

Existing Plant Schedule

No:	Tree Species	DBH (cm)	CR	TC	TPZ Radius (m)	Location	Comments
#1	Austrian Pine	24	55	Town	1.8	NW off-site	To Remain
#2	Austrian Pine	26	60	Neighbour	1.8	NW off	To Remain
#3	Austrian Pine	35	60	Town	2.4	NW off	To Remain
#4	English Hawthorn	1627	65	Private	1.8	W side	To be Removed
#5	Manitoba Maple	1216	65	Private	1.8	W side	To be Removed
#6	English Hawthorn	1626	65	Private	1.8	SW side	To be Removed
#7	Manitoba Maple	1214	65	Private	1.8	SW side	To be Removed
#8	English Hawthorn	1518	65	Private	1.8	SW side	To be Removed
#9	English Hawthorn	2031	65	Private	2.4	SW side	To be <u>Preserved</u>
#10	English Hawthorn	2031	65	Private	2.4	SW side	To be <u>Preserved</u>
#11-18	Removed trees	c 1015	0	Private	0	S side	Trees defficient at time of inspection
#19	Trembling Aspen	814	70	Private	1.8	SE side	To be Removed
#20	Trembling Aspen	812	65	Private	1.8	SE side	To Remain
#21	Removed tree	c 80	0	Private	0	NE side	Trees defficient at time of inspection
#22	Silver Maple	84	60	Neighbour	5.4	SE off site	To Remain
#23	Silver Maple	51	60	Neighbour	3.6	SE off site	To Remain
#24	Silver Maple	32-84	55	Neighbour	5.4	SE off site	To Remain





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n Architecture Inc PRINCIPAL: NITIN MALHOTRA, ARCHITEC

170 The Donway W Suite 206.

Client/Owner:

Key Map

Municipality: MISSISSAUGA

Tree Preservation note

Specifications for the Protection and Preservation of Existing Vegetation Note: To be included on all Landscape Approval drawings for applications with existing vegetation to be preserved:

a) All existing trees which are to remain shall be fully protected with hoarding erected beyond the drip line to the satisfaction of the Planning and Building Department prior to the issuance of the building permit. Groups of trees and other existing vegetation to be protected with hoarding around the entire area. Areas within the protective fencing shall remain undisturbed and shall not be used for the storage of building materials or b) No rigging cables shall be wrapped around or installed in the trees and surplus soil, equipment, debris or materials shall

not be placed over the root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist. c) The developer or agents shall take every precaution necessary to prevent damage to the vegetation to be retained. d) Where limbs or portions of trees are removed to accommodate construction they will be removed in accordance with accepted arboricultural practice.

adjacent to construction are exposed or damaged they shall be neatly trimmed and the area backfilled with appropriate material to prevent desiccation. f) Where necessary, vegetation will be given an overall pruning to restore the balance between roots and top growth, or to restore its appearance. g) Trees that have died or have been damaged beyond repair shall be removed and replaced at the owners expense with trees of a size and species approved by the Planning and Building Department. h) If grades around trees to be protected are to change, the owner shall be required to take precautions such as dry welling, retaining walls, and root feeding to the satisfaction of the Planning and Building

e) Where root systems of protected trees

n x 1.2m x 2.4m (1/2"x4'x8')— SOLID HOARDING DETAIL _ 2.0m (6' 6") maximum FRAMED HOARDING DETAIL 1. Hoarding details to be determined following initial site inspection.
2. Private tree hoarding to be approved by Development & Design;
City tree hoarding to be approved by Community Services Dept.
3. Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction. Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding 4. Do not allow water to collect and pond behind or within hoarding. 5. T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
6. Plywood must be utilized for 'solid' hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding. TREE PRESERVATION HOARDING Mississauga SCALE : N.T.S DATE : June 2017

DEVELOPMENT & DESIGN CONSTRUCTION HOARDING

SCALE: N.T.S. DATE:

Proposed Gas Station & Car Wash 1480 Derry Road East Missisauga, Ontario Drawn By: Drawing Title:

Tree Preservation Plan

1:150 Date: October 2019

J.B. Checked By: L.M.

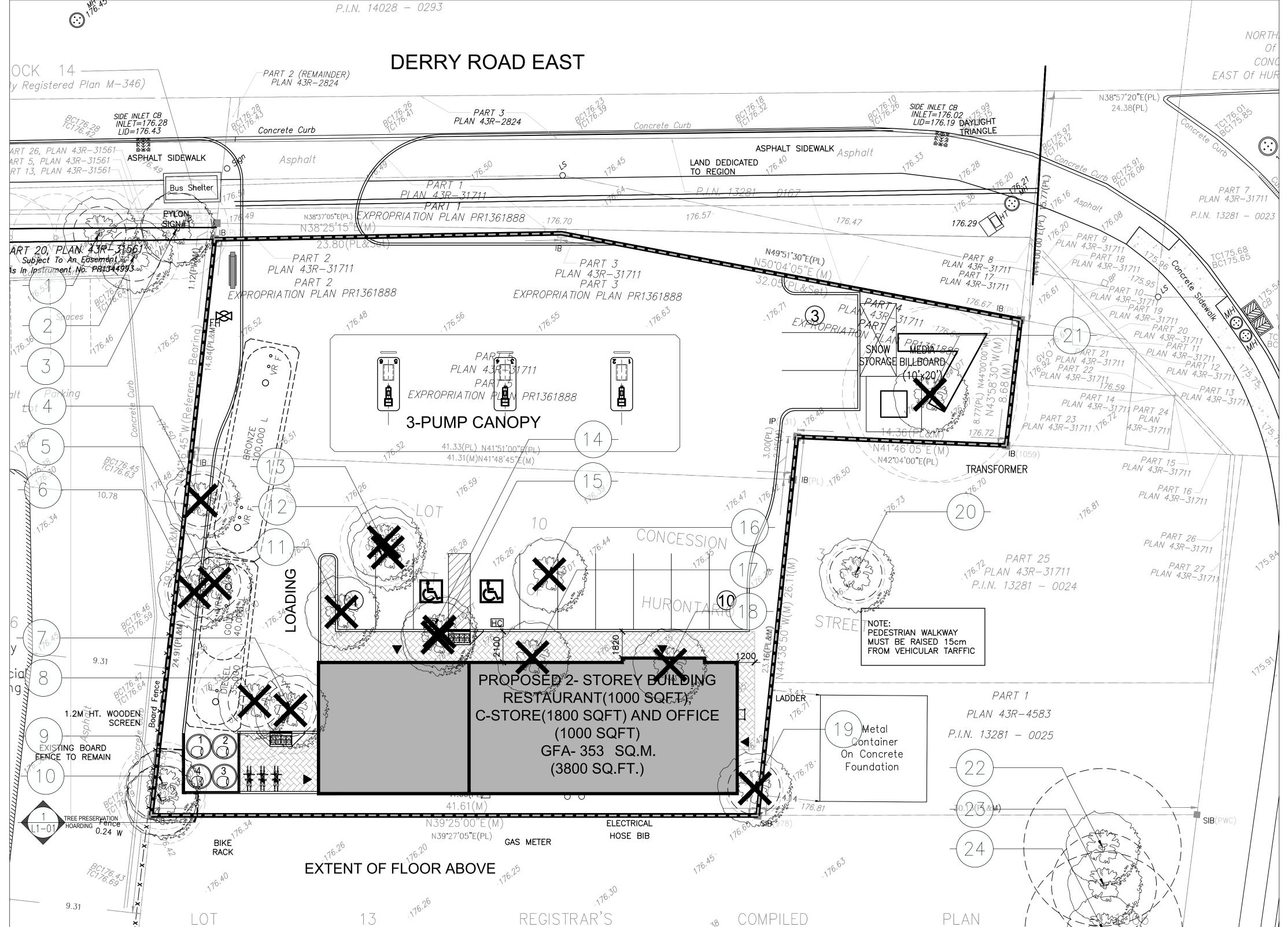
02 Revised Per Site Plan

Date

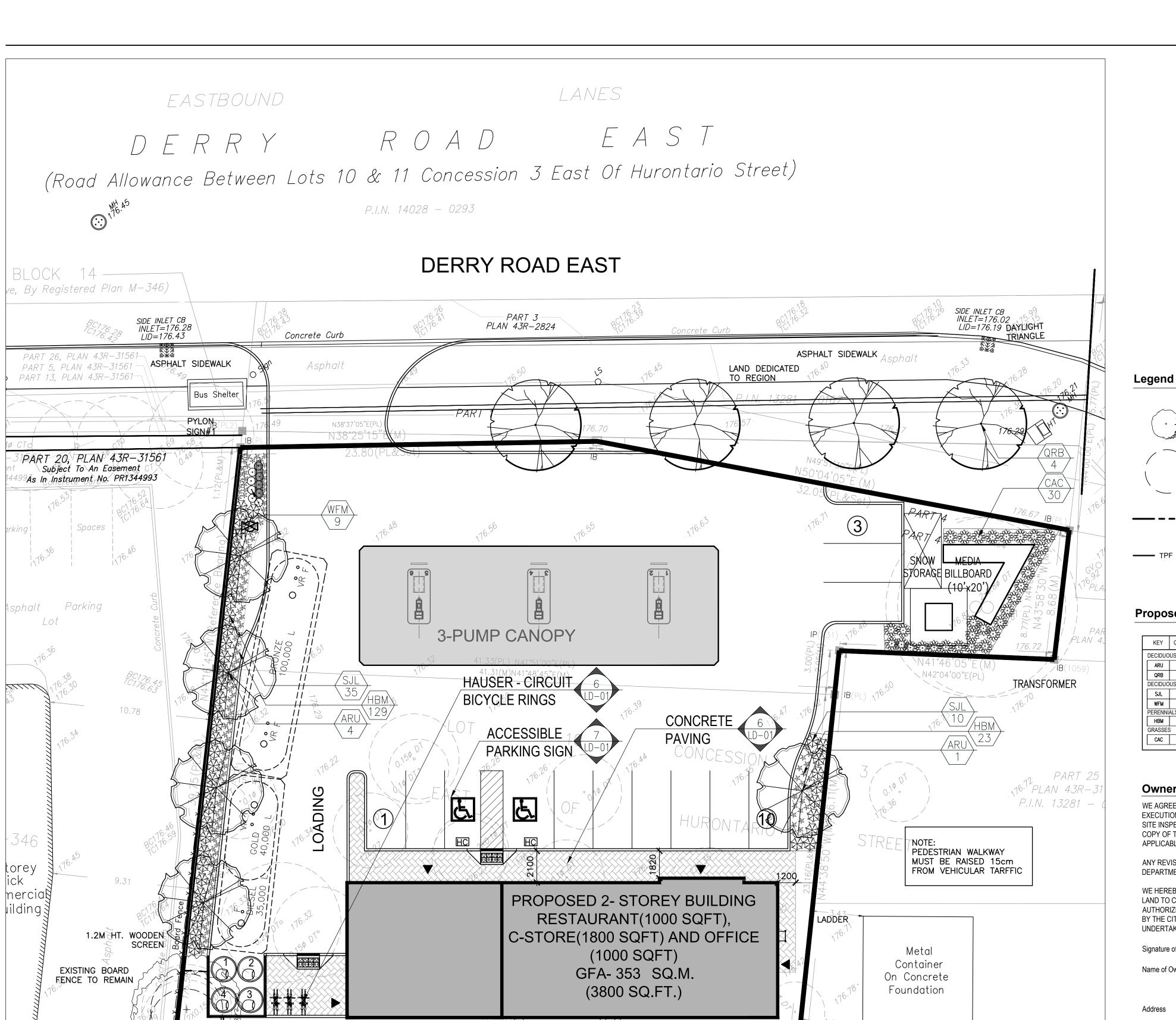
01 Issued for Review

No. Revision

Project No. L1-01



P.I.N. 13281 - 0026



41.61(M)

N39°25 00 E(M)

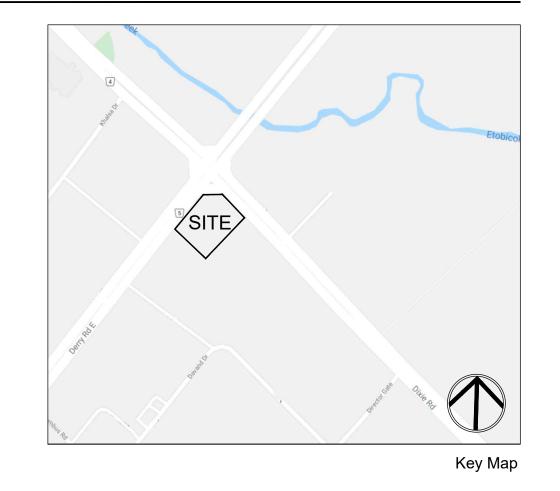
EXTENT OF FLOOR ABOVE

N39°27'05"E(PL) GAS METER

ELECTRICAL

HOSE BIB

P.I.N. 13281 - 0026



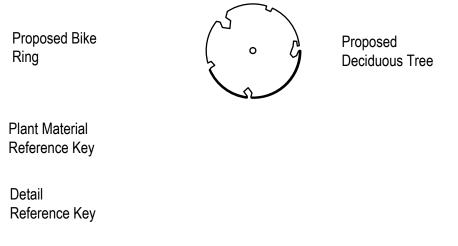
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n Architecture Inc



Proposed Plant Material List

To Be Preserved

Tree Protection

Zone (TPZ)

Property Line

Tree Protection

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUO	US TREE	S	•						
ARU	4	Acer rubrum	Native Red Maple	70 mm		B.&B.	High	Yes	Full Form
QRB	4	Quercus rubra	Red Oak	70 mm		B.&B.	High	Yes	Full Form
DECIDUO	US SHRU	JBS	•	•					
SJL	35	Spirea japonica 'Little Princess'	Dwarf Red Spirea	60 cm		C.G.	High	No	Full Form
WFM	13	Weigela florida 'Minuet'	Dwarf Purpleleaf Weigela	60 cm		C.G.	High	Yes	Full Form
PERENNI	ALS								
НВМ	142	Hemerocallis 'Barbara Mitchell'	Dwarf (peachy-pink) Daylilies			C.G. #1	High	Yes	Full Form
GRASSES	3		•	•					
CAC	52	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			5 Gal.	High	Yes	Full Form (PPOY Winner)

Owner's Note

WE AGREE TO IMPLEMENT THE APPROVED SITE AND LANDSCAPE PLANS WITHIN 18 MONTHS AFTER THE EXECUTION OF THE SITE PLAN UNDERTAKING AND WILL RETAIN THE LANDSCAPE ARCHITECT TO MAKE PERIODIC SITE INSPECTIONS. UPON COMPLETION OF THE WORKS WE WILL FORWARD TO THE CITY OF MISSISSAUGA A COPY OF THE COMPLETION NOTIFICATION CERTIFICATE FROM THE LANDSCAPE ARCHITECT AND THE APPLICABLE INSPECTION FEE.

ANY REVISIONS TO THE SITE AND LANDSCAPE PLANS WILL BE SUBMITTED TO THE PLANNING AND BUILDING DEPARTMENT. CITY OF MISSISSAUGA FOR REVIEW AND APPROVAL. PRIOR TO COMMENCEMENT OF THE WORKS.

WE HEREBY AUTHORIZE THE CITY, ITS AUTHORIZED AGENTS, SERVANTS, OR EMPLOYEES TO ENTER UPON OUR LAND TO CARRY OUT INSPECTIONS FROM TIME TO TIME AND AGREE TO INDEMNIFY THE CITY AND ITS AUTHORIZED AGENTS AND SAVE THEM HARMLESS FROM ANY AND ALL ACTIONS ARISING OUT OF THE EXERCISE BY THE CITY, ITS AUTHORISED AGENTS, SERVANTS OR EMPLOYEES OF THE RIGHTS HEREBY GIVEN TO THEM. WE UNDERTAKE TO NOTIFY THE CITY FORTHWITH OF ANY CHANGE OF OWNERSHIP OF THE SAID LANDS.

Signature of Owner	
Name of Owner	
Address	

Existing Tree Preservation

Sign By-Law

30.13(PL&M)

PLAN

SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED AND A SEPERATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

Grading Note

I HEREBY CERTIFY THAT THIS LANDSCAPE PLAN CONFORMS TO THE SITE GRADING AND DRAINAGE PLAN (BY OTHERS) FOR THIS APPLICATION

Signature of Landscape Architect:

Municipality:

MISSISSAUGA

Notes:

Revised	Per Site Plan	11/12/19		
Issued f	or Review	10/31/19		
Revision	1	Date		
:	Stamp:			
	10	N OF LANGE		
		COLLA ST		

Drawn By: J.B. Checked By: L.M.

Drawing Title:

Landscape Plan

Proposed Gas Station

& Car Wash

1480 Derry Road East

Missisauga, Ontario

Sheet No. **L2-01**

1:150 Date: October 2019

LANDSCAPE SPECIFICATIONS CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FOR STAKE OUTS PRIOR TO ANY EXCAVATION OR PLANTING.

ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TOES OF SLOPES. COMPACT ALL AREAS TO 95% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS DETAILED.

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 33 1/3% (3:1).

SPREADING OF TOPSOIL

SCARIFY THE SUBSOIL PRIOR TO THE SPREADING THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE.
ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF
ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE. TOPSOIL IS TO BE COMPACTED TO CREATE A FIRM AND EVEN SURFACE.

USE NO. 1 GRADE TURFGRASS NURSERY SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS
ASSOCIATION OF ONTARIO. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 100MM (4") OF COMPACTED TOPSOIL, AND SHALL BE
SODDED WITH #1 KENTUCKY BLUEGRASS - FESCUE. NO SOD SLOPES ARE TO EXCEED 3:1. SLOPE IN EXCESS OF 4:1 TO BE PEGGED.

MINERAL FERTILIZER

APPLY THE FOLLOWING MINERAL FERTILIZER UNLESS SOILS TESTS SHOW OTHER REQUIREMENTS:

1. SODDED AREAS - 11% NITROGEN, 8% PHOSPHORUS AND 4% POTASH (11-8-4) AT THE RATE OF 4.5 KG OVER M2 (10 LBS OVER 1000 SQ. FT.).

2. PLANTING BEDS - 7% NITROGEN, 7% PHOSPHORUS AND 7% POTASH (7-7-7) AT THE RATE OF 40 GRAMS (4 OZ.) FOR EVERY BUSHEL OF

PREPARATION OF PLANTING BEDS

ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS, MIN 450mm(18"). BACKFILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF SIX (6) PARTS OF SAND LOAM, ONE (1) PART OF FINELY PULVERIZED PEAT MOSS, TWO (2) PARTS OF WELL-ROTTED MANURE AND THE MINERAL FERTILIZER AS SPECIFIED ABOVE. ALSO ADD .58 KILOS BONEMEAL/CUBIC METER OF PLANTING SOIL (1 LB./CUBIC YARD). PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE.

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND

OF PLANTING OPERATIONS. ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED.

ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, S/B OR B/B, UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING OR LATE FALL PLANTING SEASON. CONTRACTOR SHALL MAKE REQUESTS FOR ROOT CONDITION SUBSTITUTION IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT

LANDSCAPE SPECIFICATIONS

SCALE: N.T.S. DATE:

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE PLANTED AS DETAILED & AS SHOWN ON THE PLANTING PLAN. ALL BEDS TO RECEIVE A COVER OF CLEAN MULCH TO A DEPTH OF 75mm(3"). FOR GUYING AND STAKING TREES, REFER TO PLANTING DETAILS. WRAP ALL DECIDUOUS TREES UNDER EXPERIENCED SUPERVISION ONLY TO THE SPECIFICATIONS OF THE ONTARIO LANDSCAPE

PLANT MATERIAL SIZES AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING.

THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCIAN SANY WORK. CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF

* MULCH - SHREDDED PINE MULCH BY "GRO BARK" OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO APPROVE MULCH BEFORE

GENERAL MAINTENANCE

PROPER MAINTENANCE PROCEDURES ARE TO BE FULLY ADMINISTERED FOR ALL NEWLY CONSTRUCTED LANDSCAPE WORK, IN
ACCORDANCE WITH LANDSCAPE ONTARIO SPECIFICATIONS (SECTION 1E - MAINTENANCE WORK). THIS SHALL APPLY ONLY DURING THE
CONSTRUCTION PERIOD, UNLESS OTHERWISE SPECIFIED. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SOD AND PLANTING
UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT.

RODENT PROTECTION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FOR WINTER PROTECTION AND FROM RODENT INJURY FOR THE DURATION OF GUARANTY PERIOD. PROTECTIVE GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS TO BE 150MM DIA. PVC PIPE OR AS MUNICIPAL GUIDELINES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF THE MULCH AND SHOULD BE PLACED A MINIMUM OF 50MM (2") OUT FROM THE TREE TRUNK ON ALL SIDES.

ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SKOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

GENERAL REQUIREMENTS

USE ABOVE SPECIFICATIONS IN CONJUNCTION WITH THE GENERAL LANDSCAPE SPECIFICATIONS OF THE ONTARIO LANDSCAPE CONTRACTORS ASSOCIATION, THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO AND WITH THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADES ASSOCIATION. USE ONLY PLANT MATERIAL TRUE TO NAME, SIZE AND GRADE AS SPECIFIED ON PLANTING PLAN; PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN OR BUNDLE.

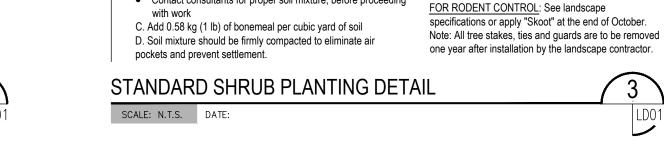
OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED. CHECK LOCATIONS AND OBTAIN STAKEOUTS OF ALL UTILITY LINES BEFORE EXCAVATION. OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCEMENT OF CONSTRUCTION. REPORT IN WRITING ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS TO THE LANDSCAPE ARCHITECT BEFORE THE END OF THE BIDDING PROCESS AND COMMENCEMENT OF CONSTRUCTION. THESE SPECIFICATIONS MAY BE SUPERCEDED BY ADDITIONAL SPECIFICATIONS SET OUT IN THE TENDER DOCUMENTS. CONTRACTOR TO REVIEW ALL DOCUMENTS.

GUARANTEE PERIOD

PROVIDE ONE FULL YEAR GUARANTEE ON ALL LANDSCAPE WORK FROM DATE OF FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. GUARANTEE PERIOD MAY BE EXTENDED TO TWO FULL YEARS DEPENDING ON MUNICIPAL STANDARDS. CONTRACTOR TO VERIFY WITH OWNER AND LANDSCAPE ARCHITECT.

PLANT MATERIAL INSTALLATION

SCALE: N.T.S. DATE:



VINTER PROTECTION:

burlap or approved equal

during guaruntee period.

PLANTING SOIL MIXTURE: (Mix thoroughly)

Contact consultants for proper soil mixture, before proceeding

A. For ideal situations mix:

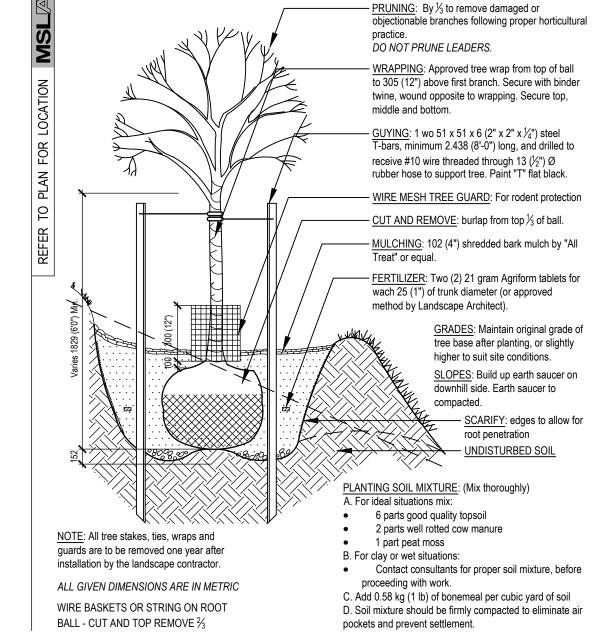
B. For clay or wet situations:

1 part peat moss

6 parts good quality topsoil

2 parts well rotted cow manure

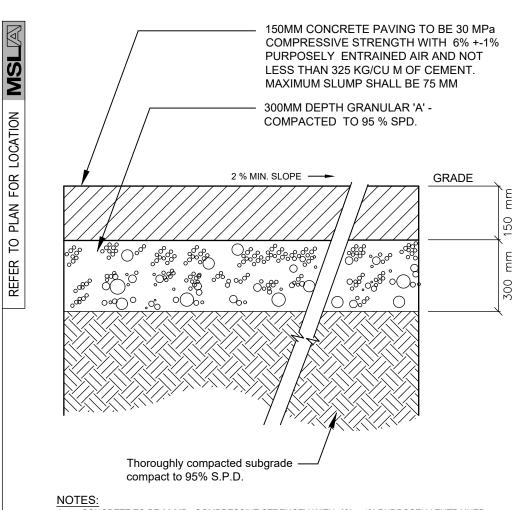
Shrubs to be wrapped with



STANDARD DECIDUOUS TREE DETAIL

SCALE: N.T.S. DATE:

4 LD01



CONCRETE TO BE 30 MPa COMPRESSIVE STRENGTH WITH 6% +-1% PURPOSELY ENTRAINED AIR AND NOT LESS THAN 325 KG/CU M OF CEMENT. MAXIMUM SLUMP SHALL BE 75 MM
 IMMEDIATELY AFTER FINISHING WITH WOODEN FLOAT, ALL WALKS, CURBS, AND WALLS SHALL BE SPRAYED WITH WHITE PIGMENTED MEMBRAINE CURING COMPOUND CONFORMING WITH M.T.C. FORM 1315 AND AS APPROVED BY THE M.T.C.

3. EXPANSION JOINTS SHALL BE LOCATED ADJACENT TO EXISTING STRUCTURES (BUILDINGS WALKS, HYDRANTS, ETC.)
4. PROVIDE CLEAN STRAIGHT EXPANSION JOINTS AT 6 METRES O.C PROVIDE CLEAN STRAIGHT

4. PROVIDE CLEAN STRAIGHT EXPANSION JOINTS AT 6 METRES O.C PROVIDE CLEAN STRAIGHT CONTRACTION JOINTS AT 3 METRES O.C.

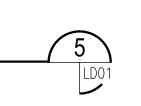
CONTRACTION JOINTS AT 3 METRES O.C.

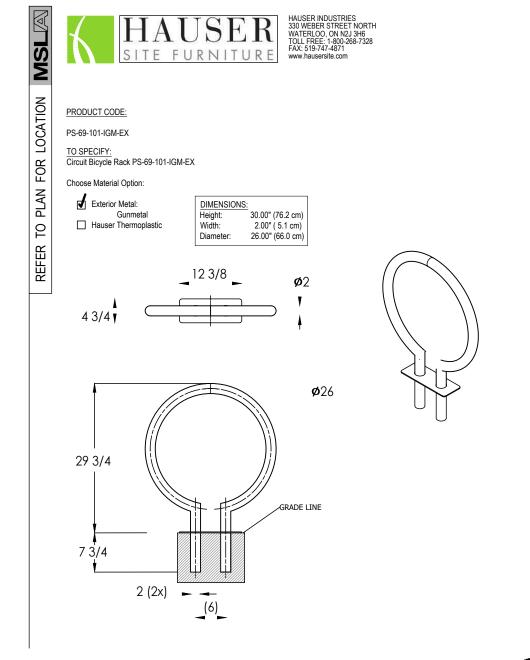
5. 2% MIN. AND NORMAL, SIDEWALK CROSSFALL GRADIENT IN EXCESS OF 4% SUBJECT TO APPROVAL OF THE GRADING ENGINEER.

6. ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS STRUCTURES

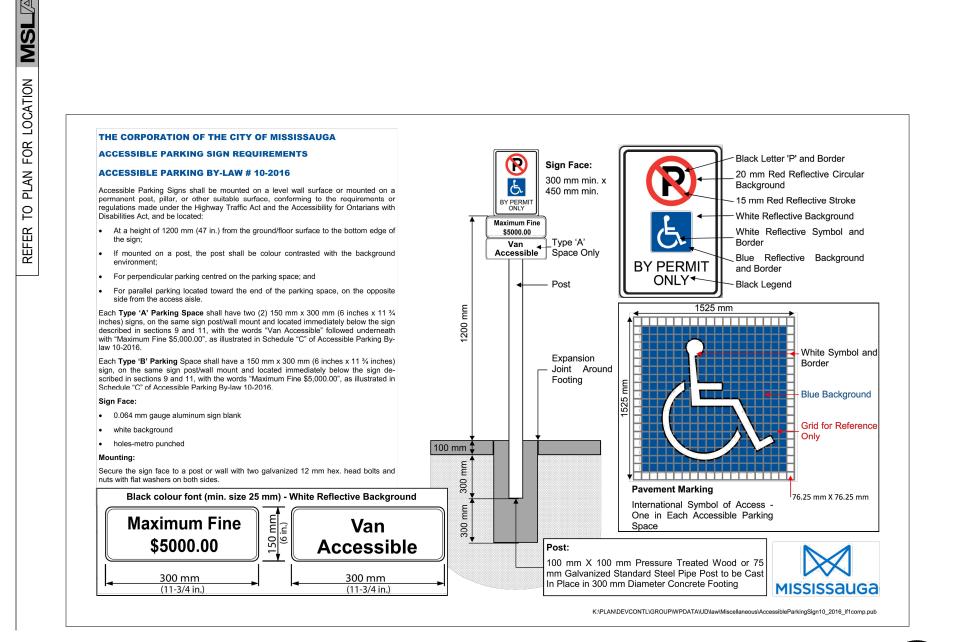
CONCRETE PAVING DETAIL

SCALE: N.T.S. DATE:









PRUNING: (To suit species)

Prune to remove damaged or

proper horticultural practice.

DO NOT PRUNE LEADERS.

to species and size of shrub

Provide 102 (4") saucer.

- MULCHING: 102 (4") shredded

bark mulch be "All Treat" or equal.

CUT AND REMOVE: burlap from

FERTILIZER: Two (2) 21 gram

equivalent for each shrub in bed.

Agriform tablets or approved

PREPARATION OF BED: Excavate shrub bed to

Remove any subsoil or rubbish off site unless

otherwise directed.

SPACING: As directed.

size outlined on drawings, minimum 457 (18") depth.

top ½ of ball as shown. (B.B. as per

GUYING: As directed; appropriate

objectionable branches following

ACCESSIBLE PARKING SIGN

SCALE: N.T.S. DATE:

MARTON SMITH LANDSCAPE ARCHITECTS 170 The Donway W Suite 206. Toronto, Ontario, Canada. M3C 2G3 tel. 416.492.9966 | email. info@msla.ca Architect: n Architecture Inc PRINCIPAL: NITIN MALHOTRA, ARCHITEC 9120 Leslie Street. Suite-208. Richmond Hill, ON, L4B 3J9 T:416.303.4821 F:1.866.340.5265 E: info@narchitecture.com www.narchitecture.com Client/Owner: Municipality: MISSISSAUGA

01 Issued for Review

No. Revision

02 Revised Per Site Plan

North:



Date

Project:

Proposed Gas Station

& Car Wash
1480 Derry Road East
Missisauga, Ontario

Scale: As Shown Date: October 2019

Drawn By: J.B. Checked By: L.M.

Drawing Title:

Landscape Details

Project No. Sheet No. **19112 LD-01**