Core Color

Code	Description
WHIT	WHITE
GREY	GREY
BLUE	BLUE
GREN	GREEN
YLLW	YELLOW
BRWN	BROWN
RED	RED
BLCK	BLACK
BLGY	BLUE-GREY

3. Well Use

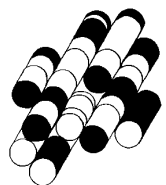
Code	Description	Code	Description
DO	Domestic	OT	Other
ST	Livestock	TH	Test Hole
IR	Irrigation	DE	Dewatering
IN	Industrial	MO	Monitoring
CO	Commercial	MT	Monitoring TestHole
MN	Municipal		
PS	Public		
AC	Cooling And A/C		
NU	Not Used		

4. Water Detail

Code	Description	Code	Description
FR	Fresh	GS	Gas
SA	Salty	IR	Iron
SU	Sulphur		
MN	Mineral		
UK	Unknown		

APPENDIX J

TERRAPROBE INC.



1575 Hurontario St. Mississauga

TABLE OF CURRENT AND PAST USES OF THE PHASE ONE PROPERTY

(Refer to clause 16(2)(b), Schedule D, O. Reg. 153/04)

Year	Name of Owner	Description of Property Use	Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, Etc.
2018 to Present	10422967 Canada Corp.	Vacant		2018 Site Visit: The site is vacant and not occupied. Remnants of the previous building was observed during the site visit.
2017 - 2018	Woodmere (Huronatrio) Inc.			2017 AP: No significant changes.
2015-2017	Aymuhammed Hafizoglu			No other observations.
2011-2015	Seyedh Abtahinejad			
2011-2011	Nazer Nejad			
2005-2011	Farhad Radfar	Mcdonalds/ Vacant	Commercial	2010: The bulding appeared to be demolished. Remnants of the building structure was observed on the Property. 2009: Demolition of the Mcdonalds was permitted.
2004-2005	2001467 Ontario Ltd.	Mcdonalds		No other observations.
1971-2004	Willow Bunch Developments Limited			1989 AP: No significant changes. 1976 to 2000 CD: The Property was occupied by McDonald's Restaurant. 1975 AP: A commercial building was observed on the Property with a large parking area. 1971: City of Mississauga record indicate that Mcdonald restaurant occupied the site since at least 1974.
1971-1971	Bullfinch Limited			
1971-1971	Ar-Jel Developments Limited	Shopping plaza with restaurants and apartments		1968-1971: City of Mississauga record shows the Property was occupied by a shopping plaza with restaurants and apartment; the buildings were demolished in 1971.
1968-1971	Benjoseph Limited			
1967-1968	Vincent Scamurra, etal			
1963-1967	Walter Dobb			
1938-1963	Eva Belford	Residential	Residential	1966 AP: No significant changes.
1935-1938	Harriet Newton			1954 AP: A residential building structure appeared to be on site.
1922-1935	William Beatty			
1914-1922	Harriet Burrell			
1887-1914	Dinah Burrell			No other observations.
1885-1887	George Trueman			
1885-1885	William Mckay			
Prior to 1885	Crown	Unknown	Agricultural or other use	

Notes:

1 - for each owner, specify one of the following types of property use (as defined in O.Reg. 153/04) that applies:

Agriculture or other use

Commercial use

Community use

Industrial use

Institutional use

Parkland use

Residential use

2 - when submitting a record of site condition for filing, a copy of this table must be attached

**Cette publication hautement spécialisée n'est disponible qu'en anglais en vertu du règlement 671/92, qui en exempte l'application de la Loi sur les services en français. Pour obtenir de l'aide en français, veuillez communiquer avec le ministère de l'Environnement au 1-800-461-6290

CD: City Directories

AP: Air Photo

APPENDIX K

TERRAPROBE INC.

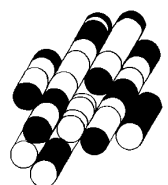


TABLE OF AREAS OF POTENTIAL ENVIRONMENTAL CONCERN
(Refer to clause 16(2)(a), Schedule D, O. Reg. 153/04)

Area of Potential Environmental Concern	Location of Area of Potential Environmental Concern on Phase One Property	Potentially Contaminating Activity	Location of PCA (on-site or off-site)	Contaminants of Potential Concern	Media Potentially Impacted (Ground water, soil and/or sediment)
APEC 1	Southern half of the Phase One Property (Exterior of the building)	#30 – Importation of Fill Material of Unknown Quality	On-site	Metals, Electrical Conductivity (EC), Sodium Adsorption Ratio (SAR), Sb, As, Se, Cr(VI), Na, Hg, B-HWS, pH, CN-, PAHs, Polychlorinated biphenyls (PCBs)	Soil and ground water
APEC 2	Southwestern Portion of the Phase One Property	#28 - Gasoline and Associated Products Storage in Fixed Tanks	Off-site	PHCs, VOCs, BTEX	Ground water

Notes:

1 - Area of Potential Environmental Concern means the area on, in or under a phase one property where one or more contaminants are potentially present, as determined through the phase one environmental site assessment, including through,

- (a) identification of past or present uses on, in or under the phase one property, and
- (b) identification of potentially contaminating activity.

2 - Potentially Contaminating Activity means a use or activity set out in Column A of Table 2 of Schedule D that is occurring or has occurred in a phase one study area

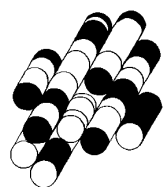
3 - when completing this column, identify all contaminants of potential concern using the Method Groups as identified in the Protocol for in the Assessment of Properties under Part XV.1 of the Environmental Protection Act, March 9, 2004, amended as of July 1, 2011, as specified below:

ABNs, PCBs, Metals, Electrical Conductivity, SAR, CPs, PAHs, As, Sb, Se, Cr (VI),
1,4-Dioxane, THMs, Na, Hg, Dioxins/Furans, PCDDs/PCDFs VOCs, B-HWS, Methyl Mercury,
Ocs, BTEX, Cl-, high pH, PHCs, Ca, Mg, CN-, low pH

4 - when submitting a record of site condition for filing, a copy of this table must be attached

APPENDIX L

TERRAPROBE INC.



PHASE ONE CONCEPTUAL SITE MODEL

1575 HURONTARIO STREET, MISSISSAUGA, ON

Phase One CSM	Information Pertaining to Property
<i>Figures of the Phase One Study Area are provided that:</i>	
i. Show any existing buildings and structures,	Existing structures are shown on Figure 2.
ii. Identify and locate water bodies located in whole or in part on the Phase One Study Area	<p>The closest water body to the Phase One Property is the Mary Fix Creek, which is located approximately 215 m to the southwest.</p> <p>All water bodies on the Phase One Property and in the Phase One Study Area are shown on Figure 3.</p>
iii. Identify and locate any Areas of Natural Significance located in whole or in part on the Phase One Study Area	Terraprobe reviewed the Ontario Ministry of Natural Resources and Forestry NHIC database for natural area listings. No Areas of Natural Significance were located in the Phase One Study Area.
iv. Locate any drinking water wells at the Phase One Property	No drinking water wells were identified on the Property during the site inspection. No records of wells on the Property were found in the MECP Water Well Information System (WWIS).
v. Show roads, including names, within the Phase One Study Area	The Property is located in the southeast quadrant of Hurontario Street and South Service Road. The Property is accessible via Hurontario Street. Other roads and properties within the Study Area are presented on Figure 3.
vi. Show use of properties adjacent to the Phase One Property	The land uses of the adjacent properties are shown on Figure 4.
vii. Identify and locate area where any potentially contaminating activity has occurred, and show tanks in such areas	Potentially Contaminating Activities (PCAs) located on the Property and within the Study Area are shown on Figure 5.
viii. Identify and locate any areas of potential environmental concern	<p>Three Areas of Potential Environmental Concern (APECs) and associated Contaminants of Potential Concern are described on the Table of Areas of Potential Environmental Concern.</p> <p>The locations of the APECs on the Phase One Property are shown on Figure 5.</p>
<i>The following is a description and assessment of:</i>	
i. Any areas where potentially contaminating activity on or potentially affecting the Phase One Property has occurred,	<p>Phase One Property (Exterior of the building)</p> <ul style="list-style-type: none"> PCA #30, result of historical use of fill material during the development of the Property. <p>Northern Portion of Phase One Property</p> <ul style="list-style-type: none"> PCA #28, Results of historical fuel outlet located



Phase One CSM	Information Pertaining to Property
	approximately 90 m northwest of the Property.
ii. Any contaminants of potential concern	<p>Contaminants of Potential Concern (CoPCs) identified on the Property include:</p> <ul style="list-style-type: none"> Metals, EC, SAR, Sb, As, SE, Cr(VI), Na, Hg, B, B-HWS, pH, CN-, PAHs and PCBs in soil and ground water PHCs, VOCs and BTEX in ground water
iii. The potential for underground utilities, if any present, to affect contaminant distribution and transport,	The former building was serviced with municipal supplied water and gas utilities. There is the potential for underground utilities to affect the horizontal distribution or transport of contaminants potentially due to underground service lines located on the Property.
iv. Available regional or site specific geological and hydrogeological information,	<p>Topography</p> <ul style="list-style-type: none"> The approximate elevation of the Property is 87 masl and slopes to the south/southeast towards Lake Ontario. <p>Hydrogeology</p> <ul style="list-style-type: none"> The nearest water body is Mary Fix Creek, which is located approximately 215 m to the southwest of the Property. Ground water and surface water is expected to flow to the south/southeast. <p>Geology (overburden)</p> <ul style="list-style-type: none"> The overburden primarily consists of coarse-textured glaciolacustrine deposits consisted of sand, gravel, minor silt and clay of foreshore and basinal deposits. <p>Geology (bedrock)</p> <ul style="list-style-type: none"> The bedrock on the Property is of the Georgian Bay Formation, which is comprised of shale and limestone. <p>Geology (depth to bedrock)</p> <ul style="list-style-type: none"> Based upon published information, the depth to bedrock in the area of the Property is approximately 30 meters below ground surface.
v. How any uncertainty or absence of information obtained in each of the components of the Phase One ESA could affect the validity of the model.	No uncertainty was encountered while conducting the Phase One ESA that could affect the validity of the model.

Figures:

Figure 1 – Phase One Property Location

Figure 2 – Phase One Property

Figure 3 – Phase One Study Area

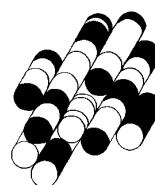
Figure 4 – PCA Locations

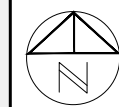
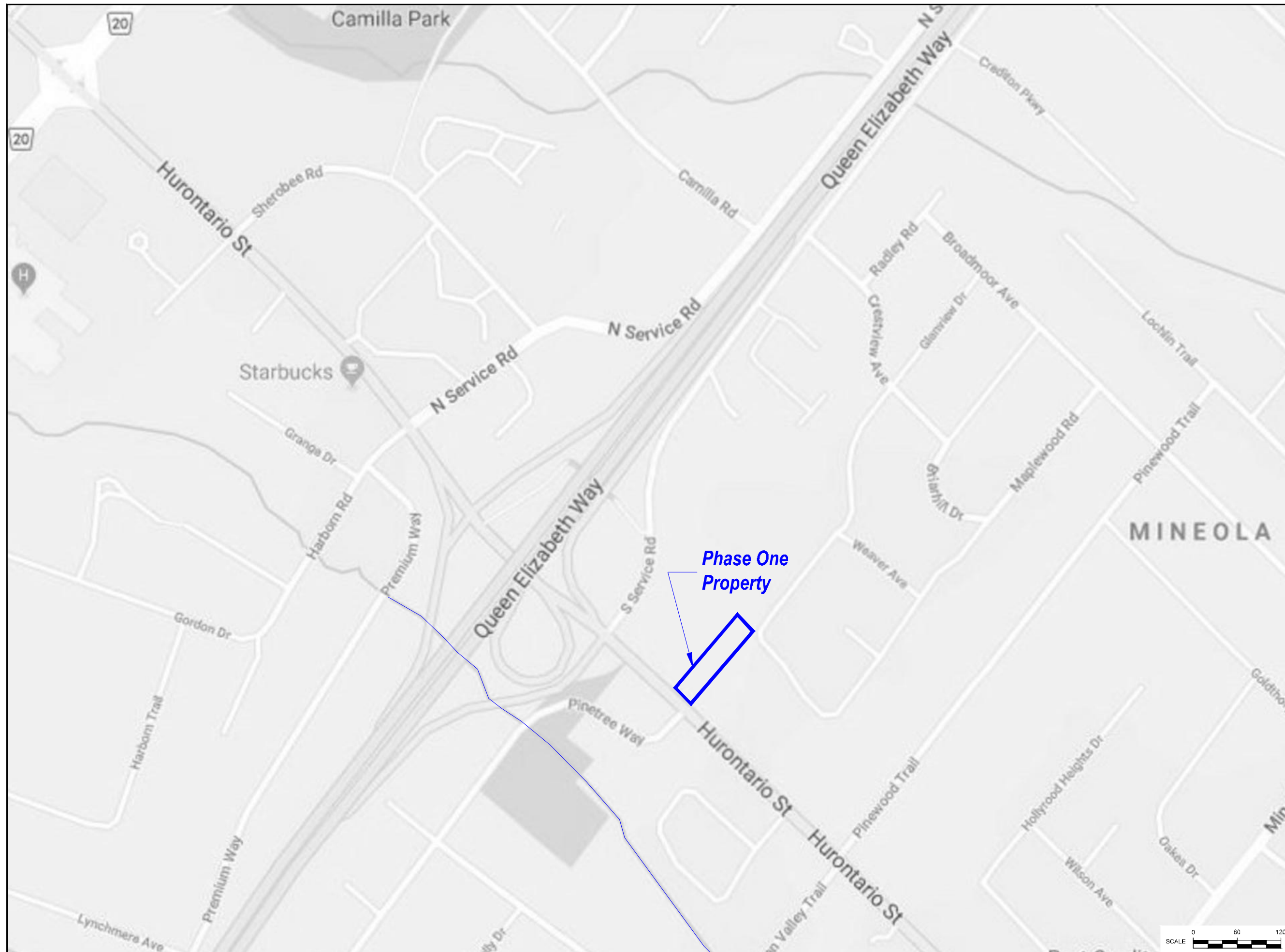
Figure 5 – APEC Locations



FIGURES

TERRAPROBE INC.





Reference:	Toronto Maps 2018
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Notes:

Legend:

Phase One Property Boundary

Project Title:

Phase One Environmental Site Assessment

Site Location:

1575 Hurontario Street, Toronto, Ontario

Figure Title:

PHASE ONE PROPERTY

Designed By:

JW

File No.:	
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1-18-0537-41

Drawn By:

JB

Scale:

As Shown

Reviewed By:

MS



Date:

October 2018

Figure No.:

1





<div><div><div><div>Terraprobe Inc.</div><div>Consulting Geotechnical & Environmental Engineering Construction Materials, Inspection & Testing</div><div>11 Indell Lane - Brampton Ontario L6T 3Y3 (905) 796-2650</div></div></div></div>	
<div><div></div></div>	<div>Reference:<div>Toronto Maps 2018</div></div>
<div>Notes:</div>	
<div>Legend:</div>	
<div><div></div></div>	<div>Phase One Property Boundary</div>
<div>Project Title:<div>Phase One Environmental Site Assessment</div></div>	
<div>Site Location:<div>1575 Hurontario Street, Toronto, Ontario</div></div>	
<div>Figure Title:<div>PHASE ONE PROPERTY</div></div>	
<div>Designed By:<div>JW</div></div>	<div>File No.:<div>1-18-0537-41</div></div>
<div>Drawn By:<div>JB</div></div>	<div>Scale:<div>As Shown</div></div>
<div>Reviewed By:<div>MS</div></div>	<div>Figure No.:<div>2</div></div>
<div>Date:<div>October 2018</div></div>	

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**Reference:**
Toronto Maps 2018

Notes:

Legend:

- Phase One Property Boundary
- Phase One Study Area
- Residential Land Use
- Community Land Use (Roads)
- Commercial Land Use
- Parkland Use
- Institutional Land Use

Project Title:
Phase One Environmental Site Assessment


Site Location:
1575 Hurontario Street, Toronto, Ontario

Figure Title:
PHASE ONE STUDY AREA


Designed By: JW	File No.: 1-18-0537-41
Drawn By: JB	Scale: As Shown
Reviewed By: MS	Figure No.: 3
Date: October 2018	

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Reference:
Toronto Maps 2018

Notes:

PCA - Potentially Contaminating Activity

RED - PCA causing APEC on Property

GREEN - PCA unlikely to affect Property

Legend:

Phase One Property Boundary

Phase One Study Area

#28

Gasoline and Associated Products Storage in Fixed Tanks

#30

Importation of Fill Material of Unknown Quality

Others 1

O. Reg. 347 Waste Generator

Others 2

Ontario Spills

Project Title:

Phase One Environmental Site Assessment

Site Location:

1575 Hurontario Street, Toronto, Ontario

Figure Title:

PCA LOCATIONS

Designed By:

JW

Drawn By:

JB

Reviewed By:

MS

Date:

October 2018

File No.:

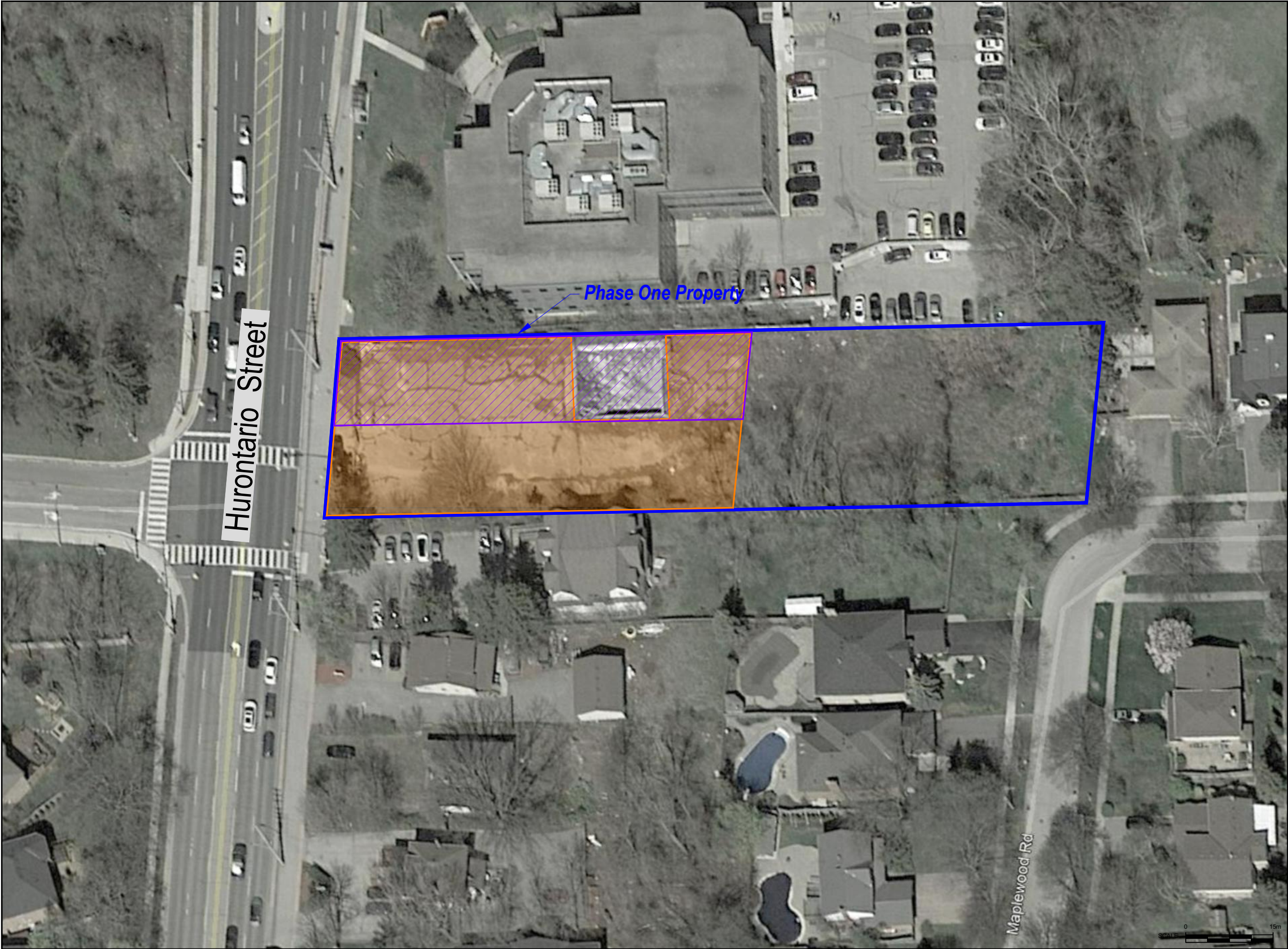
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Figure No.:

4





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Reference:
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Notes:
APEC - Areas of Potential Environmental Concern

Legend:

Phase One Property Boundary

APEC 1

APEC 2

Project Title:
Phase One Environmental Site Assessment

Site Location:
1575 Hurontario Street, Toronto, Ontario

Figure Title:
APEC LOCATIONS

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Drawn By: JB	Scale: As Shown
Reviewed By: MS	Figure No.: 5
Date: October 2018	

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