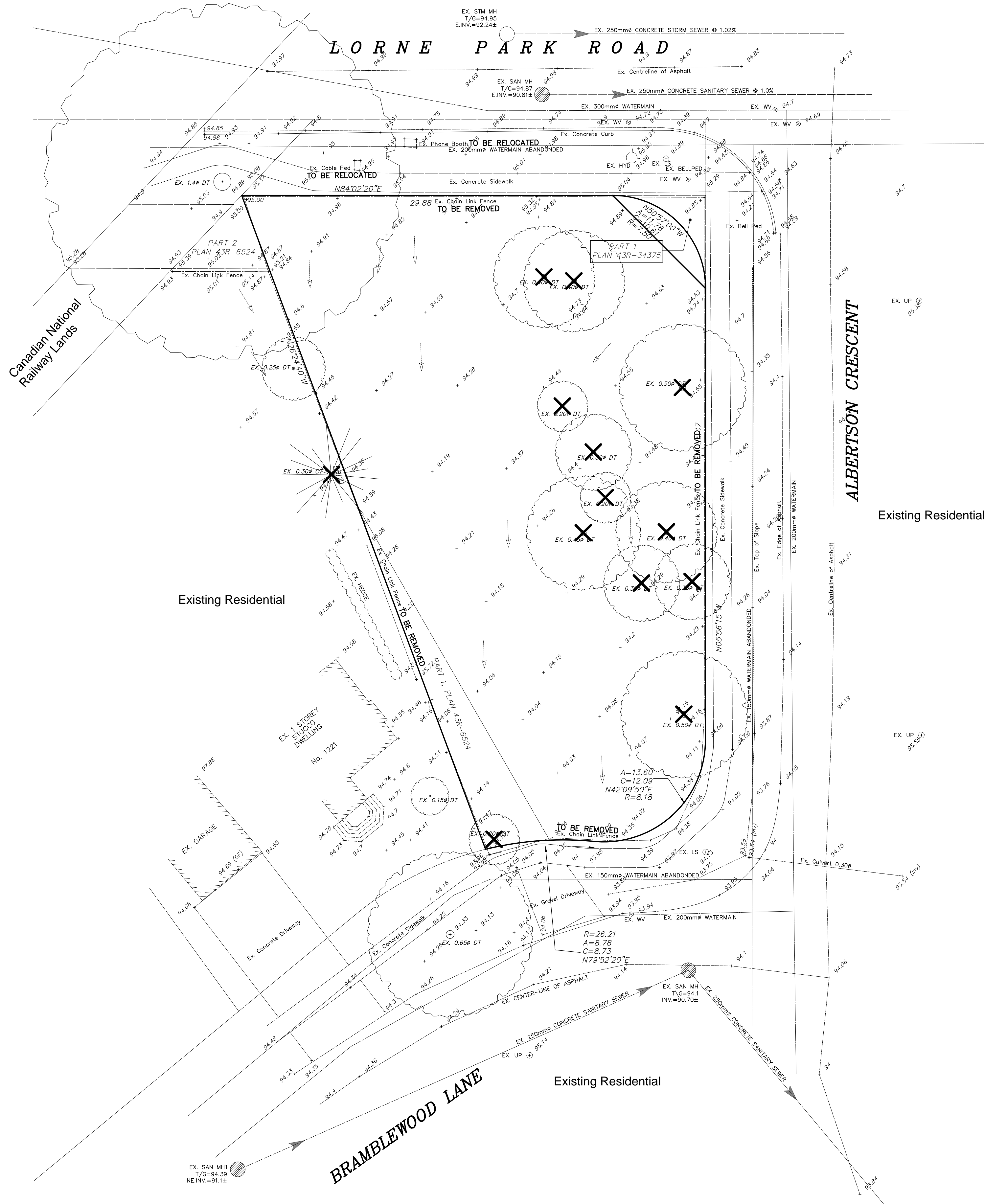
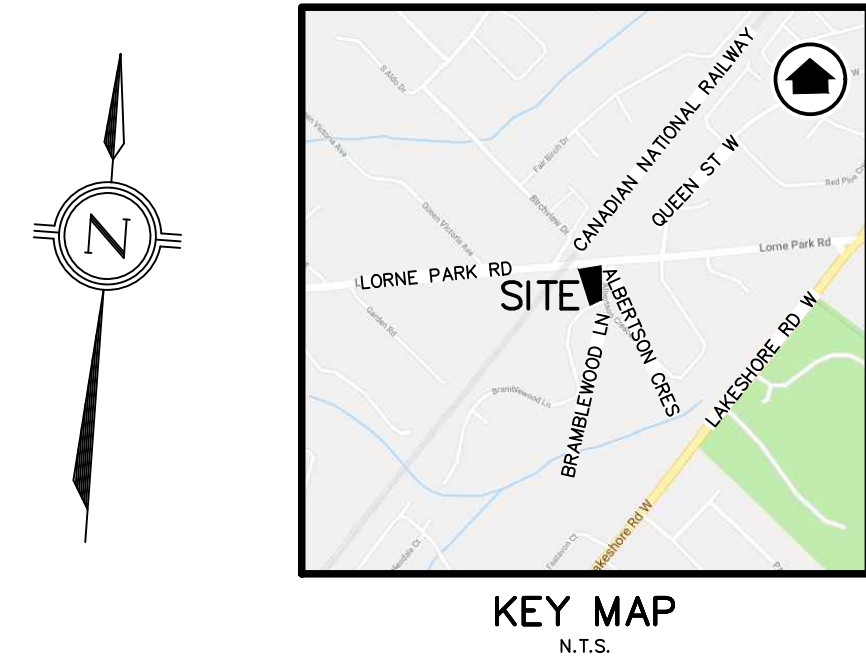


NOTES TO CONTRACTOR:

- INSPECTION**
CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- CONFIRMATION OF EXISTING INVERTS**
72 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SEWERS AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.



- LEGEND:**
- EXISTING GROUND ELEVATION
 - EXISTING CATCHBASIN
 - EXISTING STORM/SANITARY MANHOLE
 - EXISTING DIRECTION OF SHEET FLOW
 - FEATURE TO BE REMOVED



BENCH MARK NOTE:
CITY OF MISSISSAUGA BENCHMARK No. 132 (CGVD 1928 : PRE 1978)
LOCATED ON THE SOUTH FACE AT THE EAST CORNER OF A RED BRICK HOUSE, No. 1023, ON THE NORTH SIDE OF LORNE PARK ROAD, 68 METRES WEST OF LAKESHORE ROAD WEST.
ELEVATION 93.63m.

NO.	DATE	BY	REVISIONS
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02	11/22/19	SJD	REVISED PER CITY COMMENTS
01	09/14/18	SD	ISSUED FOR OWNERS REVIEW.

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DESIGN	AGM	CHK'D	AGM	DATE
DRAWN	SD	CHK'D	AGM	SEPT 6, 2018

SCALE 1:200

APPROVALS

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email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT
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UNIT 28, 1860 APPLEBY LINE,
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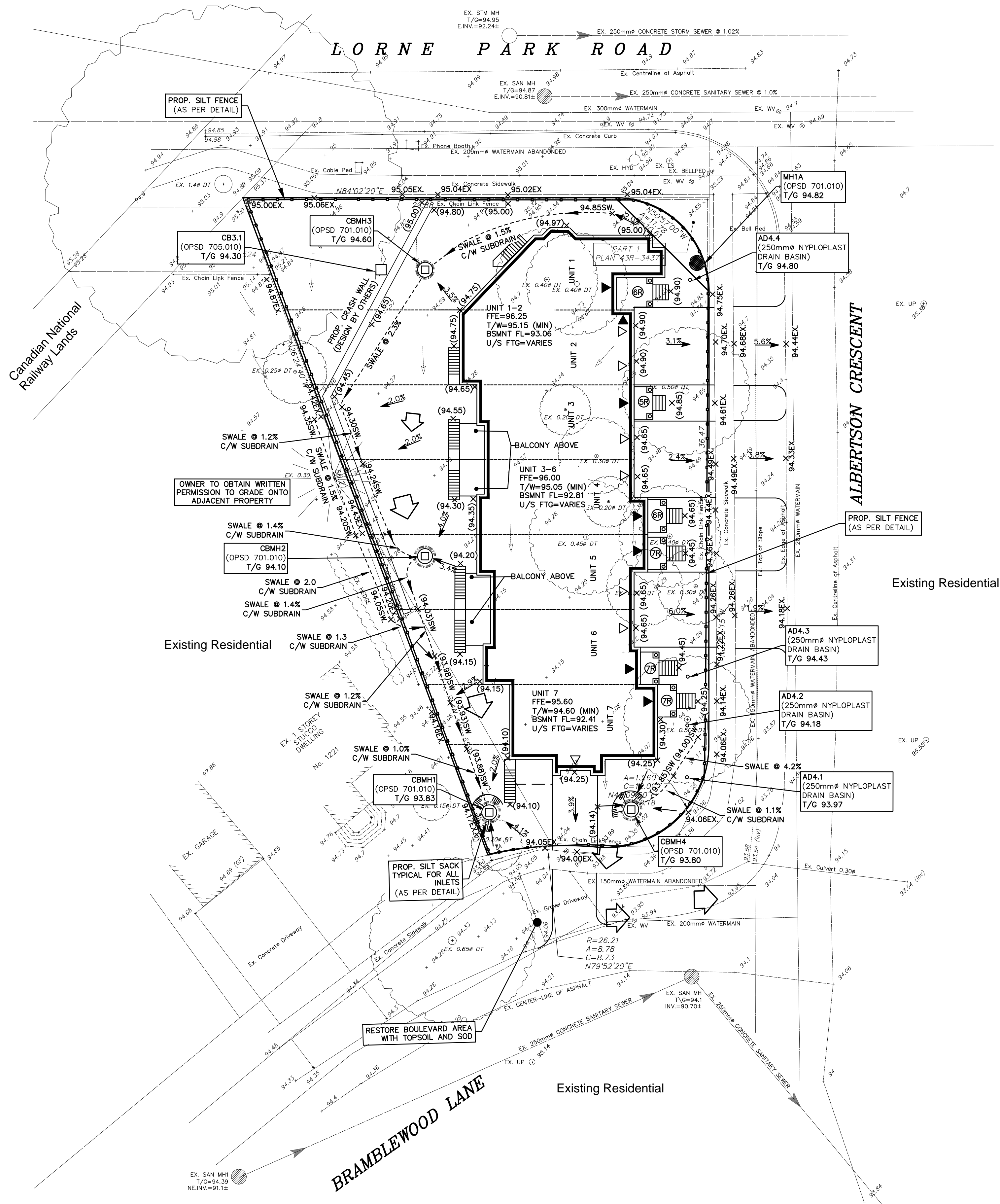
PROJECT NAME
PROPOSED TOWNHOUSES AT
1110 LORNE PARK ROAD,
MISSISSAUGA, ON
File: OZ 19/006 W2

TITLE
EXISTING CONDITIONS &
REMOVALS PLAN

PROJECT No.	DRAWING No.
18091	C100

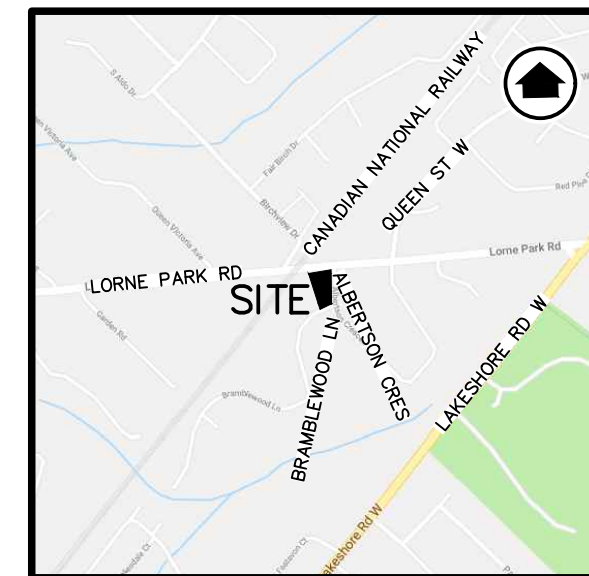
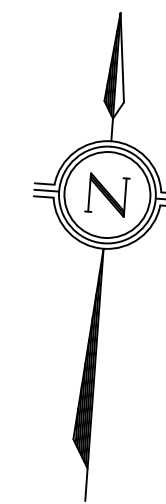
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LEGEND:

- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- PROPOSED ELEVATION TO MATCH EXISTING
- PROPOSED SWALE ELEVATION
- PROPOSED DIRECTION OF SHEET FLOW
- EXISTING CATCHBASIN
- EXISTING STORM/SANITARY MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED STORM/SANITARY MANHOLE
- PROPOSED CATCHBASIN MANHOLE
- EMERGENCY OVERLAND FLOW ROUTE
- EXISTING DIRECTION OF SHEET FLOW
- PROPOSED SILTATION CONTROL FENCE
- PROPOSED CATCHBASIN SILT SACK
- 3:1 MAX SLOPE



KEY MAP
N.T.S.

BENCH MARK NOTE:

CITY OF MISSISSAUGA BENCHMARK No. 132 (CGVD 1928 : PRE 1978)
LOCATED ON THE SOUTH FACE AT THE EAST CORNER OF A RED BRICK HOUSE, No. 1023, ON THE NORTH SIDE OF LORNE PARK ROAD, 68 METRES WEST OF LAKESHORE ROAD WEST.
ELEVATION 93.63m.

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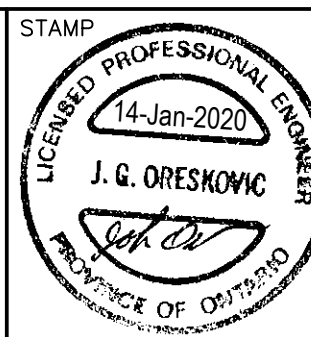
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SCALE	0	5	10	20
1:200				

APPROVALS



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CLIENT
JACAN CONSTRUCTION LTD.
UNIT 28, 1860 APPLEBY LINE,
BURLINGTON, ON

PROJECT NAME
PROPOSED TOWNHOUSES AT
1110 LORNE PARK ROAD,
MISSISSAUGA, ON
File: OZ 19/006 W2

TITLE
SITE GRADING & EROSION
CONTROL PLAN

PROJECT No.	DRAWING No.
18091	C101

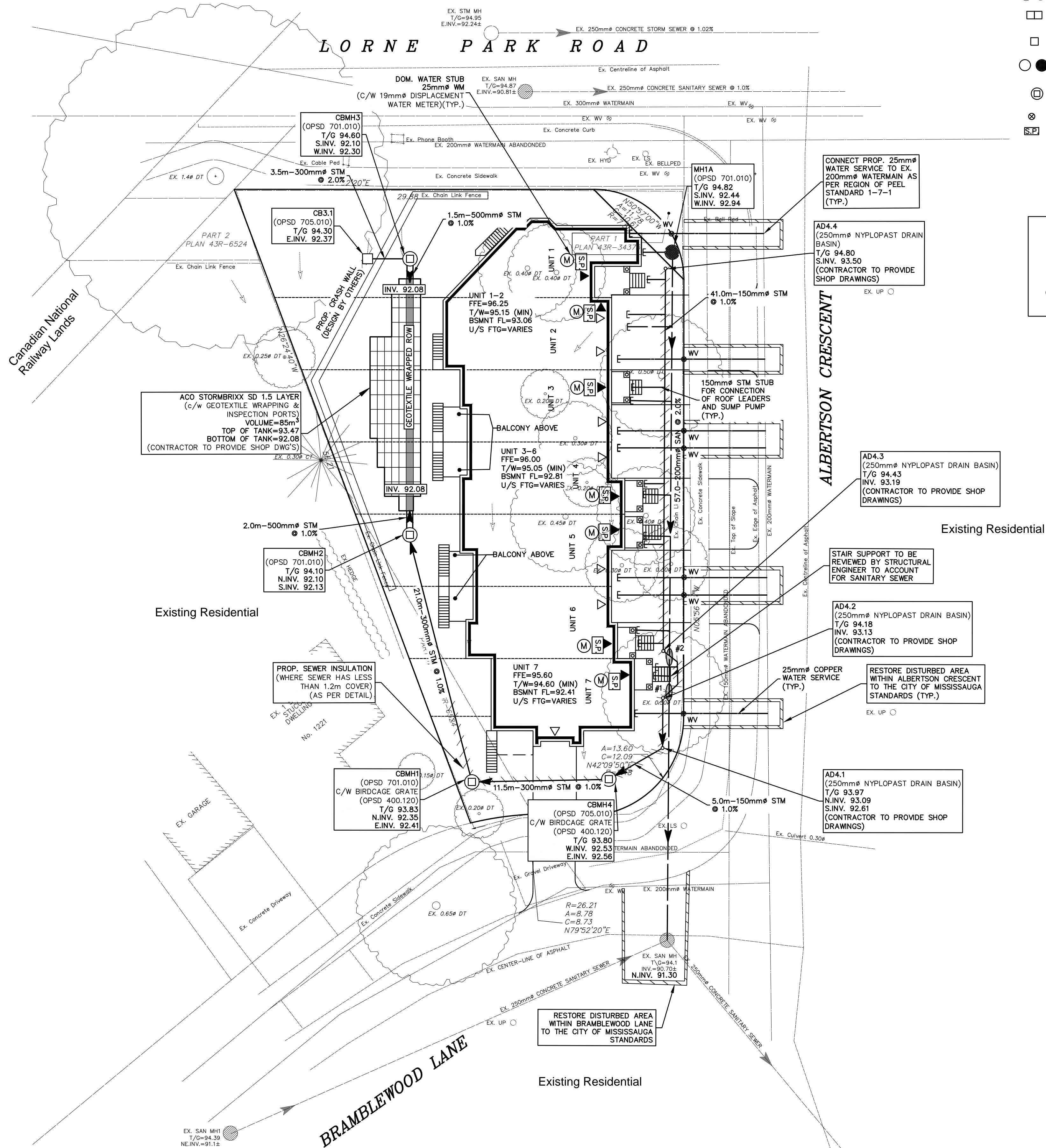
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LEGEND:

- EXISTING CATCHBASIN
- EXISTING STORM/SANITARY MANHOLE
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED CATCHBASIN
- PROPOSED STORM/SANITARY MANHOLE
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CURB STOP/GATE VALVE
- PROPOSED SUMP PUMP

SEWER & WATER CROSSING CHART:

CROSSING NO. 1 (STM & SAN)
STM. INV.=93.14
SAN. OBV.=91.91

CROSSING NO. 2 (STM & SAN)
STM. INV.=93.18
SAN. OBV.=91.97

BENCH MARK NOTE:

CITY OF MISSISSAUGA BENCHMARK No. 132 (CGVD 1928 : PRE 1978)

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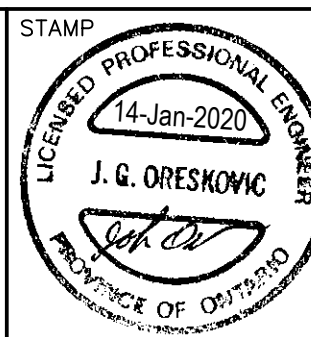
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DRAWN	SD	CHK'D	AGM	SEPT 6, 2018

SCALE 1:200

APPROVALS



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CLIENT

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UNIT 28, 1860 APPLEBY LINE,
BURLINGTON, ON

PROJECT NAME

PROPOSED TOWNHOUSES AT
1110 LORNE PARK ROAD,
MISSISSAUGA, ON
File: OZ 19/006 W2

TITLE

SITE SERVICING PLAN

PROJECT No. 18091

DRAWING No. C102

1. THIS/THESE PLAN(S) IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE REGISTERED PROFESSIONAL ENGINEER AND/OR ARCHITECT.
2. THIS/THESE PLAN(S) IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S. LLEWELLYN AND ASSOCIATES LIMITED.
3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE ABOVE PLANS IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ANY SURVEY, SURVEYOR'S OR THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
4. EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLANS PREPARED BY EUGENE KUNZ LTD, DALLAS, TEXAS.
5. SITE PLAN INFORMATION TAKEN FROM PLANS PREPARED BY EUGENE KUNZ ARCHITECT, DATED MARCH 2018.
6. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE STORM WATER MANAGEMENT (SWM) REPORT PREPARED BY S. LLEWELLYN AND ASSOCIATES LIMITED.
7. THIS (THESE) PLAN(S) TO BE USED FOR SERVICING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.
8. THESE PLANS AND DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY OF MISSISSAUGA AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY OF MISSISSAUGA STAFF DOES NOT CERTIFY THE ACCURACY OF THE INFORMATION OR REBUILDING OF THE CONTRACTOR'S CERTIFICATION OF WORKS BY THE OWNER'S ENGINEER.
9. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF MISSISSAUGA OR THE REGISTERED PROFESSIONAL ENGINEER.
10. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:

- ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT AGREEMENTS
12. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
- i. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO: EXISTING ELEVATIONS, EXISTING SERVICE LOCATIONS, EXISTING MANHOLE LOCATIONS, EXISTING CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 - ii. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - iii. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - iv. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 - v. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE CHARTERED BUILDING DIVISION OF SECTION 1-2.2 GENERAL REQUIREMENTS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE COST OF THE REVISIONS REQUIRED TO MAKE SURE THE CONSTRUCTION OF THE UNDERGROUND LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE CONTRACTOR HAS COMPLETED POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
14. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
15. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
16. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE TO COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE PROTECTION OF ALL EXISTING UTILITIES TO REMAIN TO THE PROPERTY LINE.
18. SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
19. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0M FROM THE PROPERTY LINE.
20. NO BLASTING WILL BE PERMITTED.

1. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED ACCORDING TO THE LATEST CITY OF MISSISSAUGA STANDARD DRAWINGS AND SPECIFICATIONS. ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS MAY BE USED WITH THE APPROVAL OF THE CITY OF MISSISSAUGA, BE USED WHERE NO CITY STANDARD OR SPECIFICATION IS AVAILABLE.
2. THE CONTRACTOR SHALL BE COMPLETED ACCORDING TO THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
3. ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE ACCORDING TO THE CURRENT ONTARIO TRAFFIC MANUAL BOOK 7, CONDITIONS FIELD EDITION.

1. ALL MATERIAL FOR SEWER, FORCEMAIN, WATERMAIN, HYDRANTS AND APPURTENANCES, SHALL BE ACCORDING TO CITY OF MISSISSAUGA MATERIAL/MANUFACTURER SPECIFICATIONS.
2. ALL EXISTING UTILITY RECORDS SHALL BE OBTAINED AND CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY OF MISSISSAUGA STANDARD 22220.030.
3. ALL EXISTING UTILITIES SHOWN ON DRAWINGS (PLAN AND PROFILE) ARE FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL SATISFY THEMSELVES AS TO THE ACTUAL LOCATION AND DEPTH OF ANY UTILITY AND SHALL BE LIABLE FOR ALL OR ANY DAMAGE.
4. ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND CONSTRUCTION DRAWINGS MUST BE REPORTED TO THE CITY OF MISSISSAUGA IMMEDIATELY AND APPROPRIATE ACTION TAKEN TO THE SATISFACTION OF THE CONTRACT ADMINISTRATOR.
5. ALL SURVEY STAKE LAYOUT POINTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE LAYOUT SHALL BE IMMEDIATELY REPORTED TO THE CITY.
6. AT ALL LOCATIONS WHERE THE PROPOSED WATERMAIN CROSSES UNDER OR ABOVE THE EXISTING SEWERS, OR UTILITIES, GRANULAR A BEDDING MATERIAL IS TO EXTEND FROM THE UTILITY TO THE UTILITY TO PROTECT THE PIPE. GRANULAR IS TO BE COMPACTED TO MINIMUM 98% OF MAXIMUM DRY DENSITY.
7. CONTRACTOR TO PROVIDE ADEQUATE SUPPORT DURING CONSTRUCTION BETWEEN THE NEW WATERMAIN AND EXISTING UTILITIES. MINIMUM 300mm MINIMUM CLEARANCES BETWEEN THE NEW WATERMAIN AND EXISTING GAS MAINS LESS THAN 300mm IN DIAMETER. MAINTAIN 600mm MINIMUM VERTICAL CLEARANCE BETWEEN THE NEW WATERMAIN AND EXISTING GAS MAINS LESS THAN 300mm IN DIAMETER.
8. ALL DIMENSIONS ARE EXPRESSED IN METRES (m) AND PIPE SIZES ARE EXPRESSED IN MILLIMETRES (mm) UNLESS OTHERWISE NOTED.

1. PVC WATERMAINS SHALL BE A MINIMUM DR 18 CLASS 235 (AWWA) C900.-7.
2. EMBEDDED MATERIAL FOR FLEXIBLE PIPE SHALL BE ACCORDING TO SP90 010 AND USING GRAVEL AS A COMPACTED TO MINIMUM 98% OF MAXIMUM DRY DENSITY.
3. MINIMUM COVER ON WATERMAINS SHALL BE 1.8m.
4. ALL CURB AND VALVE BOXES TO BE LOCATED AT STREET LINE.
5. WATERMAINS MUST FOLLOW THE ONTARIO MINISTRY OF THE ENVIRONMENT PROCEDURE FOR CROSSING OF HIGHWAYS, RAILROADS AND WATERWAYS. A MINIMUM VERTICAL CLEARANCE OF 0.30m WHEN CROSSING OVER AND 0.5 M WHEN CROSSING UNDER SEWERS AND ALL OTHER UTILITIES IS REQUIRED. MUST ALSO MAINTAIN 2.5m HORIZONTAL SEPARATION WITH SEWERS.
6. PEEL STANDARDS TO BE INSTALLED AS PER REGION OF PEEL STANDARD 1-7-1.
7. TRACER WIRE TO BE INSTALLED AS PER REGION OF PEEL STANDARDS (SECTION W.4.7).
8. HYDROSTATIC PRESSURE TEST AND LEAKAGE TESTING OF THE WATERMAIN SHALL BE ACCORDING TO REGION OF PEEL STANDARDS (W.5.1).
9. SLOPE OF WATERMAIN IS TO BE IN ACCORDANCE WITH THE REGION OF PEEL STANDARDS (SECTION W.5.2).
10. FLUSHING AND DISINFECTING OF WATERMAINS ARE TO BE IN ACCORDANCE WITH THE REGION OF PEEL STANDARDS (SECTION W.5.3).

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE ADJACENT WATER. ANY DISTURBED AREAS OR EROSION CONTROL MEASURES SHOULD BE REPAIRED OR REPLACED WITHIN 48 HOURS OF INSPECTION OR BOTH.
2. ALL DISTURBED AREAS WILL BE MINIMIZED TO EXTENT POSSIBLE AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED THROUGHOUT THE PROJECT. PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LAIDEN RUNOFF FROM LEAVING THE WORK AREA. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A POLLUTANT INTO THE ADJACENT WATER, THEN AN ALTERNATE MEASURE MUST BE IDENTIFIED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS AND A CREDIT VALLEY CONSERVATION AUTHORITY ENFORCEMENT OFFICER SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON SITE AND USED AS NECESSARY.
4. ALL WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, OIL, GREASE, AND FUEL, MUST BE PREVENTED FROM ENTERING PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE OF EQUIPMENT WILL BE CONDUCTED A MINIMUM OF 30m FROM THE WATER.
5. ALL WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, OIL, GREASE, AND FUEL, MUST BE PREVENTED FROM ENTERING PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE OF EQUIPMENT WILL BE CONDUCTED A MINIMUM OF 30m FROM THE WATER.
6. FILTER FABRIC TO BE PLACED UNDER GRATES ON ALL CATCHBASINS TO TRAP SEDIMENT. SLT TRAPS ARE TO BE CLEANED REGULARLY AND ARE NOT TO BE REMOVED UNTIL SUCH

1. CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY AND REGION STANDARDS & SPECIFICATIONS (LATEST EDITION) AND SPECIFICATIONS OF EMBROIDCART (MAY 2004) GUIDELINE (LATEST EDITION).
2. SANITARY SERVICE CONNECTIONS SHALL BE SINGLE, 150mm MINIMUM, PVC DR 28 INSTALLED AT 2 PERCENT AND THE COLOUR SHALL BE GREEN, FOR SINGLE RESIDENTIAL DWELLINGS.
3. EMBEDMENT MATERIAL FOR FLEXIBLE PIPE SHALL BE ACCORDING TO OPSD 802.010 AND UNIFORMLY COMPACTED TO MINIMUM 98% OF MAXIMUM DRY DENSITY.
4. BEDDING FOR RIGID PIPE SHALL BE CLASS B BEDDING MATERIAL ACCORDING TO OPSD 802.031 AND USING GRANULAR A BEDDING MATERIAL AND COMPACTED TO MINIMUM 98% OF MAXIMUM DRY DENSITY.
5. ALL SEWERS TO BE VIDEO INSPECTED AS PER OPSD 409.
6. ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
7. MANHOLES FRAMES AND COVERS SHALL BE AS PER OPSD 401.010 (STORM-OPEN, SANITARY-CLOSED).
8. CATCHBASIN FRAMES AND GRATES SHALL BE AS PER OPSD 400.100 IN PAVED AREAS AND UNPAVED AREAS.
9. SANITARY SEWERS 200mm to 375mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SD-35.
10. STORM SEWERS 250mm to 450mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SD-35.
11. STORM SEWERS GREATER THAN 450mm IN DIAMETER SHALL BE CONCRETE PIPE, CSA A257.2 (AS SPECIFIED).
12. ALL PVC STORM SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION AS PER OPSD 410. SANITARY SEWERS SHALL BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION AS PER OPSD 410. LEAKAGE TESTING SHALL BE REPEATED, PRIOR TO ASSUMPTION BY THE CITY, PIPE DEFLECTION TESTING SHALL BE REPEATED.

1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLODED SLOPES (MIN. 3% TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, DRIVEWAYS, CURBS, AND SHADES SHALL BE SET ON A MIN. OF 0.45m OF TOP SOIL PROFILE LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
3. TO PROTECT A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
4. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
6. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 8.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
7. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN DEVELOPER SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
8. IF WRITTEN PERMISSION REQUIRED FROM AN ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
9. DRIVEWAYS, DRIVEWAY ENTRANCES, AND DRIVEWAY EXITS SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
10. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S ENGINEER.
11. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PELL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND / OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE OF 15% MINIMUM WALL THICKNESS TO A.W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRACER WIRE. SIZE 50 MM (2") AND SMALLER MUST BE TYPE "K" SOFT COPPER PIPE PER A.S.T.M. B88-49 SPECIFICATION.
3. WATERMAINS AND / OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 M (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 M (4") FROM THEMSELVES AND ALL OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 MM (2") OUTLET ON 100 MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE BORED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN OR FIRE LINES, FLUSHING OUTLET TO BE 100 MM (4") DIAMETER MINIMUM ON A HYDRANT.
5. ALL CURB STOPS TO BE 3.0 M (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1 - 6 - 1 DIMENSION A AND B, 0.7 M (2') AND 0.9M (3') AND TO HAVE PLUMBER NOZZLE.
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN, COPY OF GRADE SHEET MUST BE INSPECTED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, HERE REQUESTED BY SUPPLIER.
8. WATERMAINS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3 M (12") OVER / 0.5 M (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO PREVENT UNDESIRABLE PRE-EXISTING AND CHLORINATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON PLANS AND NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION MUST BE FOR THE DURATION OF THE CONNECTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE REQUIREMENTS OF THE REGIONAL PREVENTION OF ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PELL STANDARDS 1-7-7 OR 1-7-8.



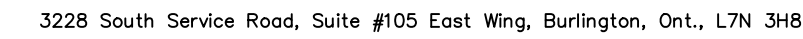
NOTES TO CONTRACTOR:

1. CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
2. ANY INCONSISTENCIES AND DISCREPANCIES FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND STRUCTURES. THE POSITIONS OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES NOT SHOWN ON THIS DRAWING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE POSITIONS OF SUCH UTILITIES AND STRUCTURES NOT SHOWN ON DRAWING, THE CONTRACTOR SHALL INFORM HIS OWNERS AND ASSUME ALL LIABILITY FOR DAMAGE TO THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES.
4. ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REUSED, OR

DESIGN	AGM	CHK'D	AGM	SEPT 6, 2018
DRAWN	SD	CHK'D	AGM	



A circular professional engineer stamp. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. In the center, the name "J. G. ORESKOVIC" is printed. Above the name is the date "14-Jan-2020" inside an oval. Below the name is a handwritten signature "J. G. Oreskovic" inside an oval. The word "STAMP" is printed in the top left corner of the page.



JACAN CONSTRUCTION LTD.
UNIT 28, 1860 APPLEBY LINE,
BURLINGTON, ON

PROPOSED TOWNHOUSES AT
1110 LORNE PARK ROAD,
MISSISSAUGA, ON

File: OZ 19/006 W2

TITLE
NOTES & DETAILS PLAN

PROJECT No. 18091	DRAWING No. C103
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