

A by-law to amend By-law Number 0225-2007, as amended.

WHEREAS pursuant to section 34 of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, the council of a local municipality may pass a zoning by-law;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 9.2.3.XX  | Exception: OS2-XX1  | Map # 1              | By-law: |
|---|---|----------------------|---------|
| In an OS2-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for an OS2 zone except that the following <b>uses</b> /regulations shall apply: |   |                      |         |
| <b>Additional Permitted Use</b>   |   |                      |         |
| 9.2.3.XX.1  | (1) <b>Restaurant</b><br>(2) <b>Take-out Restaurant</b><br>(3) <b>Parking Lot</b><br>(4) Outdoor markets<br>(5) Commercial uses<br>(6) Outdoor stage and seating area<br>(7) Creative industry incubator space<br>(8) Cultural infrastructure facilities<br>(9) Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b><br>(10) <b>Temporary tent and/or stage</b><br>(11) <b>Temporary structures</b> |                      |         |
| <b>Regulations</b>  |   |                      |         |
| 9.2.3.XX.2  | The provisions contained in Line 1.0, and 3.0 of Table 2.1.2.1.1, subsection 2.1.9.7, Line 4.0, 5.0 and 7.0 of Table 9.2.1, and Table 2.1.14.1 of this By-law shall not apply   |                      |         |
| 9.2.3.XX.3  | Maximum <b>gross floor area - non-residential</b> for all <b>take-out restaurants</b> and <b>restaurants</b>  | 500 m <sup>2</sup>   |         |
| 9.2.3.XX.4  | Maximum <b>gross floor area – non-residential</b> used for all commercial uses in freestanding buildings or structures  | 5,000 m <sup>2</sup> |         |
| 9.2.3.XX.5  | "Commercial uses" means a <b>retail store, personal service establishment</b> , information kiosk, and an event ticket office   |                      |         |
| 9.2.3.XX.6  | For the purposes of this By-law, temporary structures shall include but are not limited to shipping containers, sea cans, wooden and seasonal structures  |                      |         |
| 9.2.3.XX.7  | An interim free-standing district energy facility providing heating and cooling for the surrounding lands shall be located within a <b>building</b> or <b>structure</b>   |                      |         |
| 9.2.3.XX.8  | A <b>structure</b> required for permitting physical services and utilities under subsection 2.1.1.2 of this By-law shall not be subject to the zone regulations   |                      |         |
| 9.2.3.XX.9  | Parking shall not be required for any use permitted in the OS2-XX1 zone   |                      |         |
| 9.2.3.XX.10   | Notwithstanding clause (3) of sentence 9.2.3.xx.1 of this Exception, only the following <b>parking lots</b> shall be permitted:<br>(a) One <b>parking lot</b> adjacent to a marina located in a G1-XX zone<br>(b) One <b>parking lot</b> containing only accessible, and car-share parking  |                      |         |

| 9.2.3.XX  | Exception: OS2-XX1   | Map # 1 | By-law:   |
|---|--|---------|---|
| In an OS2-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for an OS2 zone except that the following <b>uses</b> /regulations shall apply: |  |         |   |
| 9.2.3.XX.11   | Minimum number of bicycle parking spaces for all permanent <b>structures</b> and <b>buildings</b>  |         |   |
|   | <b>Retail store, personal service establishment, restaurant</b>  |         | 0.085 spaces per 100 m2 GFA – non – residential |
|   | Employee   |         |   |
|   | Visitor  |         | 0.25 spaces per 100 m2 GFA – non – residential  |
|   | All other non-residential uses Employee  |         | 4% of required parking                          |
|   | Visitor  |         | 4% of required parking                          |
| 9.2.3.XX.12   | A bicycle parking space must comply with the following:  |         |   |
|   | (1) The minimum dimension of a bicycle parking space is:   |         |   |
|   | (1.1) minimum length   |         | 1.8 m   |
|   | (1.2) minimum width  |         | 0.6 m   |
|   | (1.3) minimum vertical clearance from the ground   |         | 1.9 m   |
|   | (2) The minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:  |         | 1.9 m   |
|   | (2.1) minimum length or vertical clearance   |         | 0.6 m   |
|   | (2.2) minimum width  |         | 1.2 m   |
|   | (2.3) minimum horizontal clearance from the wall   |         |   |
|   | (3) The minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided   |         | 1.2 m   |
|   | (4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:  |         |   |
|   | (4.1) for a stacked bicycle parking space  |         | 2.4 m   |
|   | (4.2) all other cases  |         | 1.9 m   |
|   | (5) A bicycle parking space must have a minimum aisle clearance of:  |         |   |
|   | (5.1) when facing a wall or other obstacle   |         | 0.9 m   |
|   | (5.2) when facing a bicycle parking space  |         | 1.5 m   |
| 9.2.3.XX.13   | One change facility per gender containing a change room and shower stalls shall be provided accessory to each <b>building</b> in accordance with the following:  |         |   |
|   | Minimum number of shower stalls per gender in a change facility for all permanent <b>structures</b> and <b>buildings</b>   |         | Required Number of Shower stalls Per gender     |
|   | Required number of employee bicycle parking spaces   |         |   |
|   | 0-4  |         | 0   |
|   | 5-29   |         | 1   |
|   | 30-59  |         | 2   |
|   | 60-89  |         | 3   |
|   | 90-119   |         | 4   |
|   | 120-149  |         | 5   |
|   | 150-179  |         | 6   |
|   | Over 179   |         | 7 plus 1 for each additional 30 bicycle spaces  |
| 9.2.3.XX.14   | A maximum of one <b>building</b> containing a <b>retail store, restaurant, or take-out restaurant</b> uses, or combination thereof shall be permitted along the frontage of Hydro Road abutting lands zoned C4-XX2 |         |   |

2. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 10.2.2.XX   | Exception: G1-XX   | Map # 1 | By-law: |
|---|--|---------|---------|
| In a G1-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a G1 zone except that the following <b>uses/regulations</b> shall apply: |  |         |         |
| <b>Additional Permitted Use</b>   |  |         |         |
| 10.2.2.XX.1   | (1) Uses permitted under “OS2-XX1”<br>(2) <b>Buildings</b> and <b>structures</b> and conveyor belt legally <b>existing</b> on the date of passing of this By-law formerly used for infrastructure in support of power generation<br>(3) Alterations and additions to <b>existing buildings</b> and <b>structures</b> formerly used for infrastructure in support of power generation<br>(4) Shade <b>structure</b> |         |         |
| <b>Uses Not Permitted</b>   |  |         |         |
| 10.2.2.XX.2   | (1) Outdoor stage and seating area<br>(2) <b>Parking Lot</b><br>(3) Outdoor markets<br>(4) Creative industry incubator space<br>(5) Cultural infrastructure facilities   |         |         |
| <b>Regulations</b>  |  |         |         |
| 10.2.2.XX.3   | The provisions contained in Line 1.0, and 3.0 of Table 2.1.2.1.1, and Table 2.1.14.1 of this <b>By-law</b> shall not apply   |         |         |
| 10.2.2.XX.4   | Parking shall not be required for any use permitted in the G1-XX zone  |         |         |

3. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 12.2.3.XX  | Exception: I-XX | Map # 1   | By-law: |
|--|-----------------|---|---------|
| In a zone the permitted <b>uses</b> and applicable regulations shall be as specified for a I zone except that the following <b>uses/regulations</b> shall apply: |                 |   |         |
| <b>Additional Permitted Uses</b>   |                 |   |         |
| 12.2.3.XX.1  | (1)             | <b>Science and technology facility</b>  |         |
|  | (2)             | <b>Office</b>   |         |
|  | (3)             | Marine related uses for boats and personal watercraft where boats and/or boat accessories may be sold, stored indoors/outdoors, serviced, or repaired |         |
|  | (4)             | Cultural facilities   |         |
|  | (5)             | <b>Commercial school</b> is permitted accessory to a University/College <b>use</b>  |         |
|  | (6)             | <b>Parking lot</b>  |         |
|  | (7)             | Parking for lands zoned OS2-XX1, and C4-XX3   |         |
|  | (8)             | Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b> within a University/College  |         |
|  | (9)             | <b>Renewable energy</b> facility  |         |
|  | (10)            | <b>Cogeneration facility</b> based on <b>renewable energy</b>   |         |
|  | (11)            | <b>Outdoor storage</b> accessory to a <b>cogeneration facility</b> based on <b>renewable energy</b>   |         |
|  | (12)            | <b>Waste Transfer Station</b> associated with a vacuum waste collection system  |         |
|  | (13)            | <b>Composting Facility</b> associated with a vacuum waste collection system   |         |
|  | (14)            | Outdoor storage accessory to a <b>waste transfer station</b> associated with a vacuum waste collection system   |         |
|  | (15)            | Public information centre accessory to either a <b>Renewable energy</b> facility or <b>Cogeneration facility</b> based on <b>renewable energy</b>     |         |
|  | (16)            | Uses permitted under article 2.1.1.2 of this By-law in a <b>building</b>  |         |
|  | (17)            | Co-working office   |         |
| <b>Uses Not Permitted</b>  |                 |   |         |
| 12.2.3.XX.2  | (1)             | <b>Hospital</b>   |         |
|  | (2)             | <b>Staff/Student Residence</b>  |         |
|  | (3)             | <b>Day care</b>   |         |

| 12.2.3.XX   | Exception: I-XX   | Map # 1 | By-law:    |
|---|---|---------|------------|
| In a zone the permitted <b>uses</b> and applicable regulations shall be as specified for a I zone except that the following <b>uses</b> /regulations shall apply: |   |         |            |
| <b>Regulations</b>  |   |         |            |
| 12.2.3.XX.3   | The provisions contained in Line 1.0, and 3.0 of Table 2.1.2.1.1, subsections 2.1.14 and 2.1.17, and Line, 3.0, 4.0, 5.0, 6.0 and 7.0 of Table 12.2.2 of this By-law shall not apply  |         |            |
| 12.2.3.XX.4   | A <b>Waste Transfer Station</b> associated with a vacuum waste collection system and <b>Composting Facility</b> associated with a vacuum waste collection system shall be restricted to that waste collected for those abutting lands containing a vacuum waste collection system   |         |            |
| 12.2.3.XX.5   | A <b>medical office</b> shall only be permitted in <b>buildings</b> when adjacent lands zoned OS1   |         |            |
| 12.2.3.XX.6   | Notwithstanding clause (14) of section 12.2.3.xx.1 of this Exception, outdoor storage shall be limited to large household goods, shall only be located in a side or rear yard and shall be screened facing the front and side lot lines   |         |            |
| 12.2.3.XX.7   | “Co-working office” means an area predominantly used as an office rented out to transient users   |         |            |
| 12.2.3.XX.8   | A <b>structure</b> required for permitting physical services and utilities under subsection 2.1.1.2 of this By-law shall not be subject to the zone regulations   |         |            |
| 12.2.3.XX.9   | An interim free-standing district energy facility providing heating and cooling for the surrounding lands shall be located within a <b>building</b> or <b>structure</b>   |         |            |
| 12.2.3.XX.10  | Minimum setback to lands zoned G1   |         | 7.5 m      |
| 12.2.3.XX.11  | Maximum height of all <b>buildings</b> and <b>structures</b> exclusive of mechanical/penthouse facilities   |         | 15 Storeys |
| 12.2.3.XX.12  | Maximum total <b>gross floor area - non-residential</b> that may be used for accessory uses to a University/College   |         | 20%        |
| 12.2.3.XX.13  | Accessory uses to a University/College <b>shall</b> not be permitted above the third storey   |         |            |
| 12.2.3.XX.14  | Minimum <b>front yard</b>   |         | 1.5 m      |
| 12.2.3.XX.15  | Minimum <b>interior side yard</b>   |         | 2.5 m      |
| 12.2.3.XX.16  | Minimum <b>exterior side yard</b>   |         | 3.0 m      |
| 12.2.3.XX.17  | Minimum <b>rear yard</b>  |         | 7.5 m      |
| 12.2.3.XX.18  | Minimum depth of a <b>landscaped buffer</b> along a property line abutting lands zoned:   |         |            |
|   | OS2-XX1   |         | 0.0 m      |
|   | G1  |         | 6.0 m      |
|   | E2-XX   |         | 1.5 m      |
| 12.2.3.XX.19  | Minimum setback for accessory <b>structures</b> to lands zoned OS2– XX  |         | 1.5 m      |
| 12.2.3.XX.20  | Minimum <b>lot frontage</b> for all <b>building</b> and <b>structures</b> associated with a use permitted under 2.1.1.2 of this By- law, and uses permitted under clauses (9), (10), (11), (12), (13), (14), (15), and (16) of sentence 12.2.3.XX.1 of this Exception, <b>Waste Transfer Station</b> associated with an alternative waste collection system, <b>Composting Facility</b> associated with an alternative waste collection system, <b>Renewable energy</b> facility or <b>Cogeneration facility</b> based on <b>renewable energy</b> |         | 13.0 m     |
| 12.2.3.XX.21  | <b>Driveways, aisles</b> , and visitor parking may be shared with abutting lands zoned C4-XX3   |         |            |
| 12.2.3.XX.22  | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a co-working office  |         | 2.7        |

| 12.2.3.XX  | Exception: I-XX   | Map # 1 | By-law:  |
|--|---|---------|--|
| In a zone the permitted <b>uses</b> and applicable regulations shall be as specified for a I zone except that the following <b>uses/regulations</b> shall apply: |   |         |  |
| 12.2.3.XX.23   | Minimum number of bicycle parking spaces  |         |  |
|  | <b>Office</b>   |         |  |
|  | Employee  |         | 0.17 spaces per 100 m <sup>2</sup> GFA – non-residential |
|  | Visitor   |         | 0.03 spaces per 100 m <sup>2</sup> GFA – non-residential |
|  | <b>All other non-residential uses</b>   |         |  |
|  | Employee  |         | 4% of required parking                                   |
|  | Visitor   |         | 4% of required parking                                   |
| 12.2.3.XX.24   | A bicycle parking space must comply with the following:   |         |  |
|  | (1) The minimum dimension of a bicycle parking space is:  |         |  |
|  | (1.1) minimum length  |         | 1.8 m  |
|  | (1.2) minimum width   |         | 0.6 m  |
|  | (1.3) minimum vertical clearance from the ground  |         | 1.9 m  |
|  | (2) the minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:                             |         |  |
|  | (2.1) minimum length or vertical clearance  |         | 1.9 m  |
|  | (2.2) minimum width   |         | 0.6 m  |
|  | (2.3) minimum horizontal clearance from the wall  |         | 1.2 m  |
|  | (3) the minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided  |         | 1.2 m  |
|  | (4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:   |         |  |
|  | (4.1) for a stacked bicycle parking space   |         | 2.4 m  |
|  | (4.2) all other cases   |         | 1.9 m  |
|  | (5) A bicycle parking space must have a minimum aisle clearance of:   |         |  |
|  | (5.1) when facing a wall or other obstacle  |         | 0.9 m  |
|  | (5.2) when facing a bicycle parking space   |         | 1.5 m  |
| 12.2.3.XX.25   | One change facility per gender containing a change room and shower stalls shall be provided accessory to each <b>building</b> in accordance with the following: |         |  |
|  | Minimum number of shower stalls per gender in a change facility for all permanent <b>structures</b> and <b>buildings</b>  |         | Required Number of Shower Stalls Per Gender              |
|  | Required number of employee bicycle parking spaces  |         |  |
|  | 0-4   |         | 0  |
|  | 5-29  |         | 1  |
|  | 30-59   |         | 2  |
|  | 60-89   |         | 3  |
|  | 90-119  |         | 4  |
|  | 120-149   |         | 5  |
|  | 150-179   |         | 6  |
|  | Over 179  |         | 7 plus 1 for each additional 30 bicycle spaces           |
| 12.2.3.XX.26   | A multi-use trail may be permitted in the <b>rear yard</b> and <b>landscape buffer</b> adjacent a <b>rear lot line</b>  |         |  |

4. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 8.2.3.XX   | Exception: E2-XX  | Map # 1 | By-law: |
|--|---|---------|---------|
| In an E2-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a E2 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |
| <b>Additional Permitted Uses</b>   |   |         |         |
| 8.2.3.XX.1   | (1) Marine related uses for boats and personal watercraft where boats and/or boat accessories may be sold, stored indoors/outdoors, serviced, repaired or constructed and marine fuels are sold as an accessory use<br>(2) <b>Renewable energy</b> facility<br>(3) <b>Cogeneration facility</b> based on <b>renewable energy</b><br>(4) <b>Outdoor storage</b> accessory to a <b>cogeneration facility</b> based on <b>renewable energy</b><br>(5) Incubator space<br>(6) <b>Waste Transfer Station</b> associated with a vacuum waste collection system<br>(7) <b>Composting Facility</b> associated with a vacuum waste collection system<br>(8) Outdoor storage accessory to a <b>waste transfer station</b> associated with a vacuum waste collection system<br>(9) Parking for lands zoned I-XX, RA5-XX, and C4 - XX3<br>(10) Transportation Facility<br>(11) Co-working office<br>(12) Public information centre accessory to either a <b>Renewable energy</b> facility or <b>Cogeneration facility</b> based on <b>renewable energy</b><br>(13) Uses permitted under 2.1.1.2 of this By-law in a <b>building</b><br>(14) A Municipal Contractor Service Shop<br>(15) A Municipal Contractor's Yard |         |         |
| <b>Uses Not Permitted</b>  |   |         |         |
| 8.2.3.XX.2   | (1) <b>Truck Terminal</b><br>(2) <b>Waste Processing Station</b><br>(3) Contractor Service Shop<br>(4) Contractor's Yard<br>(5) <b>Vehicle Pound Facility</b><br>(6) <b>Motor Vehicle Body Repair Facility</b><br>(7) <b>Motor Vehicle Body Repair Facility - Commercial Motor Vehicle</b><br>(8) <b>Motor Vehicle Repair Facility</b><br>(9) <b>Motor Vehicle Repair Facility - Commercial Motor Vehicle</b><br>(10) <b>Motor Vehicle Repair Facility – Restricted</b><br>(11) <b>Motor Vehicle Wash Facility – Commercial Motor Vehicle</b><br>(12) <b>Motor Vehicle Wash Facility – Restricted</b><br>(13) <b>Gas Bar</b><br>(14) <b>Motor Vehicle Service Station</b><br>(15) <b>Motor Vehicle Sales, Leasing and/or Rental Facility - Commercial Motor Vehicles</b><br>(16) <b>Adult Video Store</b><br>(17) <b>Adult Entertainment Establishment</b><br>(18) <b>Body-Rub Establishment</b><br>(19) <b>Truck Fuel Dispensing Facility</b><br>(20) Accessory <b>retail store</b>  |         |         |
| <b>Regulations</b>   |   |         |         |
| 8.2.3.XX.3   | The provisions contained in Lines 1.0, 3.0, 10.0 and 12.0 in Table 2.1.2.1.1, subsections 2.1.14 and 2.1.17, and 8.1.4, sentences 8.1.5.1.1 and 8.1.5.1.4, subsection 8.1.6, Lines 5.1, 9.3, 10.1, 12.1, and 12.5 of Table 8.2.1, and article 2.1.19.2 of this By- law shall not apply  |         |         |
| 8.2.3.XX.4   | Maximum <b>floor space index - non-residential</b>  | 4.0     |         |
| 8.2.3.XX.5   | Minimum setback of all <b>building and structures</b> to all lands zoned G1   | 7.5 m   |         |
| 8.2.3.XX.6   | A <b>Waste Transfer Station</b> and <b>Composting Facility</b> shall be restricted to that waste collected for those abutting lands containing a vacuum waste collection system   |         |         |

| 8.2.3.XX   | Exception: E2-XX  | Map # 1 | By-law:                            |
|--|---|---------|------------------------------------|
| In an E2-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a E2 zone except that the following <b>uses/regulations</b> shall apply: |   |         |                                    |
| 8.2.3.XX.7   | An interim free-standing district energy facility providing heating and cooling for the surrounding lands shall be located within a <b>building or structure</b>  |         |                                    |
| 8.2.3.XX.8   | A <b>structure</b> required for permitting physical services and utilities under subsection 2.1.1.2 of this By-law shall not be subject to the zone regulations   |         |                                    |
| 8.2.3.XX.9   | A multi-use trail may be permitted in the <b>rear yard</b> and <b>landscape buffer</b> adjacent a <b>rear lot line</b>  |         |                                    |
| 8.2.3.XX.10  | Minimum <b>lot frontage</b> for all <b>building</b> and <b>structures</b> associated with a use permitted under 2.1.1.2 of this By- law, <b>Waste Transfer Station</b> associated with a vacuum waste collection system, <b>Composting Facility</b> associated with a vacuum waste collection system, <b>Renewable energy</b> facility or <b>Cogeneration facility</b> based on <b>renewable energy</b> |         | 13.0 m                             |
| 8.2.3.XX.11  | Notwithstanding clause (8) of section 8.2.3.XX.1 of this Exception, outdoor storage shall be limited to large household goods, shall only be located in a side or rear yard and shall be screened facing the front and side lot lines   |         |                                    |
| 8.2.3.XX.12  | A <b>Waste Transfer Station</b> associated with a vacuum waste collection system or <b>Composting Facility</b> associated with a vacuum waste collection system or <b>Renewable energy</b> facility or <b>Cogeneration facility</b> based on renewable energy shall not be included in the maximum <b>floor space index - non-residential</b> calculation   |         |                                    |
| 8.2.3.XX.13  | A Transportation Facility shall be restricted to the storage of a maximum of 50 <b>motor vehicles</b> used exclusively for the use of personal car-sharing or ride-sharing purposes   |         |                                    |
| 8.2.3.XX.14  | The provisions of 8.1.2 of this By-law shall not be restricted to an office building or medical office building   |         |                                    |
| 8.2.3.XX.15  | “Co-working office” means an area predominantly used as an office rented out to transient users   |         |                                    |
| 8.2.3.XX.16  | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a co-working office  |         | 2.7                                |
| 8.2.3.XX.17  | Minimum number of bicycle parking spaces  |         |                                    |
|  | <b>Office</b>   |         | 0.17 spaces per 100 m <sup>2</sup> |
|  | Employee  |         | GFA – non – residential            |
|  | Visitor   |         | 0.03 spaces per 100 m <sup>2</sup> |
|  |   |         | GFA – non – residential            |
|  | <b>All other non-residential uses</b>   |         |                                    |
|  | Employee  |         | 4% of required parking             |
|  | Visitor   |         | 4% of required parking             |

| 8.2.3.XX   | Exception: E2-XX   | Map # 1 | By-law:  |
|--|--|---------|--|
| In an E2-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a E2 zone except that the following <b>uses/regulations</b> shall apply: |  |         |  |
| 8.2.3.XX.18  | A bicycle parking space must comply with the following:  |         |  |
| (1) The minimum dimension of a bicycle parking space is:   |  |         |  |
| (1.1) minimum length   |  |         | 1.8 m  |
| (1.2) minimum width  |  |         | 0.6 m  |
| (1.3) minimum vertical clearance from the ground   |  |         | 1.9 m  |
| (2) The minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:                                      |  |         |  |
| (2.1) minimum length or vertical clearance   |  |         | 1.9 m  |
| (2.2) minimum width  |  |         | 0.6 m  |
| (2.3) minimum horizontal clearance from the wall   |  |         |  |
| (3) The minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided   |  |         | 1.2 m  |
| (4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:  |  |         |  |
| (4.1) for a stacked bicycle parking space  |  |         | 2.4 m  |
| (4.2) all other cases  |  |         | 1.9 m  |
| (5) A bicycle parking space must have a minimum aisle clearance of:  |  |         |  |
| (5.1) when facing a wall or other obstacle   |  |         | 0.9 m  |
| (5.2) when facing a bicycle parking space  |  |         | 1.5 m  |
| 8.2.3.XX.19  | One change facility per gender containing a change room and shower stalls shall be provided accessory to each <b>building</b> in accordance with the following:    |         |  |
| Minimum number of shower stalls per gender in a change facility for all permanent <b>structures</b> and <b>buildings</b>   |  |         | Required Number of Shower stalls Per gender    |
| Required number of employee bicycle parking spaces   |  |         |  |
| 0-4  |  |         | 0  |
| 5-29   |  |         | 1  |
| 30-59  |  |         | 2  |
| 60-89  |  |         | 3  |
| 90-119   |  |         | 4  |
| 120-149  |  |         | 5  |
| 150-179  |  |         | 6  |
| Over 179   |  |         | 7 plus 1 for each additional 30 bicycle spaces |
| 8.2.3.XX.20  | Minimum setback of <b>parking areas, driveways</b> , loading spaces, other paved areas and an area used for accessory <b>outdoor storage</b> to all lands zoned G1 |         | 7.5 m  |
| 8.2.3.XX.21  | Minimum depth of a <b>landscaped buffer</b> along a property line abutting lands zoned:  |         |  |
| G1   |  |         | 6.0 m  |
| I-XX   |  |         | 1.5 m  |
| E2-21  |  |         | 4.5 m  |
| 8.2.3.XX.22  | A multi-use trail may be located within a <b>landscape buffer</b>  |         |  |
| 8.2.3.XX.23  | Maximum height of all <b>buildings</b> and <b>structures</b> exclusive of mechanical/penthouse facilities  |         | 15 storeys                                     |
| 8.2.3.XX.24  | Minimum <b>landscaped area</b>   |         | 10% of the lot                                 |



5. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 6.2.5.XX1  | Exception: C4-XX1  | Map # 1                                   | By-law: |
|--|--|---|---------|
| In a C4-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |  |   |         |
| <b>Additional Permitted Uses</b>   |  |   |         |
| 6.2.5.XX1.1  | (1) <b>Retirement Building</b><br>(2) <b>Long-Term Care Building</b><br>(3) Parking for lands zoned RA5-XX<br>(4) Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b><br>(5) Co-working office<br>(6) <b>Parking structure</b><br>(7) Temporary Sales or Community Engagement Office  |   |         |
| <b>Uses Not Permitted</b>  |  |   |         |
| 6.2.5.XX1.2  | (1) <b>Funeral Establishment</b><br>(2) <b>Overnight accommodation</b><br>(3) University/College   |   |         |
| <b>Regulations</b>   |  |   |         |
| 6.2.5.XX1.3  | The provisions contained in Lines 1.0, and 3.0 of Table 2.1.2.1.1, subsection 2.1.2, article 2.1.25.4, subsection 2.1.30, and Lines 11.1, 12.3, 12.4, 14.0 and 16.0 contained in Table 6.2.1 of this By-law shall not apply  |   |         |
| 6.2.5.XX1.4  | Maximum number of <b>dwelling units</b> on all lands zoned RA5-XX, C4-XX1, C4-XX2, and C4-XX3  | 8,050                                     |         |
| 6.2.5.XX1.5  | For the purposes of this By-law, all lands zoned C4- XX1 shall be considered one <b>lot</b>  |   |         |
| 6.2.5.XX1.6  | The <b>first</b> storey of a building within 25 m of Lakeshore Road East and Hydro Road frontages shall only contain non-residential <b>uses</b>   |   |         |
| 6.2.5.XX1.7  | Notwithstanding the provisions of section 6.2.5.XX1.6 of this Exception:<br>(1) a lobby for a residential <b>building</b> may be located on the <b>first storey</b><br>(2) An outdoor play area accessory to a <b>day care</b> may be at grade or on the roof of the first four <b>storeys</b>   |   |         |
| 6.2.5.XX1.8  | Maximum <b>height</b><br>Residential <b>buildings</b> which may include ancillary non-residential <b>uses</b><br>Non-residential <b>buildings</b><br><b>Parking Structure</b>  | 15 storeys<br><br>15 storeys<br>4 storeys |         |
| 6.2.5.XX1.9  | Maximum <b>height</b> for all residential <b>buildings</b> within 20 m of Lakeshore Road East  | 8 storeys                                 |         |
| 6.2.5.XX1.10   | A <b>lot line</b> abutting Lakeshore Road East shall be deemed to be the <b>front lot line</b>   |   |         |
| 6.2.5.XX1.11   | Minimum setback of all <b>buildings</b> and <b>structures</b> to all lands zoned G1  | 7.5 m                                     |         |
| 6.2.5.XX1.12   | Minimum depth of a <b>landscaped buffer</b> along a property line abutting lands zoned:<br>G1<br>RA5-XX  | 3.0 m<br>1.5 m                            |         |
| 6.2.5.XX1.13   | Minimum resident <b>parking spaces</b> per <b>apartment dwelling unit</b>  | 1.0                                       |         |
| 6.2.5.XX1.14   | Minimum number of <b>parking spaces</b> per <b>retirement dwelling unit</b>  | 0.4                                       |         |
| 6.2.5.XX1.15   | Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>   | 0.15                                      |         |
| 6.2.5.XX1.16   | Maximum percentage of required resident <b>parking spaces</b> that may be tandem, provided that each pair of <b>tandem parking spaces</b> is allocated to one <b>dwelling unit</b>   | 25%                                       |         |
| 6.2.5.XX1.17   | For the resident visitor component, a shared parking arrangement may be used for the calculation of required visitor/non-residential parking in accordance with the following:<br>the greater of 0.15 visitor spaces per unit or Parking required for a <b>retail store, restaurant, take-out restaurant, personal service establishment, commercial school, financial institution, medical office, office, and day care</b> |   |         |

| 6.2.5.XX1  | Exception: C4-XX1   | Map # 1 | By-law:   |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|--|---|---------|-----------|-------------|-------------------------------------|--|--|--|---------|------|-----------|---------|-----------------------|------|-----|-----|-----|--------------------|-----|-----|------|-----|-----------------------|-----|-----|------|-----|---------------------|-----|-----|-----|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|------|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|--|-------------------------------------|--|--|--|---------|------|-----------|---------|--------|-----|-----|-----|-----|--------------------|-----|-----|-----|-----|-----------------------|-----|-----|-----|-----|---------------------|-----|-----|------|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|-----|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|
| In a C4-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.18   | <p>Notwithstanding section 3.1.2.3 of this By-law, a shared parking formula may be used as indicated below.</p> <p>All required parking spaces must be accessible to all users participating in the shared parking arrangement and may not be reserved for specific users.</p> <p>The initial step in determining required parking for a mixed use development is to calculate the parking requirement for each <b>use</b> in the development as if these <b>uses</b> were free-standing <b>buildings</b>. The parking requirement for each <b>use</b> is then multiplied by the percent of the peak period for each time period (i.e. noon), contained below. Each column is totalled for weekday and weekend. The highest figure obtained from all time periods shall become the required parking for the mixed use development.</p> <p><b>Mixed Use Development Shared Parking Formula</b></p> <table><tr><th rowspan="2">Type of Use</th><th colspan="4">Weekday Shared Parking Time Factors</th></tr><tr><th>Morning</th><th>Noon</th><th>Afternoon</th><th>Evening</th></tr><tr><td>Office/Medical Office</td><td>100%</td><td>90%</td><td>95%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>90%</td><td>80%</td><td>100%</td><td>50%</td></tr><tr><td>Financial Institution</td><td>70%</td><td>75%</td><td>100%</td><td>80%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>50%</td><td>70%</td><td>75%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>25%</td><td>65%</td><td>25%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>50%</td><td>25%</td><td>25%</td><td>65%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>100%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>50%</td><td>100%</td></tr><tr><th rowspan="2"></th><th colspan="4">Weekend Shared Parking Time Factors</th></tr><tr><th>Morning</th><th>Noon</th><th>Afternoon</th><th>Evening</th></tr><tr><td>Office</td><td>10%</td><td>10%</td><td>10%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>50%</td><td>50%</td><td>50%</td><td>20%</td></tr><tr><td>Financial Institution</td><td>90%</td><td>90%</td><td>90%</td><td>20%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>75%</td><td>100%</td><td>10%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>20%</td><td>90%</td><td>50%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>70%</td><td>25%</td><td>25%</td><td>50%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>95%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>60%</td><td>100%</td></tr></table> <p>*Various Commercial includes <b>Retail Store, Personal Service Establishment, and Repair Establishments</b></p> |         |           | Type of Use | Weekday Shared Parking Time Factors |  |  |  | Morning | Noon | Afternoon | Evening | Office/Medical Office | 100% | 90% | 95% | 10% | Real Estate Office | 90% | 80% | 100% | 50% | Financial Institution | 70% | 75% | 100% | 80% | Various commercial* | 50% | 50% | 70% | 75% | Restaurant/Take-out Rest. | 25% | 65% | 25% | 100% | Overnight Accom.- Rooms | 50% | 25% | 25% | 65% | Overnight Accom.- Other | 95% | 100% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 50% | 100% |  | Weekend Shared Parking Time Factors |  |  |  | Morning | Noon | Afternoon | Evening | Office | 10% | 10% | 10% | 10% | Real Estate Office | 50% | 50% | 50% | 20% | Financial Institution | 90% | 90% | 90% | 20% | Various commercial* | 50% | 75% | 100% | 10% | Restaurant/Take-out Rest. | 20% | 90% | 50% | 100% | Overnight Accom.- Rooms | 70% | 25% | 25% | 50% | Overnight Accom.- Other | 95% | 95% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 60% | 100% |
| Type of Use  | Weekday Shared Parking Time Factors   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Morning   | Noon    | Afternoon | Evening     |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office/Medical Office  | 100%  | 90%     | 95%       | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 90%   | 80%     | 100%      | 50%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 70%   | 75%     | 100%      | 80%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%   | 50%     | 70%       | 75%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 25%   | 65%     | 25%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 50%   | 25%     | 25%       | 65%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%   | 100%    | 90%       | 95%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%   | 65%     | 90%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%   | 20%     | 50%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Weekend Shared Parking Time Factors   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Morning   | Noon    | Afternoon | Evening     |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office   | 10%   | 10%     | 10%       | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 50%   | 50%     | 50%       | 20%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 90%   | 90%     | 90%       | 20%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%   | 75%     | 100%      | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 20%   | 90%     | 50%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 70%   | 25%     | 25%       | 50%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%   | 95%     | 90%       | 95%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%   | 65%     | 90%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%   | 20%     | 60%       | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.19   | No parking shall be required for an outdoor patio associated with a <b>restaurant or take-out restaurant</b>  |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.20   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>retail store, personal service establishment, or office</b>   | 3.0     |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.21   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>financial institution, real estate office, or medical office</b>  | 4.85    |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.22   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a co-working office  | 2.7     |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.23   | A car-share <b>parking space</b> shall be a <b>parking space</b> dedicated to a short-term vehicle rental for residents   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.24   | Bicycle-share parking spaces shall be dedicated to short- term bicycle rental for residents and shall be required to meet size requirements as specified in Illustrations on Schedule 3   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.25   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of four <b>parking spaces</b> for every car-share <b>parking space</b> provided on the site up to a maximum of 1 car-share <b>parking space</b> per 60 <b>dwelling units</b>   |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX1.26   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of 3 <b>parking spaces</b> for every 10 bicycle-share parking spaces and an additional 1 <b>parking space</b> for 2 bicycle-share parking spaces to a maximum of 25% of total required <b>parking spaces</b> per residential <b>dwelling unit</b>  |         |           |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |

| 6.2.5.XX1  | Exception: C4-XX1   | Map # 1 | By-law: |
|--|---|---------|---------|
| In a C4-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |
| 6.2.5.XX1.27   | <p>Minimum number of bicycle parking spaces</p> <p><b>Apartments, retirement building</b></p> <p>Resident 0.6 spaces per unit</p> <p>Visitor 0.14 spaces per unit</p> <p>Office 0.17 spaces per 100 m<sup>2</sup> GFA – non – residential</p> <p>Employee 0.03 spaces per 100 m<sup>2</sup> GFA – non – residential</p> <p><b>Retail store, personal services establishment, restaurant</b></p> <p>Employee 0.085 spaces per 100 m<sup>2</sup> GFA – non – residential</p> <p>Visitor 0.25 spaces per 100 m<sup>2</sup> GFA – non – residential</p> <p>Employee 4% of required spaces</p> <p>Visitor 4% of required spaces</p>  |         |         |
| 6.2.5.XX1.28   | <p>A bicycle parking space must comply with the following:</p> <p>(1) The minimum dimension of a bicycle parking space is</p> <p>(1.1) minimum length 1.8 m</p> <p>(1.2) minimum width 0.6 m</p> <p>(1.3) minimum vertical clearance from the ground 1.9 m</p> <p>(2) the minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:</p> <p>(2.1) minimum length or vertical clearance 1.9 m</p> <p>(2.2) minimum width 0.6 m</p> <p>(2.3) minimum horizontal clearance from the wall 1.2 m</p> <p>(3) the minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided 1.2 m</p> <p>(4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:</p> <p>(4.1) for a stacked bicycle parking space 2.4 m</p> <p>(4.2) all other cases 1.9 m</p> <p>(5) A bicycle parking space must have a minimum aisle clearance of:</p> <p>(5.1) when facing a wall or other obstacle 0.9 m</p> <p>(5.2) when facing a bicycle parking space 1.5 m</p> |         |         |

|  |  |         |   |
|--|--|---------|---|
| 6.2.5.XX1  | Exception: C4-XX1  | Map # 1 | By-law:   |
| In a C4-XX1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |  |         |   |
| 6.2.5.XX1.29   | One change facility per gender containing a change room and shower stalls shall be provided accessory to each <b>building</b> in accordance with the following:<br><br>Minimum number of shower stalls per gender in a change facility for all permanent <b>structures</b> and <b>buildings</b><br><br>Required number of employee bicycle parking spaces<br><br>0-4<br>5-29<br>30-59<br>60-89<br>90-119<br>120-149<br>150-179<br>Over 179 |         |   |
|  |  |         | Required<br>Number of<br>Shower stalls<br>Per gender<br>0<br>1<br>2<br>3<br>4<br>5<br>6<br>7 plus 1 For<br>each<br>Additional 30<br>bicycle<br>spaces |
| 6.2.5.XX1.30   | Minimum setback from an above or below grade <b>parking structure</b> inclusive of external above grade access stairwells, to a <b>lot line</b>  |         | 1.0 m   |
| 6.2.5.XX1.31   | Stairs, walkways, planters and ventilation shafts are permitted to encroach into a required <b>landscaped area</b>   |         |   |
| 6.2.5.XX1.32   | <b>Driveways, aisles,</b> and visitor parking may be shared with abutting lands zoned RA5 - XX   |         |   |
| 6.2.5.XX1.33   | A multi-use trail may be permitted in an <b>interior side yard</b> or any <b>landscape buffer</b> adjacent an <b>interior side lot line</b>  |         |   |

6. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 6.2.5.XX2  | Exception: C4 – XX2   | Map # 1    | By-law: |
|--|---|------------|---------|
| In a C4 – XX2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |            |         |
| <b>Additional Permitted Use</b>  |   |            |         |
| 6.2.5.XX2.1  | (1) <b>Retirement Building</b><br>(2) Parking for lands zoned RA5-XX<br>(3) Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b><br>(4) One craft beer brewery with accessory <b>restaurant</b><br>(5) Public information centre  |            |         |
| <b>Uses Not Permitted</b>  |   |            |         |
| 6.2.5.XX2.2  | (1) <b>Funeral Establishment</b><br>(2) <b>Retail store</b> greater than 600 m <sup>2</sup> <b>GFA – non-residential</b><br>(3) University/College  |            |         |
| <b>Regulations</b>   |   |            |         |
| 6.2.5.XX2.3  | The provisions contained in Lines 1.0, and 3.0 of Table 2.1.2.1.1, subsection 2.1.2, Lines 4.0, 5.0, 6.0, 7.0, 8.0, 9.0 and 11.0 in Table 2.1.9.1, article 2.1.25.4, subsection 2.1.30, Lines 2.6.1, 2.6.2, 2.6.3, 2.6.4, 11.1, 12.3, 12.4, 14.0 and 16.0 contained in Table 6.2.1 of this By-law shall not apply |            |         |
| 6.2.5.XX2.4  | For the purposes of this By-law, all lands zoned C4-XX2 shall be considered one <b>lot</b> for each parcel separated by public rights-of-way  |            |         |
| 6.2.5.XX2.5  | Maximum number of <b>dwelling units</b> on all lands zoned RA5-XX, C4-XX1, C4-XX2, and C4-XX3   | 8,050      |         |
| 6.2.5.XX2.6  | For the purposes of this By-law, <b>overnight accommodation</b> may include an accessory <b>restaurant</b> , <b>take-out restaurant</b> and an outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b>   |            |         |
| 6.2.5.XX2.7  | A unit on the <b>first</b> storey of all <b>buildings</b> facing a public <b>street</b> shall only contain non-residential <b>uses</b>  |            |         |
| 6.2.5.XX2.8  | Notwithstanding the provisions of section 6.2.5.XX1.7 of this Exception:<br>(1) a lobby for a residential <b>building</b> may be located in the <b>first storey</b><br>(2) an outdoor play area accessory to a <b>day care</b> may be at grade or may be located in the <b>first storey</b>                       |            |         |
| 6.2.5.XX2.9  | Below grade <b>parking structures</b> under <b>private roads</b> or public boulevard areas shall be permitted   |            |         |
| 6.2.5.XX2.10   | Maximum <b>height</b> of all <b>buildings</b>   | 12 storeys |         |
| 6.2.5.XX2.11   | Notwithstanding the provisions of sentence 6.2.5.XX2.10 of this Exception, one building may have a maximum <b>height</b> of 22 storeys  |            |         |
| 6.2.5.XX2.12   | Minimum setback from a <b>parking structure</b> completely below or above finished grade inclusive of external above grade access stairwells, to a <b>lot line</b>  | 1.0 m      |         |
| 6.2.5.XX2.13   | Minimum resident <b>parking spaces</b> per <b>apartment dwelling unit</b>   | 1.0        |         |
| 6.2.5.XX2.14   | Minimum number of <b>parking spaces</b> per <b>retirement dwelling unit</b>   | 0.4        |         |
| 6.2.5.XX2.15   | Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>  | 0.15       |         |
| 6.2.5.XX2.16   | Maximum percentage of required resident <b>parking spaces</b> that may be tandem, provided that each pair of <b>tandem parking spaces</b> is allocated to one <b>dwelling unit</b>  | 25%        |         |
| 6.2.5.XX2.17   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>restaurant</b>  | 9.0        |         |
| 6.2.5.XX2.18   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for an <b>office</b> , <b>medical office</b> , <b>financial institution</b> , <b>personal service establishment</b> , <b>repair establishment</b> , <b>take-out restaurant</b> or <b>retail store</b>    | 1.0        |         |
| 6.2.5.XX2.19   | An <b>enclosed pedestrian mall</b> , a <b>food court</b> , and any corridor not open to the public and used by more than one tenant of the <b>building</b> may be deducted from the total <b>gross floor area - non-residential</b>   |            |         |

| 6.2.5.XX2  | Exception: C4 – XX2  | Map # 1 | By-law:    |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|--|--|---------|------------|-------------|-------------------------------------|--|--|--|---------|------|-----------|---------|-----------------------|------|-----|-----|-----|--------------------|-----|-----|------|-----|-----------------------|-----|-----|------|-----|---------------------|-----|-----|-----|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|------|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|--|-------------------------------------|--|--|--|---------|------|-----------|---------|--------|-----|-----|-----|-----|--------------------|-----|-----|-----|-----|-----------------------|-----|-----|-----|-----|---------------------|-----|-----|------|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|-----|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|
| In a C4 – XX2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply:   |  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX2.20   | Minimum number of <b>parking spaces</b> per 100 m² <b>gross floor area - non-residential</b> for a craft beer brewery with accessory <b>restaurant</b><br>Craft beer brewery<br>Accessory <b>Restaurant</b>  |         | 1.6<br>9.0 |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX2.21   | For the resident visitor component, a shared parking arrangement may be used for the calculation of required visitor/non-residential parking in accordance with the following:<br>the greater of 0.15 visitor spaces per unit or<br>Parking required for a <b>retail store, restaurant, take-out restaurant, personal service establishment, commercial school, financial institution, medical office, office, and day care</b>  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 6.2.5.XX2.22   | Notwithstanding section 3.1.2.3 of this By-law, a shared parking formula may be used as indicated below.<br>All required parking spaces must be accessible to all users participating in the shared parking arrangement and may not be reserved for specific users.<br>The initial step in determining required parking for a mixed use development is to calculate the parking requirement for each <b>use</b> in the development as if these <b>uses</b> were free-standing <b>buildings</b> . The parking requirement for each <b>use</b> is then multiplied by the percent of the peak period for each time period (i.e. noon), contained below. Each column is totalled for weekday and weekend. The highest figure obtained from all time periods shall become the required parking for the mixed use development. |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| <b>Mixed Use Development Shared Parking Formula</b>  |  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| <table><tr><th rowspan="2">Type of Use</th><th colspan="4">Weekday Shared Parking Time Factors</th></tr><tr><th>Morning</th><th>Noon</th><th>Afternoon</th><th>Evening</th></tr><tr><td>Office/Medical Office</td><td>100%</td><td>90%</td><td>95%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>90%</td><td>80%</td><td>100%</td><td>50%</td></tr><tr><td>Financial Institution</td><td>70%</td><td>75%</td><td>100%</td><td>80%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>50%</td><td>70%</td><td>75%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>25%</td><td>65%</td><td>25%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>50%</td><td>25%</td><td>25%</td><td>65%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>100%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>50%</td><td>100%</td></tr><tr><th rowspan="2"></th><th colspan="4">Weekend Shared Parking Time Factors</th></tr><tr><th>Morning</th><th>Noon</th><th>Afternoon</th><th>Evening</th></tr><tr><td>Office</td><td>10%</td><td>10%</td><td>10%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>50%</td><td>50%</td><td>50%</td><td>20%</td></tr><tr><td>Financial Institution</td><td>90%</td><td>90%</td><td>90%</td><td>20%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>75%</td><td>100%</td><td>10%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>20%</td><td>90%</td><td>50%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>70%</td><td>25%</td><td>25%</td><td>50%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>95%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>60%</td><td>100%</td></tr></table> |  |         |            | Type of Use | Weekday Shared Parking Time Factors |  |  |  | Morning | Noon | Afternoon | Evening | Office/Medical Office | 100% | 90% | 95% | 10% | Real Estate Office | 90% | 80% | 100% | 50% | Financial Institution | 70% | 75% | 100% | 80% | Various commercial* | 50% | 50% | 70% | 75% | Restaurant/Take-out Rest. | 25% | 65% | 25% | 100% | Overnight Accom.- Rooms | 50% | 25% | 25% | 65% | Overnight Accom.- Other | 95% | 100% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 50% | 100% |  | Weekend Shared Parking Time Factors |  |  |  | Morning | Noon | Afternoon | Evening | Office | 10% | 10% | 10% | 10% | Real Estate Office | 50% | 50% | 50% | 20% | Financial Institution | 90% | 90% | 90% | 20% | Various commercial* | 50% | 75% | 100% | 10% | Restaurant/Take-out Rest. | 20% | 90% | 50% | 100% | Overnight Accom.- Rooms | 70% | 25% | 25% | 50% | Overnight Accom.- Other | 95% | 95% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 60% | 100% |
| Type of Use  | Weekday Shared Parking Time Factors  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Morning  | Noon    | Afternoon  | Evening     |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office/Medical Office  | 100%   | 90%     | 95%        | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 90%  | 80%     | 100%       | 50%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 70%  | 75%     | 100%       | 80%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%  | 50%     | 70%        | 75%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 25%  | 65%     | 25%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 50%  | 25%     | 25%        | 65%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%  | 100%    | 90%        | 95%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%  | 65%     | 90%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%  | 20%     | 50%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Weekend Shared Parking Time Factors  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Morning  | Noon    | Afternoon  | Evening     |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office   | 10%  | 10%     | 10%        | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 50%  | 50%     | 50%        | 20%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 90%  | 90%     | 90%        | 20%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%  | 75%     | 100%       | 10%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 20%  | 90%     | 50%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 70%  | 25%     | 25%        | 50%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%  | 95%     | 90%        | 95%         |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%  | 65%     | 90%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%  | 20%     | 60%        | 100%        |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| *Various Commercial includes <b>Retail Store, Personal Service Establishment, and Repair Establishments</b>  |  |         |            |             |                                     |  |  |  |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |

| 6.2.5.XX2  | Exception: C4 – XX2   | Map # 1 | By-law: |
|--|---|---------|---------|
| In a C4 – XX2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |
| 6.2.5.XX2.23   | A car-share <b>parking space</b> shall be a <b>parking space</b> dedicated to a short-term vehicle rental for residents   |         |         |
| 6.2.5.XX2.24   | Bicycle-share parking spaces shall be dedicated to short- term bicycle rental for residents and shall be required to meet size requirements as specified on Illustrations on Schedule 3   |         |         |
| 6.2.5.XX2.25   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of four <b>parking spaces</b> for every car-share <b>parking space</b> provided on the site up to a maximum of 1 car-share <b>parking space</b> per 60 <b>dwelling units</b>   |         |         |
| 6.2.5.XX2.26   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of 3 <b>parking spaces</b> for every 10 bicycle-share parking spaces and an additional 1 <b>parking space</b> for 2 bicycle-share parking spaces to a maximum of 25% of total required <b>parking spaces</b> per residential <b>dwelling unit</b>  |         |         |
| 6.2.5.XX2.27   | <div>Minimum number of bicycle parking spaces</div> <div><b>Apartments, retirement building</b></div> <div>Resident0.6 spaces per unit</div> <div>Visitor0.15 spaces per unit</div> <div><b>Office</b></div> <div>Employee0.17 spaces per 100 m<sup>2</sup> GFA – non – residential</div> <div>Visitor0.03 spaces per 100 m<sup>2</sup> GFA – non – residential</div> <div><b>Retail store, personal service establishment, restaurant</b></div> <div>Employee0.085 spaces per 100 m<sup>2</sup> GFA – non – residential</div> <div>Visitor0.25 spaces per 100 m<sup>2</sup> GFA – non – residential</div> <div>All other non-residential uses</div> <div>Employee4% of required parking</div> <div>Visitor4% of required parking</div>   |         |         |
| 6.2.5.XX2.28   | <div>A bicycle parking space must comply with the following:</div> <div><div>(1) The minimum dimension of a bicycle parking space is:</div><div>(1.1) minimum length1.8 m</div><div>(1.2) minimum width0.6 m</div><div>(1.3) minimum vertical clearance from the ground1.9 m</div><div>(2) the minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:</div><div>(2.1) minimum length or vertical clearance</div><div>(2.2) minimum width1.9 m</div><div>(2.3) minimum horizontal clearance from the wall0.6 m</div><div>(3) the minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided1.2 m</div><div>(4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:</div><div>(4.1) for a stacked bicycle parking space2.4 m</div><div>(4.2) all other cases1.9 m</div><div>(5) A bicycle parking space must have a minimum aisle clearance of:</div><div>(5.1) when facing a wall or other obstacle0.9 m</div><div>(5.2) when facing a bicycle parking space1.5 m</div></div> |         |         |

| 6.2.5.XX2  | Exception: C4 – XX2   | Map # 1 | By-law:  |
|--|---|---------|--|
| In a C4 – XX2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |         |  |
| 6.2.5.XX2.29   | One change facility per gender containing a change room and shower stalls shall be provided accessory to each <b>building</b> in accordance with the following: |         |  |
|  | Minimum number of shower stalls per gender in a change facility for all permanent <b>structures</b> and <b>buildings</b>  |         | Required Number of Shower stalls Per gender    |
|  | Minimum number of shower stalls per gender in a change facility   |         |  |
|  | 0-4   |         | 0  |
|  | 5-29  |         | 1  |
|  | 30-59   |         | 2  |
|  | 60-89   |         | 3  |
|  | 90-119  |         | 4  |
|  | 120-149   |         | 5  |
|  | 150-179   |         | 6  |
|  | Over 179  |         | 7 plus 1 for each additional 30 bicycle spaces |
| 6.2.5.XX2.30   | <b>Driveways, aisles,</b> and visitor parking may be shared with abutting lands zoned RA5 – XX and/or C4-XX3  |         |  |
| 6.2.5.XX2.31   | Minimum number of <b>loading spaces</b>   |         | 0  |

7. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 6.2.5.XX3  | Exception: C4-XX3   | Map # 1 | By-law: |
|--|---|---------|---------|
| In a C4-XX3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |
| <b>Permitted Uses</b>  |   |         |         |
| 6.2.5.XX3.1  | Lands zoned C4-XX3 shall only be used for the following:<br>(1) <b>Retail store</b> less than or equal to 250 m <sup>2</sup> <b>GFA – non-residential</b><br>(2) <b>Restaurant</b><br>(3) <b>Take-out restaurant</b><br>(4) Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b><br>(5) <b>Personal service establishment</b><br>(6) <b>Commercial School</b><br>(7) <b>Repair establishment</b><br>(8) <b>Office</b><br>(9) <b>Apartment</b><br>(10) <b>Dwelling unit</b> located above the <b>first storey</b> of a commercial <b>building</b><br>(11) Live/work unit<br>(12) Creative industry incubator space<br>(13) Cultural infrastructure facilities<br>(14) <b>Staff/Student Residence</b> for lands zoned I-XX<br>(15) <b>Public school</b><br>(16) <b>Passive Recreational Use</b><br>(17) <b>Active Recreational Use</b><br>(18) <b>Parking lot</b> |         |         |
| <b>Regulations</b>   |   |         |         |
| 6.2.5.XX3.2  | The provisions contained in Lines 1.0, and 3.0 of Table 2.1.2.1.1, subsection 2.1.2, Lines 4.0, 5.0, 6.0, 7.0, 8.0, 9.0 and 11.0 in Table 2.1.9.1, article 2.1.25.4, subsection 2.1.30, Lines 2.6.1, 2.6.2, 2.6.3, 2.6.4, 11.1, 12.3, 12.4, 14.0 and 16.0 contained in Table 6.2.1 of this By-law shall not apply   |         |         |
| 6.2.5.XX3.3  | For the purposes of this By-law, all lands zoned C4-XX3 shall be considered one <b>lot</b> for each parcel separated by public rights-of-way  |         |         |



| 6.2.5.XX3  | Exception: C4-XX3  | Map # 1 | By-law:    |
|--|--|---------|------------|
| In a C4-XX3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply: |  |         |            |
| 6.2.5.XX3.4  | Maximum number of <b>dwelling units</b> on all lands zoned RA5-XX, C4-XX1, C4-XX2, and C4-XX3  |         | 8,050      |
| 6.2.5.XX3.5  | An <b>office, personal service establishment, repair establishment, restaurant, take-out restaurant</b> or <b>retail store</b> located in an <b>apartment building</b> shall only be located within the <b>first storey</b> of the apartment <b>building</b>   |         |            |
| 6.2.5.XX3.6  | The ground floor of a <b>parking structure</b> facing a public <b>street</b> or mews shall only be used for cultural infrastructure facilities, <b>office, retail store, personal service establishments, restaurant, and take-out restaurant</b> uses   |         |            |
| 6.2.5.XX3.7  | The area of the ground floor of a <b>parking structure</b> used for cultural infrastructure facilities, <b>office, retail store, personal service establishments, restaurant, and take-out restaurant</b> uses shall be limited to the first 20m facing a public <b>street</b> or mews   |         |            |
| 6.2.5.XX3.8  | Maximum <b>height</b> for all <b>buildings</b>   |         | 12 Storeys |
| 6.2.5.XX3.9  | Minimum resident <b>parking spaces</b> per <b>apartment dwelling unit</b>  |         | 1.0        |
| 6.2.5.XX3.10   | Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>   |         | 0.15       |
| 6.2.5.XX3.11   | Maximum percentage of required resident <b>parking spaces</b> that may be tandem, provided that each pair of <b>tandem parking spaces</b> is allocated to one <b>dwelling unit</b>   |         | 25%        |
| 6.2.5.XX3.12   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>restaurant</b>   |         | 9.0        |
| 6.2.5.XX3.13   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>retail store, personal service establishment, or office</b>  |         | 3.0        |
| 6.2.5.XX3.14   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>financial institution, real estate office, or medical office</b>   |         | 4.85       |
| 6.2.5.XX3.15   | <b>Driveways, aisles,</b> and visitor parking may be shared with abutting lands zoned C4-XX2 and I-XX  |         |            |
| 6.2.5.XX3.16   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a cultural infrastructure use   |         | 3.0        |
| 6.2.5.XX3.17   | A car-share <b>parking space</b> shall be a <b>parking space</b> dedicated to a short-term vehicle rental for residents  |         |            |
| 6.2.5.XX3.18   | Bicycle-share parking spaces shall be dedicated to short-term bicycle rental for residents and shall be required to meet size requirements as specified on Illustrations on Schedule 3   |         |            |
| 6.2.5.XX3.19   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of four <b>parking spaces</b> for every car-share <b>parking space</b> provided on the site up to a maximum of 1 car-share <b>parking space</b> per 60 <b>dwelling units</b>  |         |            |
| 6.2.5.XX3.20   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of 3 <b>parking spaces</b> for every 10 bicycle-share parking spaces and an additional 1 <b>parking space</b> for 2 bicycle-share parking spaces to a maximum of 25% of total required <b>parking spaces</b> per residential <b>dwelling unit</b> |         |            |
| 6.2.5.XX3.21   | Minimum number of <b>loading spaces</b>  |         | 0          |
| 6.2.5.XX3.22   | Minimum setback from an above or below grade <b>parking structure</b> inclusive of external above grade access stairwells, to a <b>lot line</b>  |         | 1.0 m      |
| 6.2.5.XX3.23   | Required parking may be provided on lands zoned I-XX   |         |            |

8. By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by adding the following Exception Table:

| 4.15.6.XX  | Exception: RA5-XX   | Map # 1 | By-law: |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
|--|---|---------|---------|-------------|-------------------------|---|------------|---|------------|----|------------|----|------------|----|------------|----|------------|----|------------|----|------------|----|------------|----|------------|---|------------|---|------------|---|------------|----|------------|----|------------|-----|------------|-----|------------|----|------------|----|------------|----|------------|
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| <b>Additional Permitted Use</b>  |   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4.15.6.XX.1  | <div><div>(1) <b>Townhouse</b></div><div>(2) <b>Townhouse on a CEC road</b></div><div>(3) <b>Back to Back townhouse</b></div><div>(4) <b>Back to Back townhouse on a CEC road</b></div><div>(5) <b>Stacked townhouse</b></div><div>(6) <b>Stacked townhouse on a CEC road</b></div><div>(7) <b>Parking lot</b></div><div>(8) <b>Restaurant</b></div><div>(9) <b>Take-out restaurant</b></div><div>(10) Outdoor patio accessory to a <b>restaurant</b> or <b>take-out restaurant</b></div><div>(11) <b>Personal Service Establishment</b></div><div>(12) <b>Medical office - restricted</b></div><div>(13) <b>Day Care</b></div><div>(14) <b>Retail store</b></div><div>(15) <b>Animal care establishment</b></div><div>(16) <b>Financial Institution</b></div><div>(17) Model Home in a <b>townhouse, back-to-back townhouse, or stacked townhouse</b> constructed for the purpose of display and sale of dwelling units to be constructed on lots within a registered plan of subdivision or condominium</div></div>   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| <b>Regulations</b>   |   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4.15.6.XX.2  | The provisions contained in Lines 1.0 and 3.0 in Table 2.1.2.1.1, subsection 2.1.14, article 2.1.16.2, subsection 2.1.30, Lines 6.0, 7.0, 9.0 and 11.0 in Table 2.1.9.1, Lines 4.0, 5.0, 6.0, 8.1, 8.2, 8.3, 8.4, 9.1, 9.2, 9.3, 9.4, 10.1, 10.2, 10.3, 10.4, 11.1, 11.2, 11.3, 12.3, 12.4, 13.4, 13.5, 15.1, 15.2, 15.3, 15.4, 15.5, 15.6, and 16.0 in Table 4.15.1 of this By-law shall not apply   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4.15.6.XX.3  | Maximum heights of all <b>apartments, long-term care buildings, and retirement buildings</b> , on Parcel Areas 1 to 15 as identified on Schedule RA5- XX of this Exception shall conform to the following schedule: <table><tr><th>Parcel Area</th><th>Maximum Building Height</th></tr><tr><td>1</td><td>15 Storeys</td></tr><tr><td>2</td><td>15 Storeys</td></tr><tr><td>3A</td><td>15 Storeys</td></tr><tr><td>3B</td><td>25 Storeys</td></tr><tr><td>4A</td><td>25 Storeys</td></tr><tr><td>4B</td><td>21 Storeys</td></tr><tr><td>5A</td><td>18 Storeys</td></tr><tr><td>5B</td><td>15 Storeys</td></tr><tr><td>6A</td><td>28 Storeys</td></tr><tr><td>6B</td><td>15 Storeys</td></tr><tr><td>7</td><td>15 Storeys</td></tr><tr><td>8</td><td>15 Storeys</td></tr><tr><td>9</td><td>15 Storeys</td></tr><tr><td>10</td><td>29 Storeys</td></tr><tr><td>11</td><td>24 Storeys</td></tr><tr><td>12A</td><td>40 Storeys</td></tr><tr><td>12B</td><td>15 Storeys</td></tr><tr><td>13</td><td>12 Storeys</td></tr><tr><td>14</td><td>17 Storeys</td></tr><tr><td>15</td><td>12 Storeys</td></tr></table> |         |         | Parcel Area | Maximum Building Height | 1 | 15 Storeys | 2 | 15 Storeys | 3A | 15 Storeys | 3B | 25 Storeys | 4A | 25 Storeys | 4B | 21 Storeys | 5A | 18 Storeys | 5B | 15 Storeys | 6A | 28 Storeys | 6B | 15 Storeys | 7 | 15 Storeys | 8 | 15 Storeys | 9 | 15 Storeys | 10 | 29 Storeys | 11 | 24 Storeys | 12A | 40 Storeys | 12B | 15 Storeys | 13 | 12 Storeys | 14 | 17 Storeys | 15 | 12 Storeys |
| Parcel Area  | Maximum Building Height   |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 1  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 2  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 3A   | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 3B   | 25 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4A   | 25 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4B   | 21 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 5A   | 18 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 5B   | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 6A   | 28 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 6B   | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 7  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 8  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 9  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 10   | 29 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 11   | 24 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 12A  | 40 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 12B  | 15 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 13   | 12 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 14   | 17 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 15   | 12 Storeys  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4.15.6.XX.4  | Maximum number of <b>dwelling units</b> on all lands zoned RA5 XX, C4-XX1, C4-XX2, and C4-XX3   | 8,050   |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |
| 4.15.6.XX.5  | For the purposes of this By-law, Parcel Blocks as pairs 3A to 3B, 4A to 4B, 5A to 5B, 6A to 6B, and 12A to 12B inclusive identified on Schedule 1 of this Exception shall be considered one property  |         |         |             |                         |   |            |   |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |    |            |   |            |   |            |   |            |    |            |    |            |     |            |     |            |    |            |    |            |    |            |

| 4.15.6.XX  | Exception: RA5-XX  | Map # 1 | By-law: |
|--|--|---------|---------|
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |  |         |         |
| 4.15.6.XX.6  | A surface <b>parking lot</b> shall only be permitted Parcel Areas 3A, 3B, 6B, 8, 9, 10, 11, 12B, 13, 14, and 15 as indicated on Schedule 1 of this By-law  |         |         |
| 4.15.6.XX.7  | The surface <b>parking lot</b> shall not be permitted after a Parcel Area as identified on Schedule 1 has been developed to 50% of the Parcel Area <b>lot area</b>   |         |         |
| 4.15.6.XX.8  | All non-residential <b>uses</b> shall not be permitted on Parcel Areas 5B and 7  |         |         |
| 4.15.6.XX.9  | All non-residential <b>uses</b> shall only be permitted within a <b>building, structure</b> or part thereof, used for an <b>apartment, long-term care building, retirement building</b> , or any combination thereof   |         |         |
| 4.15.6.XX.10   | A <b>day care</b> may be located within a <b>retirement building</b> and/or <b>apartment</b> and the accessory outdoor play area may be at grade or on the roof of the <b>building</b> or <b>structure</b>   |         |         |
| 4.15.6.XX.11   | An interim free-standing district energy facility providing heating and cooling for the surrounding lands shall be located within a <b>building</b> or <b>structure</b>  |         |         |
| 4.15.6.XX.12   | A <b>structure</b> required for permitting physical services and utilities under subsection 2.1.1.2 of this By-law shall not be subject to the zone regulations  |         |         |
| 4.15.6.XX.13   | <b>Motor vehicle</b> parking may be provided off site on lands zoned RA5-XX, C4-XX1, and C4-XX2  |         |         |
| 4.15.6.XX.14   | Below grade <b>parking structures</b> under <b>private roads</b> shall be permitted  |         |         |
| 4.15.6.XX.15   | Minimum resident <b>parking spaces</b> per <b>apartment dwelling unit</b>  |         | 1.0     |
| 4.15.6.XX.16   | Minimum resident <b>parking spaces</b> per <b>townhouse, townhouse on a CEC road, back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, and stacked townhouse on a CEC road</b>   |         | 1.4     |
| 4.15.6.XX.17   | Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>   |         | 0.15    |
| 4.15.6.XX.18   | Minimum number of <b>parking spaces</b> per <b>retirement dwelling unit</b>  |         | 0.4     |
| 4.15.6.XX.19   | No <b>townhouse, townhouse on a CEC road, back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, and stacked townhouse on a CEC road</b> shall have a private driveway with direct access to, or a <b>front garage facing</b> a public street  |         |         |
| 4.15.6.XX.20   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>restaurant</b>   |         | 9.0     |
| 4.15.6.XX.21   | No parking shall be required for an outdoor patio associated with a <b>restaurant</b> or <b>take-out restaurant</b>  |         |         |
| 4.15.6.XX.22   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>retail store, personal service establishment, animal care establishment, medical office – restricted, or take- out restaurant</b>  |         | 0.0     |
| 4.15.6.XX.23   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for a <b>financial institution</b>  |         | 4.85    |
| 4.15.6.XX.24   | Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> for an <b>office</b>  |         | 3.0     |
| 4.15.6.XX.25   | A car-share <b>parking space</b> shall be a <b>parking space</b> dedicated to a short-term vehicle rental for residents  |         |         |
| 4.15.6.XX.26   | Bicycle-share parking spaces shall be dedicated to short- term bicycle rental for residents and shall be required to meet size requirements as specified on Illustrations on Schedule 3  |         |         |
| 4.15.6.XX.27   | <b>Pervious material</b> is permitted on any surface driveways, aisleways, or parking  |         |         |
| 4.15.6.XX.28   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of four <b>parking spaces</b> for every car-share <b>parking space</b> provided on the site up to a maximum of 1 car-share <b>parking space</b> per 60 <b>dwelling units</b>  |         |         |
| 4.15.6.XX.29   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of 3 <b>parking spaces</b> for every 10 bicycle-share parking spaces and an additional 1 <b>parking space</b> for 2 bicycle-share parking spaces to a maximum of 25% of total required <b>parking spaces</b> per residential <b>dwelling unit</b> |         |         |

|  |   |         |                      |
|--|---|---------|----------------------|
| 4.15.6.XX  | Exception: RA5-XX   | Map # 1 | By-law:              |
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |   |         |                      |
| 4.15.6.XX.30   | Minimum number of bicycle parking spaces  |         |                      |
|  | <b>Apartment, townhouse, townhouse on a CEC road, back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, and stacked townhouse on a CEC road</b> which do not have an exclusive use garage and driveway   |         |                      |
|  | Resident  |         | 0.6 spaces per unit  |
|  | Visitor   |         | 0.15 spaces per unit |
| 4.15.6.XX.31   | A bicycle parking space must comply with the following:   |         |                      |
|  | (1) The minimum dimension of a bicycle parking space is:  |         |                      |
|  | (1.1) minimum length  |         | 1.8 m                |
|  | (1.2) minimum width   |         | 0.6 m                |
|  | (1.3) minimum vertical clearance from the ground  |         | 1.9 m                |
|  | (2) the minimum dimension of a bicycle parking space if placed in a vertical position on a wall, structure or mechanical device is:   |         | 1.9 m                |
|  | (2.1) minimum length or vertical clearance  |         | 0.6 m                |
|  | (2.2) minimum width   |         | 1.2 m                |
|  | (2.3) minimum horizontal clearance from the wall  |         |                      |
|  | (3) the minimum vertical clearance for each bicycle parking space if a stacked bicycle parking space is provided  |         | 1.2 m                |
|  | (4) An area used to provide bicycle parking spaces must have a minimum vertical clearance of:   |         |                      |
|  | (4.1) for a stacked bicycle parking space   |         | 2.4 m                |
|  | (4.2) all other cases   |         | 1.9 m                |
|  | (5) A bicycle parking space must have a minimum aisle clearance of:   |         |                      |
|  | (5.1) when facing a wall or other obstacle  |         | 0.9 m                |
|  | (5.2) when facing a bicycle parking space   |         | 1.5 m                |
| 4.15.6.XX.32   | Total resident <b>parking spaces</b> per residential <b>dwelling unit</b> may be reduced at a rate of 1 vehicle <b>parking space</b> for every 5 bicycle parking space provided in excess of the minimum number of bicycle parking spaces, if the reduction of the vehicle <b>parking space</b> is not greater than 20% of the total minimum vehicle <b>parking spaces</b> required |         |                      |
| 4.15.6.XX.33   | For the visitor component, a shared parking arrangement may be used for the calculation of required visitor/non- residential parking in accordance with the following:<br>the greater of 0.15 visitor spaces per unit or<br>Parking required for a <b>restaurant, take-out restaurant, personal service establishment, day care, and retail store</b>                               |         |                      |

|  |  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|--|--|------------------------|-----------|---------|-------------------------------------|--|--|--|-------------|---------|------|-----------|---------|-----------------------|------|-----|-----|-----|--------------------|-----|-----|------|-----|-----------------------|-----|-----|------|-----|---------------------|-----|-----|-----|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|------|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|--|-------------------------------------|--|--|--|--|---------|------|-----------|---------|--------|-----|-----|-----|-----|--------------------|-----|-----|-----|-----|-----------------------|-----|-----|-----|-----|---------------------|-----|-----|------|-----|---------------------------|-----|-----|-----|------|-------------------------|-----|-----|-----|-----|-------------------------|-----|-----|-----|-----|-------------|-----|-----|-----|------|----------------------|-----|-----|-----|------|
| 4.15.6.XX  | Exception: RA5-XX  | Map # 1                | By-law:   |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.34   | <p>Notwithstanding section 3.1.2.3 of this By-law, a shared parking formula may be used as indicated below.</p> <p>All required parking spaces must be accessible to all users participating in the shared parking arrangement and may not be reserved for specific users.</p> <p>The initial step in determining required parking for a mixed use development is to calculate the parking requirement for each <b>use</b> in the development as if these <b>uses</b> were free-standing <b>buildings</b>. The parking requirement for each <b>use</b> is then multiplied by the percent of the peak period for each time period (i.e. noon), contained below. Each column is totalled for weekday and weekend. The highest figure obtained from all time periods shall become the required parking for the mixed use development.</p> <p><b>Mixed Use Development Shared Parking Formula</b></p> <table><tr><td></td><td colspan="4">Weekday Shared Parking Time Factors</td></tr><tr><td>Type of Use</td><td>Morning</td><td>Noon</td><td>Afternoon</td><td>Evening</td></tr><tr><td>Office/Medical Office</td><td>100%</td><td>90%</td><td>95%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>90%</td><td>80%</td><td>100%</td><td>50%</td></tr><tr><td>Financial Institution</td><td>70%</td><td>75%</td><td>100%</td><td>80%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>50%</td><td>70%</td><td>75%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>25%</td><td>65%</td><td>25%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>50%</td><td>25%</td><td>25%</td><td>65%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>100%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>50%</td><td>100%</td></tr><tr><td></td><td colspan="4">Weekend Shared Parking Time Factors</td></tr><tr><td></td><td>Morning</td><td>Noon</td><td>Afternoon</td><td>Evening</td></tr><tr><td>Office</td><td>10%</td><td>10%</td><td>10%</td><td>10%</td></tr><tr><td>Real Estate Office</td><td>50%</td><td>50%</td><td>50%</td><td>20%</td></tr><tr><td>Financial Institution</td><td>90%</td><td>90%</td><td>90%</td><td>20%</td></tr><tr><td>Various commercial*</td><td>50%</td><td>75%</td><td>100%</td><td>10%</td></tr><tr><td>Restaurant/Take-out Rest.</td><td>20%</td><td>90%</td><td>50%</td><td>100%</td></tr><tr><td>Overnight Accom.- Rooms</td><td>70%</td><td>25%</td><td>25%</td><td>50%</td></tr><tr><td>Overnight Accom.- Other</td><td>95%</td><td>95%</td><td>90%</td><td>95%</td></tr><tr><td>Residential</td><td>90%</td><td>65%</td><td>90%</td><td>100%</td></tr><tr><td>Residential Visitors</td><td>20%</td><td>20%</td><td>60%</td><td>100%</td></tr></table> <p>*Various Commercial includes <b>Retail Store, Personal Service Establishment, Animal Care Establishment, and Repair Establishments</b></p> |                        |           |         | Weekday Shared Parking Time Factors |  |  |  | Type of Use | Morning | Noon | Afternoon | Evening | Office/Medical Office | 100% | 90% | 95% | 10% | Real Estate Office | 90% | 80% | 100% | 50% | Financial Institution | 70% | 75% | 100% | 80% | Various commercial* | 50% | 50% | 70% | 75% | Restaurant/Take-out Rest. | 25% | 65% | 25% | 100% | Overnight Accom.- Rooms | 50% | 25% | 25% | 65% | Overnight Accom.- Other | 95% | 100% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 50% | 100% |  | Weekend Shared Parking Time Factors |  |  |  |  | Morning | Noon | Afternoon | Evening | Office | 10% | 10% | 10% | 10% | Real Estate Office | 50% | 50% | 50% | 20% | Financial Institution | 90% | 90% | 90% | 20% | Various commercial* | 50% | 75% | 100% | 10% | Restaurant/Take-out Rest. | 20% | 90% | 50% | 100% | Overnight Accom.- Rooms | 70% | 25% | 25% | 50% | Overnight Accom.- Other | 95% | 95% | 90% | 95% | Residential | 90% | 65% | 90% | 100% | Residential Visitors | 20% | 20% | 60% | 100% |
|  | Weekday Shared Parking Time Factors  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Type of Use  | Morning  | Noon                   | Afternoon | Evening |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office/Medical Office  | 100%   | 90%                    | 95%       | 10%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 90%  | 80%                    | 100%      | 50%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 70%  | 75%                    | 100%      | 80%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%  | 50%                    | 70%       | 75%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 25%  | 65%                    | 25%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 50%  | 25%                    | 25%       | 65%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%  | 100%                   | 90%       | 95%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%  | 65%                    | 90%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%  | 20%                    | 50%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Weekend Shared Parking Time Factors  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
|  | Morning  | Noon                   | Afternoon | Evening |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Office   | 10%  | 10%                    | 10%       | 10%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Real Estate Office   | 50%  | 50%                    | 50%       | 20%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Financial Institution  | 90%  | 90%                    | 90%       | 20%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Various commercial*  | 50%  | 75%                    | 100%      | 10%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Restaurant/Take-out Rest.  | 20%  | 90%                    | 50%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Rooms  | 70%  | 25%                    | 25%       | 50%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Overnight Accom.- Other  | 95%  | 95%                    | 90%       | 95%     |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential  | 90%  | 65%                    | 90%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| Residential Visitors   | 20%  | 20%                    | 60%       | 100%    |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.35   | Maximum percentage of required resident <b>parking spaces</b> that may be tandem, provided that each pair of <b>tandem parking spaces</b> is allocated to one <b>dwelling unit</b>   | 25%                    |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.36   | <b>Driveways, aisles,</b> and visitor parking may be shared with abutting lands zoned C4-XX1, and C4-XX2   |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.37   | A <b>structure</b> required for permitting physical services and utilities under subsection 2.1.1.2 of this By-law shall not be subject to the zone regulations  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.38   | Minimum <b>landscaped area</b>   | 25% of <b>lot area</b> |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.39   | Minimum <b>landscaped area</b> for Parcel Blocks 12A, 12B, and 15  | 10% of <b>lot area</b> |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.40   | Minimum setback of a rooftop from all exterior edges   | 0.0 m                  |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |
| 4.15.6.XX.41   | <b>Accessory Buildings and Structures</b><br><br>A maximum of one <b>accessory building</b> or <b>structure</b> , other than a detached <b>garage</b> , and/or two gazebos and/or two pergolas per lot shall be permitted for every <b>apartment, long-term care building, or retirement building</b><br><b>Accessory building</b> maximum height5.0 m<br><b>Gazebo</b> maximum height6.0 m<br><b>Accessory building</b> maximum <b>Floor Area</b> 30 m <sup>2</sup><br><b>Gazebo</b> maximum <b>Floor Area</b> 30 m <sup>2</sup>  |                        |           |         |                                     |  |  |  |             |         |      |           |         |                       |      |     |     |     |                    |     |     |      |     |                       |     |     |      |     |                     |     |     |     |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |      |     |     |             |     |     |     |      |                      |     |     |     |      |  |                                     |  |  |  |  |         |      |           |         |        |     |     |     |     |                    |     |     |     |     |                       |     |     |     |     |                     |     |     |      |     |                           |     |     |     |      |                         |     |     |     |     |                         |     |     |     |     |             |     |     |     |      |                      |     |     |     |      |

|  |   |         |         |
|--|---|---------|---------|
| 4.15.6.XX  | Exception: RA5-XX   | Map # 1 | By-law: |
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |   |         |         |
| 4.15.6.XX.42   | Maximum projection of a <b>balcony</b> for the first five <b>storeys</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects  | 3.5 m   |         |
| 4.15.6.XX.43   | Maximum projection of a <b>balcony</b> for the sixth <b>storey</b> or higher measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects  | 2.6 m   |         |
| 4.15.6.XX.44   | Notwithstanding section 2.1.16.2 of this By-law, a <b>model home</b> may be permitted on lands zoned to permit <b>townhouse, townhouse on a CEC road, back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, stacked townhouse on a CEC road, and/or apartments</b> |         |         |
| 4.15.6.XX.45   | The number of <b>model homes</b> for any draft approved plan of subdivision shall not exceed 50% of the total number of blocks  |         |         |
| 4.15.6.XX.46   | <b>Back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, and stacked townhouse on a CEC road</b> is subject to the regulations in the table below and the applicable footnotes from Table 4.14.1 of this By-law:   |         |         |

| Regulations table for <b>Back to back townhouse, back to back townhouse on a CEC road, stacked townhouse, and stacked townhouse on a CEC road</b>                                       |  |  |
|---|--|--|
| Column  | A  | B  |
| ZONES   | Back-to-Back townhouse                     | Stacked townhouse                          |
| PERMITTED USES  |  |  |
| RESIDENTIAL   |  |  |
| Stacked Townhouse, Stacked Townhouse on a CEC   | ✓  |  |
| Back to back Townhouse on a CEC, Back to Back Townhouse   |  | ✓  |
| ZONES   | Back-to-Back townhouse                     | Stacked townhouse                          |
| ZONE REGULATIONS  |  |  |
| MINIMUM LOT FRONTAGE  | 21.6 m                                     | 16.0 m                                     |
| MINIMUM DWELLING UNIT WIDTH   | 4.5 m                                      | 4.5 m                                      |
| MAXIMUM DWELLING HEIGHT   |  |  |
| Sloped roof   | 17.0 m <sup>(1)</sup> and 4 <b>storeys</b> | 17.0 m <sup>(1)</sup> and 4 <b>storeys</b> |
| Flat roof   | 13.0 m and 4 <b>storeys</b> <sup>(9)</sup> | 11.0 m and 3 <b>storeys</b> <sup>(9)</sup> |
| MINIMUM FRONT YARD  | 3.0 m <sup>(2)</sup>                       | 3.0 m <sup>(2)</sup>                       |
| MINIMUM EXTERIOR SIDE YARD  | 2.4 m <sup>(2)</sup>                       | 2.4 m <sup>(2)</sup>                       |
| MINIMUM INTERIOR SIDE YARD  | 1.2 m <sup>(2)</sup>                       | 1.2 m <sup>(2)</sup>                       |
| Where any portion of the <b>interior side lot line</b> abuts a zone permitting <b>detached dwellings</b> and/or <b>semi-detached</b>  | 1.2 m <sup>(2)</sup>                       | 1.2 m <sup>(2)</sup>                       |
| Where the <b>interior side lot line</b> abuts a RM4, RM5, RM6, RM7, RM8, RM9, RM10, RM11, or RM12 zone and the rear wall of the <b>building</b> abuts the <b>interior side lot line</b> | 1.2 m <sup>(2)(3)</sup>                    |  |
| Where the <b>front wall</b> of a <b>building</b> abuts the <b>interior side lot line</b>  | 1.2 m <sup>(2)</sup>                       | 1.2 m <sup>(2)</sup>                       |
| MINIMUM REAR YARD   | 7.5 m <sup>(2)</sup>                       | 6.0 m <sup>(2)</sup>                       |
| Where any portion of the <b>rear lot line</b> abuts a zone permitting <b>detached dwellings</b> and/or <b>semi-detached</b>   | 9.0 m <sup>(2)</sup>                       | 6.0 m <sup>(2)</sup>                       |
| Where the <b>front wall</b> of the <b>building</b> abuts the <b>rear lot line</b>   | 9.0 m <sup>(2)</sup>                       | 6.0 m <sup>(2)</sup>                       |
| PROJECTIONS   |  |  |
| Maximum projection of a <b>balcony</b> , awning or <b>deck</b> , exclusive of stairs, from the outermost face or faces of the <b>building</b>   | 2.4 m                                      | 2.4 m                                      |

|   |                                 |                                 |
|---|---------------------------------|---------------------------------|
| Maximum projection of any part of a <b>building</b> , including architectural features but exclusive of stairs, above a below grade patio   | 50% of the depth of the patio   | n/a                             |
| <b>Column A</b>   | <b>B</b>                        | <b>C</b>                        |
| <b>ZONES</b>  | <b>Back-to-Back townhouse</b>   | <b>Stacked townhouse</b>        |
| <b>MINIMUM INTERNAL SETBACKS</b>  |                                 |                                 |
| From a <b>garage face</b> to a <b>condominium road</b> or sidewalk  | 6.0 m                           | 6.0 m                           |
| <b>MINIMUM INTERNAL SETBACKS</b>  |                                 |                                 |
| From a <b>garage face</b> to a <b>condominium road</b> or sidewalk  | 6.0 m                           | 6.0 m                           |
| From a <b>garage face</b> to a <b>condominium road</b> or sidewalk, where the <b>garage</b> and <b>driveway</b> are accessed at the rear of the <b>dwelling unit</b>  | 1.0 m                           | 1.0 m                           |
| From the <b>front wall</b> of a <b>building</b> to a <b>condominium road</b> , sidewalk, walkway or <b>parking space</b> not located on a <b>driveway</b>   | 3.0 m                           | 3.0 m                           |
| From a <b>porch</b> , exclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , to a <b>condominium road</b> , sidewalk, walkway or <b>parking space</b>   | 1.5 m                           | 1.5 m                           |
| From a rear wall of a <b>building</b> to a side wall of another <b>building</b> on the same <b>lot</b>  | 7.2 m                           | 7.2 m                           |
| From a rear wall of a <b>building</b> to a rear wall of another <b>building</b> on the same <b>lot</b>  | 12.0 m                          | 12.0 m                          |
| From a side wall of a <b>building</b> to a side wall of another <b>building</b> on the same <b>lot</b>  | 2.4 m                           | 2.4 m                           |
| From a side wall of any <b>building</b> to a <b>walkway</b>   | 1.2 m                           | 1.2 m                           |
| From a side wall of a <b>building</b> to a <b>condominium road</b> , sidewalk, or <b>parking space</b>  | 2.4 m                           | 2.4 m                           |
| From a <b>front wall</b> of a <b>building</b> to a <b>front wall</b> of another <b>building</b> on the same <b>lot</b> , where the <b>building</b> is less than or equal to three <b>storeys</b>  | 12.0 m <sup>(4)</sup>           | 12.0 m                          |
| From a <b>front wall</b> of a <b>building</b> to a <b>front wall</b> of another <b>building</b> on the same <b>lot</b> , where the <b>building</b> is less than or equal to three <b>storeys</b> and contains a <b>dwelling unit</b> in the <b>basement</b> | 15.0 m                          | 15.0 m                          |
| From a <b>front wall</b> of a <b>building</b> to a <b>front wall</b> of another <b>building</b> on the same <b>lot</b> , where the <b>building</b> is four <b>storeys</b>   | 12.0 m <sup>(4)</sup>           | 12.0 m                          |
| From a <b>front wall</b> of a <b>building</b> to a side wall of another <b>building</b> on the same <b>lot</b>  | 7.2 m <sup>(4)</sup>            | 7.2 m                           |
| The area created by the minimum separation distance between <b>buildings</b> may include the required <b>amenity area</b>   |                                 |                                 |
| <b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>  |                                 |                                 |
| Attached <b>garage</b>  | Permitted <sup>(5)</sup>        | Permitted <sup>(5)</sup>        |
| Minimum <b>parking spaces</b>   | ✓ <sup>(6)</sup> <sup>(7)</sup> | ✓ <sup>(6)</sup> <sup>(7)</sup> |
| Minimum visitor <b>parking spaces</b>   | ✓ <sup>(6)</sup>                | ✓ <sup>(6)</sup>                |
| Maximum <b>driveway</b> width   | 3.0 m <sup>(7)</sup>            | 3.0 m <sup>(7)</sup>            |
| <b>PARKING AREAS AND PARKING STRUCTURE SETBACKS</b>   |                                 |                                 |
| Minimum setback between a <b>parking space</b> and an <b>interior side lot line</b> and/or <b>rear lot line</b>   | 0.9 m                           | 0.9 m                           |
| Minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>  | 1.0 m                           | 1.0 m                           |
| Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>  | 1.0 m                           | 1.0 m                           |
| <b>CONDOMINIUM ROADS, SIDEWALKS AND WALKWAYS</b>  |                                 |                                 |
| Minimum width of a <b>condominium road</b>  | 6.0 m                           | 6.0 m                           |
| <b>Condominium roads</b> are permitted to be shared with abutting lands zoned to permit <b>back to back townhouse</b> , <b>stacked townhouse</b> , or <b>apartment</b> , or any combination thereof   | ✓                               | ✓                               |

|  |                               |                               |
|--|-------------------------------|-------------------------------|
| Minimum width of a <b>sidewalk</b> traversed by a <b>driveway</b>  | 1.5 m                         | 1.5 m                         |
| Minimum width of a <b>sidewalk</b> not traversed by a <b>driveway</b>  | 1.5 m                         | 1.5 m                         |
| <b>MINIMUM AMENITY AREA AND LANDSCAPED AREA</b>  |                               |                               |
| Minimum <b>landscaped area</b>   | 6 % of <b>lot area</b>        | 40% of <b>lot area</b>        |
| Minimum required <b>landscaped soft area</b>   | 50% of <b>landscaped area</b> | 50% of <b>landscaped area</b> |
| Minimum <b>landscaped buffer</b> abutting any side and <b>rear lot line</b>  | 3.0 m                         | 3.0 m                         |
| Minimum <b>landscaped buffer</b> abutting any side and <b>rear lot line</b>  | 3.0 m                         | 3.0 m                         |
| A setback from an <b>amenity area</b> shall be unencumbered except for a perpendicular <b>walkway</b> and shall consist of only soft landscaped material | ✓                             | ✓                             |
| Minimum contiguous private outdoor space per unit  | n/a                           | 6.0 m <sup>2</sup>            |
| Minimum contiguous private outdoor space per unit when located on a balcony  | 4.5 m <sup>2</sup>            | 4.5 m <sup>2</sup>            |
| Minimum setback of a rooftop amenity space from all exterior edges of a <b>building</b> adjacent to low density residential development                  | 0.0 m                         | 0.0 m                         |

| 4.15.6.XX  | Exception: RA5-XX   | Map # 1 | By-law:   |
|--|---|---------|---|
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |   |         |   |
| 4.15.6.XX.47   | Minimum <b>amenity area</b>   |         | The greater of 2.3 m <sup>2</sup> per <b>dwelling unit</b> or 5% of the site area |
| 4.15.6.XX.48   | Maximum area of rooftop access/stairwell to be used for washroom and/or kitchen, such area not to be included in <b>gross floor area</b> calculation or in <b>height</b> calculation  |         | 50%   |
| 4.15.6.XX.49   | Notwithstanding Table 4.10.1 of this By-law, a <b>townhouse</b> shall be subject to the following zone regulations:<br>(1) MINIMUM <b>LOT AREA PER DWELLING UNIT</b><br>(2) MINIMUM <b>LOT FRONTAGE</b>   |         | 100 m <sup>2</sup><br>18.0 m  |
| 4.15.6.XX.50   | Notwithstanding Table 4.10.1 of this By-law, a <b>townhouse</b> shall be subject to the following minimum <b>lot line</b> setbacks:<br>(1) From the side wall of a <b>townhouse</b> to a <b>lot line</b> that is not a <b>street line</b><br>(1) From the rear wall of a <b>townhouse</b> to a <b>lot line</b> that is not a <b>street line</b><br>(2) From a <b>wing wall</b> attached to a <b>townhouse</b> to a <b>lot line</b><br>(2) From heating and/or air conditioning equipment to a <b>lot line</b> |         | 1.2 m<br>6.0 m<br>1.2 m<br>0.6 m  |



| 4.15.6.XX  | Exception: RA5-XX   | Map # 1                   | By-law: |
|--|---|---------------------------|---------|
| In an RA5-XX zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply: |   |                           |         |
| 4.15.6.XX.51   | Notwithstanding Table 4.10.1 of this By-law, a <b>townhouse</b> shall be subject to the following minimum internal setbacks:  |                           |         |
|  | (1) From a front and/or side wall of a <b>townhouse</b> to a <b>condominium road</b> , sidewalk or visitor <b>parking space</b>   | 2.4 m                     |         |
|  | (2) From a <b>garage face</b> to a <b>condominium road</b> or sidewalk, where the <b>garage</b> and <b>driveway</b> are accessed at the rear of the <b>dwelling unit</b>  | 1.0 m                     |         |
|  | (3) From a <b>garage face</b> to a <b>condominium road</b> or sidewalk  | 5.75 m                    |         |
|  | (4) From a side wall of a <b>townhouse</b> to a side wall of another dwelling   | 2.4 m                     |         |
|  | (5) From a side wall of a <b>townhouse</b> to an internal walkway   | 1.2 m                     |         |
|  | (6) From a rear wall of a <b>townhouse</b> to a side wall of another dwelling   | 7.2 m                     |         |
|  | (7) From a rear wall of a <b>townhouse</b> to a rear wall of another dwelling   | 12.0 m                    |         |
|  | (8) From a rear wall of a <b>townhouse</b> to a <b>condominium road</b> , sidewalk, or internal walkway   | 6.0 m                     |         |
|  | (9) From a rear wall of a <b>townhouse</b> to a <b>condominium road</b> , sidewalk, or internal walkway where the <b>garage</b> and <b>driveway</b> are accessed at the rear of the <b>dwelling unit</b>  | 2.4 m                     |         |
| 4.15.6.XX.52   | Notwithstanding Table 4.10.1 of this By-law, a <b>townhouse</b> shall be subject to the following maximum projections:  |                           |         |
|  | (1) An awning attached to the front and/or side wall of a <b>townhouse</b>  | 1.0 m                     |         |
|  | (2) <b>Balcony</b> attached to front, side, and or rear wall of a <b>Townhouse</b>  | 1.5 m                     |         |
| 4.15.6.XX.53   | Notwithstanding Table 4.10.1 of this By-law, a <b>townhouse</b> shall be subject to the following maximum <b>height</b> :   |                           |         |
|  | (1) <b>Sloped roof</b>  | 17 m and 4 <b>storeys</b> |         |
|  | (2) <b>Flat roof</b>  | 13 m and 4 <b>storeys</b> |         |
|  | (3) A rooftop access/stairwell, which may include a washroom and/or kitchen, shall not be included in the calculation of <b>height</b>  |                           |         |
| <b>Section 37 Public Benefits Contribution</b>   |   |                           |         |
| 4.15.6.XX.42   | Pursuant to section 37 of the Planning Act, R.S.O 1990, c.P.13, as amended, the height and density of development provided by this Exception shall be permitted subject to the owner of the lands zoned "RA5-XX", "C4-XX1", "C4-XX2", "C4-XX3", "OS1", "OS2", "OS2-XX", "I-XX", "G1", "G1-XX", and "E2-XX"entering into an agreement with The Corporation of the City of Mississauga (the City) for the provision of certain facilities, services or matters in return for the increase in height and density of development granted by this Exception as provided by section 37(3) of the Planning Act, R.S.O. 1990, c.P.13, as amended. This agreement shall be registered on title to the lands zoned "RA5-XX", "C4- XX1", "C4-XX2", "C4-XX3", "OS1", "OS2", "OS2-XX", "I-XX", "G1", "G1-XX", and "E2-XX"and shall require the owner to: |                           |         |
|  | (1) make payment to the City the sum of \$XXX to be used by the City toward upgrades to XX Park, and/or affordable housing initiatives and/or a contribution towards the XX cultural building, and/or construction of a parking structure, and/or streetscape upgrades which may include street related art.  |                           |         |

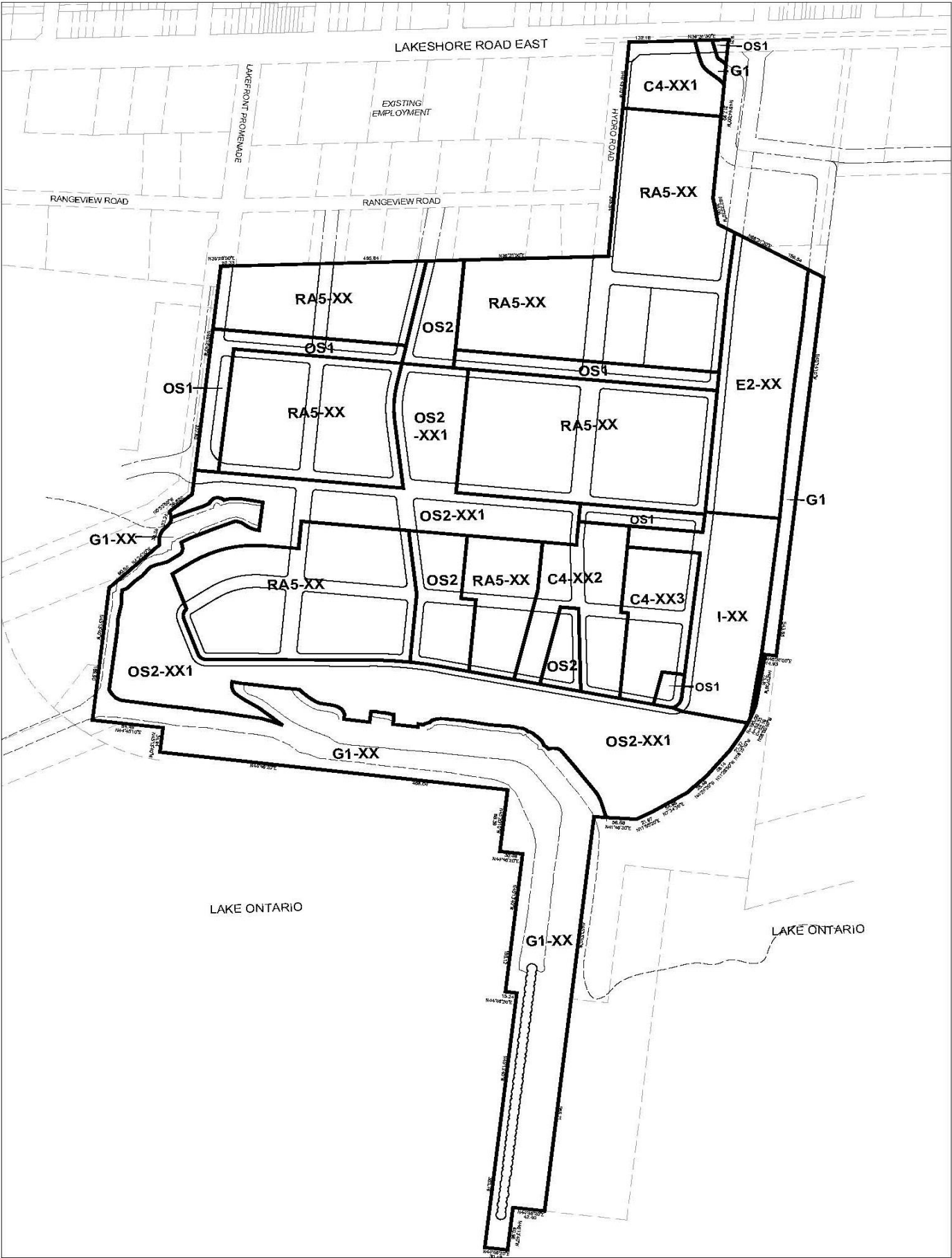
9. Map Number 1 of Schedule "B" to By-law Number 0225-2007, as amended, being a City of Mississauga Zoning By-law, is amended by changing thereon from "U-1" and "G1" to "RA5-XX", "C4-XX1", "C4-XX2", "C4-XX3", "OS1", "OS2", "OS2-XX", "I-XX", "G1", "G1-XX", and "E2-XX", the zoning of Part of Lots 7, 8 and 9, Concession 3, South of Dundas Street, part of Water Lot in front of Lot 7, Concession 3, South of Dundas Street, part of Water Lot location HY28 in front of Lot 7, Concession 3, South of Dundas Street, Water Lot location HY77 in front of Lot 7, Concession 3, South of Dundas Street, part of Water Lot location HY116 in front of Lot 7 Concession 3, South of Dundas Street (Geographic Township of Toronto, County of Peel), in the City of Mississauga, PROVIDED HOWEVER THAT the "RA5-XX", "C4-XX1", "C4-XX2", "C4-XX3", "OS1", "OS2", "OS2-XX", "I-XX", "G1", "G1-XX", and "E2-XX" zoning shall only apply to the lands which are shown on the attached Schedule "A", which is deemed to be an integral part of this By-law, outlined in the heaviest broken line with the "RA5-XX", "C4-XX1", "C4-XX2", "C4-XX3", "OS1", "OS2", "OS2-XX", "I-XX", "G1", "G1-XX", and "E2-XX" zoning indicated thereon.

ENACTED and PASSED this \_\_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

Schedule "A"



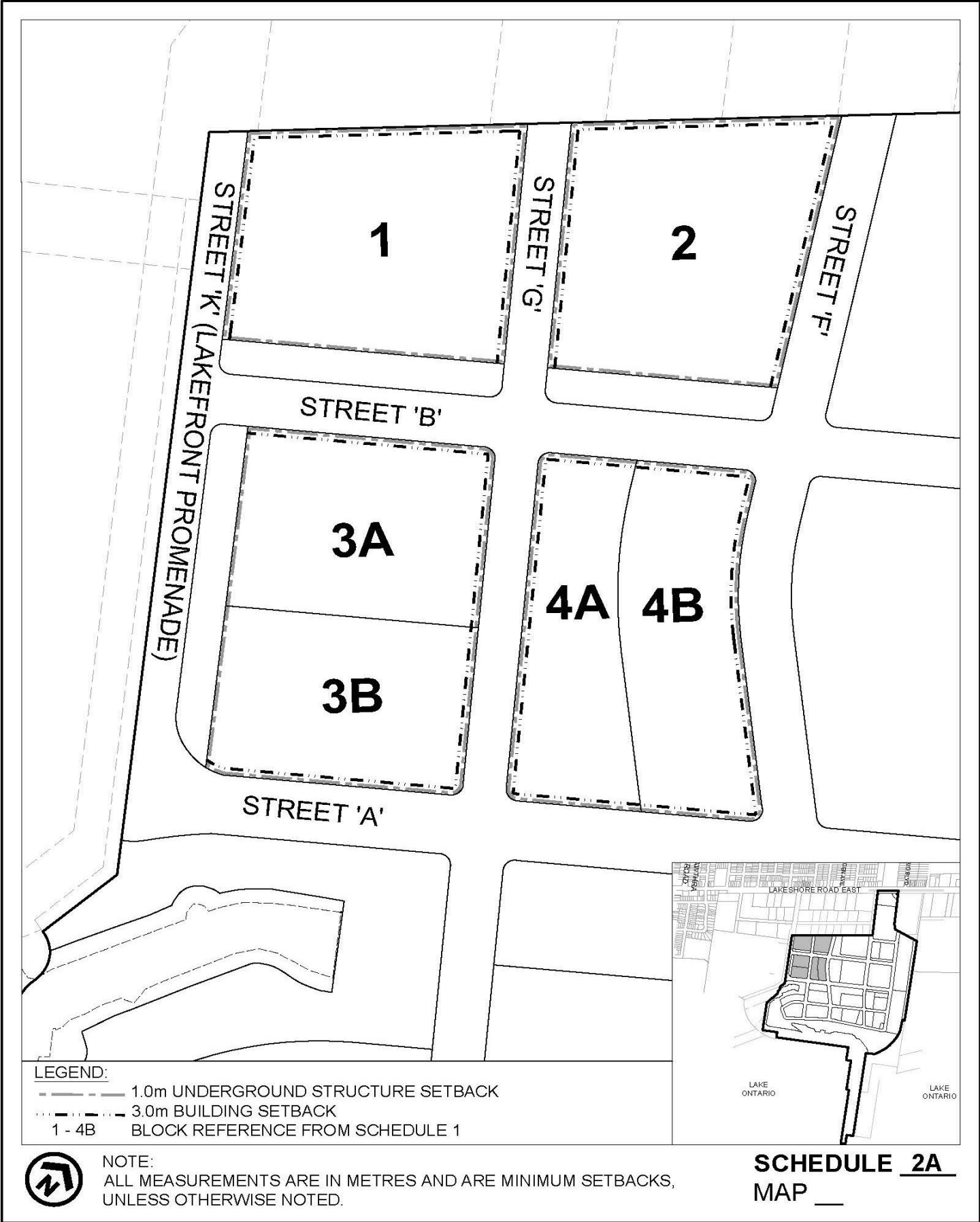
PART OF LOTS 8, 7 AND 9, CONCESSION 3, SOUTH OF DUNDAS STREET  
PART OF WATER LOT IN FRONT OF LOT 7, CONCESSION 3, SOUTH OF  
DUNDAS STREET PART OF WATER LOT LOCATION HY28 IN FRONT OF LOT 7,  
CONCESSION 3, SOUTH OF DUNDAS STREET WATER LOT LOCATION HY 77IN  
FRONT OF LOT 7, CONCESSION 3, SOUTH OF DUNDAS STREET  
PART OF WATER LOT LOCATION HY 116IN  
FRONT OF LOT 7, CONCESSION 3, SOUTH OF DUNDAS STREET  
(GEOGRAPHIC TOWNSHIP OF TORONTO, COUNTY OF PEEL),  
CITY OF MISSISSAUGA

THIS IS SCHEDULE "A" TO  
BY-LAW \_\_\_\_\_  
PASSED BY COUNCIL  
\_\_\_\_\_

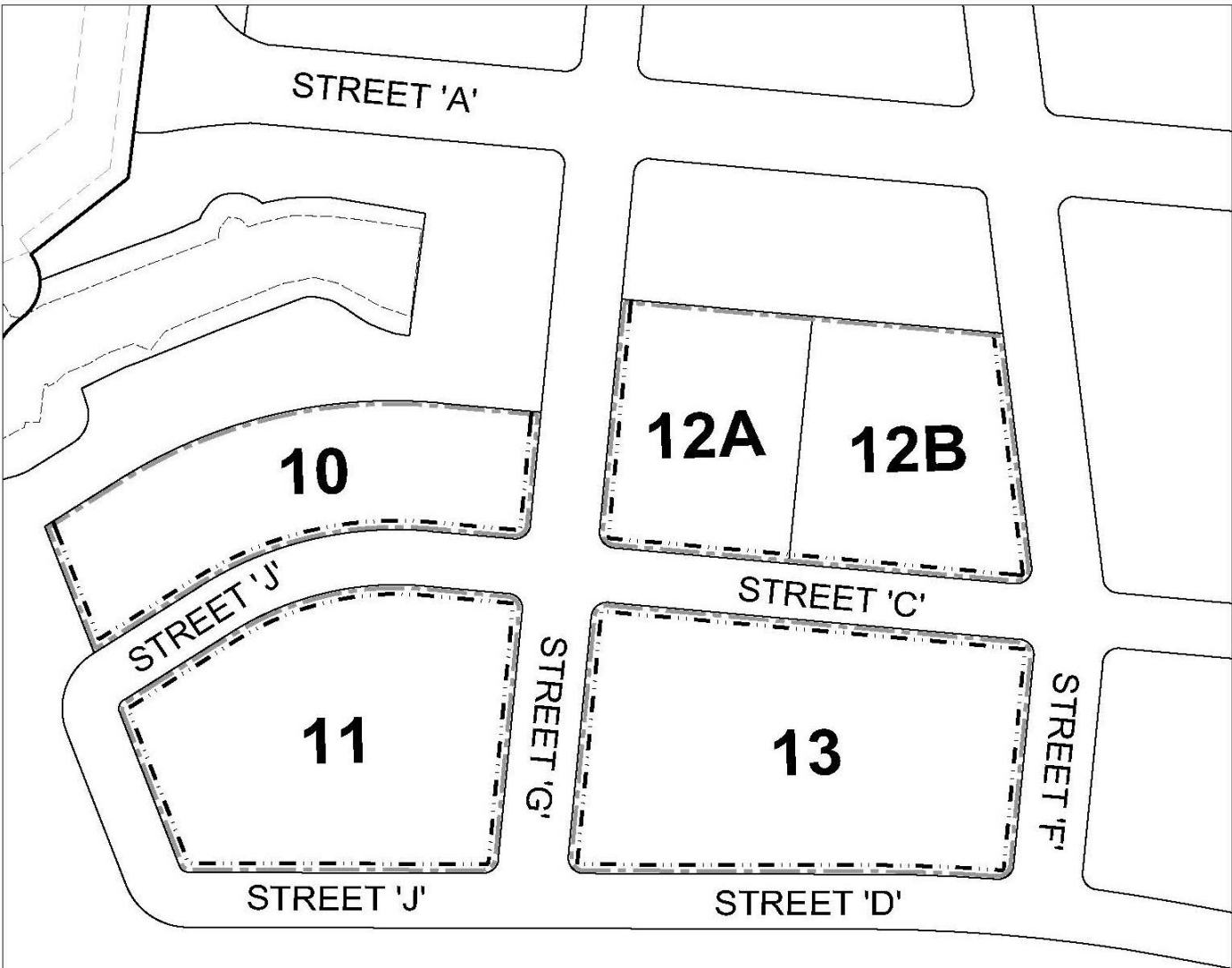
Schedule “1” (Parcel Areas)



Schedules “2A-2D” (Setbacks)

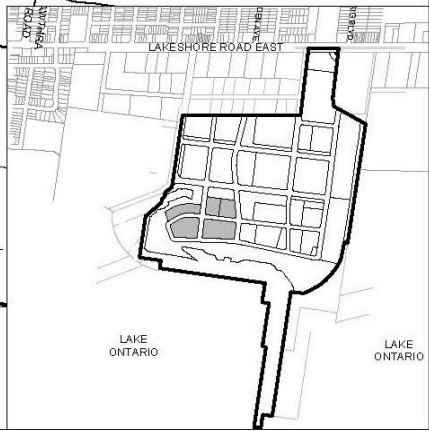






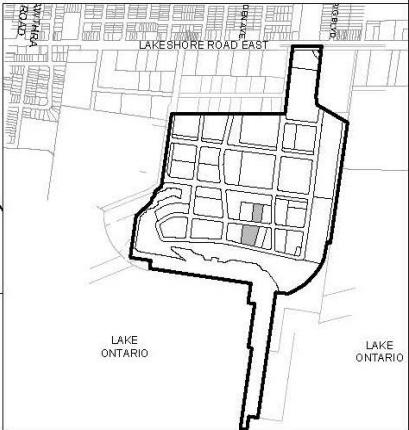
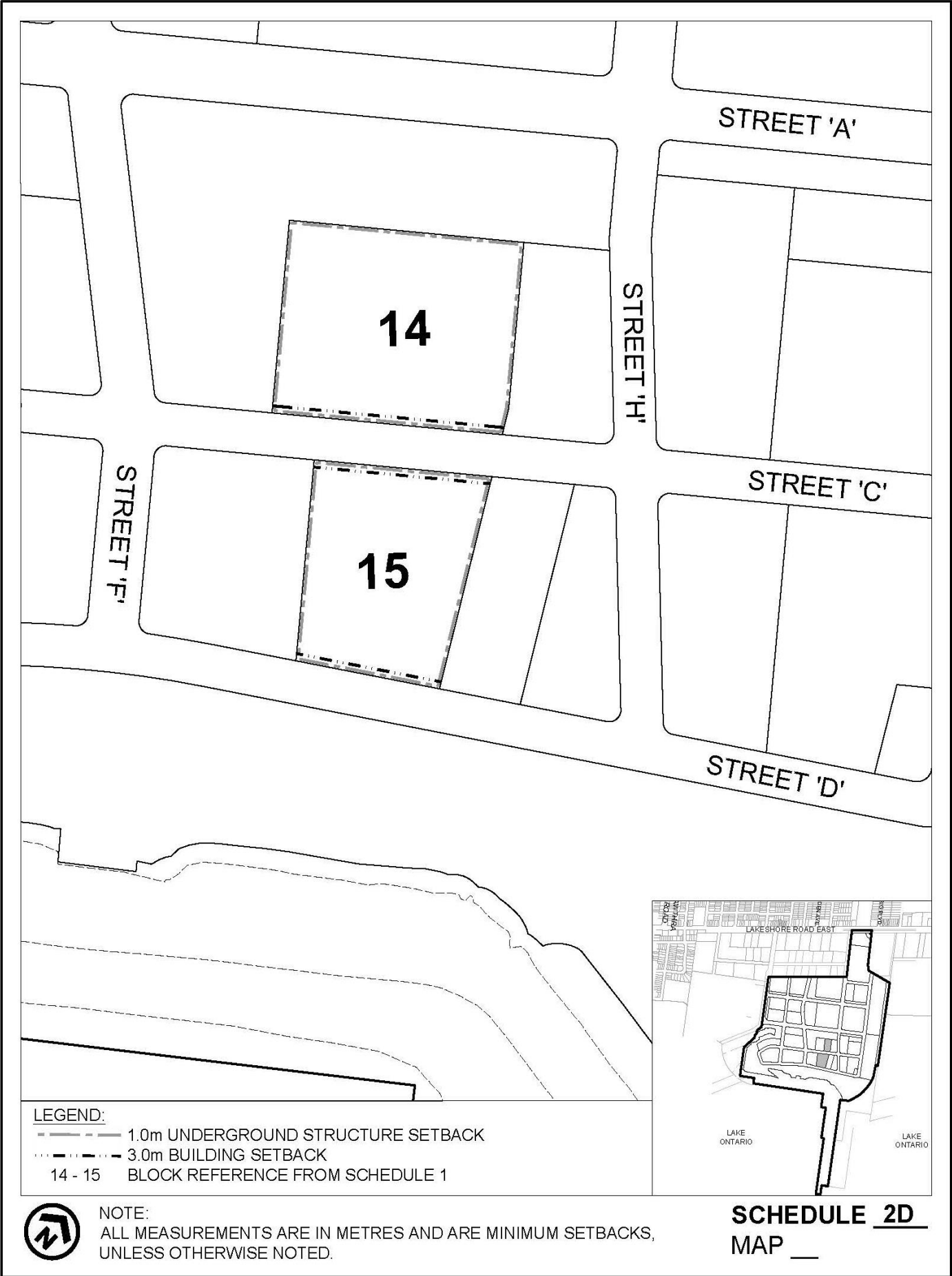
LEGEND:

- 1.0m UNDERGROUND STRUCTURE SETBACK
- 3.0m BUILDING SETBACK
- 10 - 13 BLOCK REFERENCE FROM SCHEDULE 1



NOTE:  
 ALL MEASUREMENTS ARE IN METRES AND ARE MINIMUM SETBACKS,  
 UNLESS OTHERWISE NOTED.

**SCHEDULE 2C**  
**MAP**



**SCHEDULE 2D**  
**MAP** \_\_



Schedule “3” (Bicycle Parking Illustrations)

Illustration: Bicycle Parking

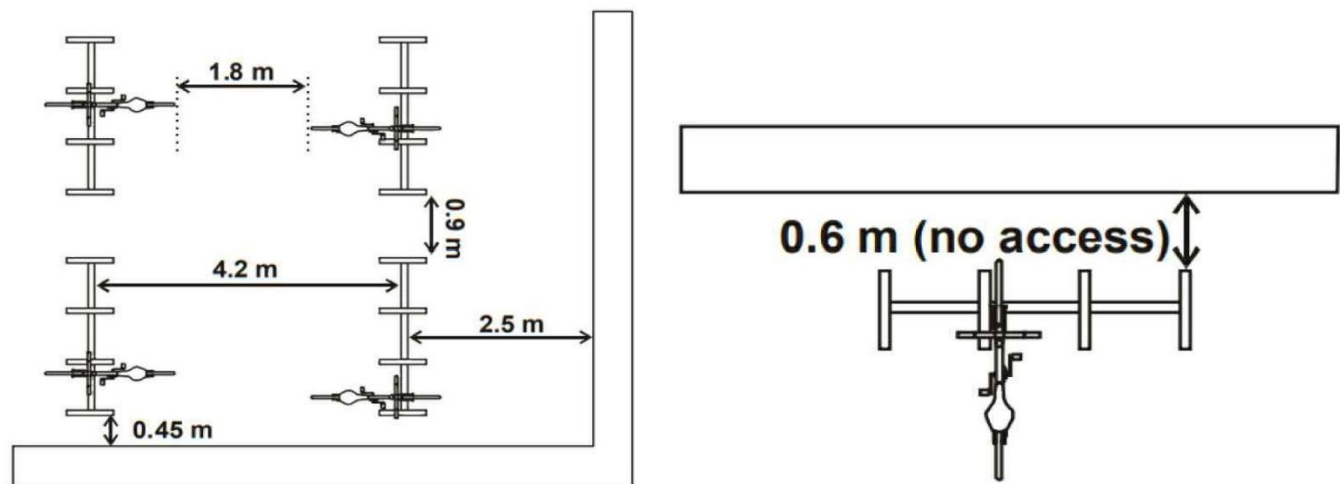
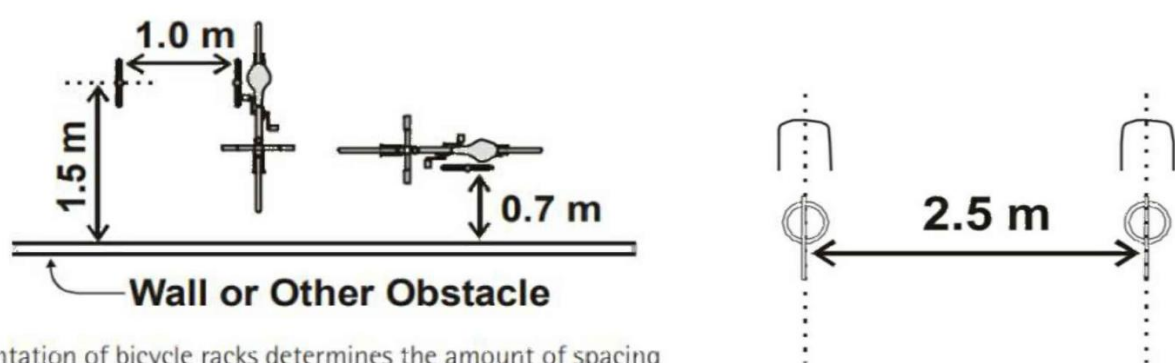


Illustration No.: 1



The orientation of bicycle racks determines the amount of spacing  
Illustration No.: 2

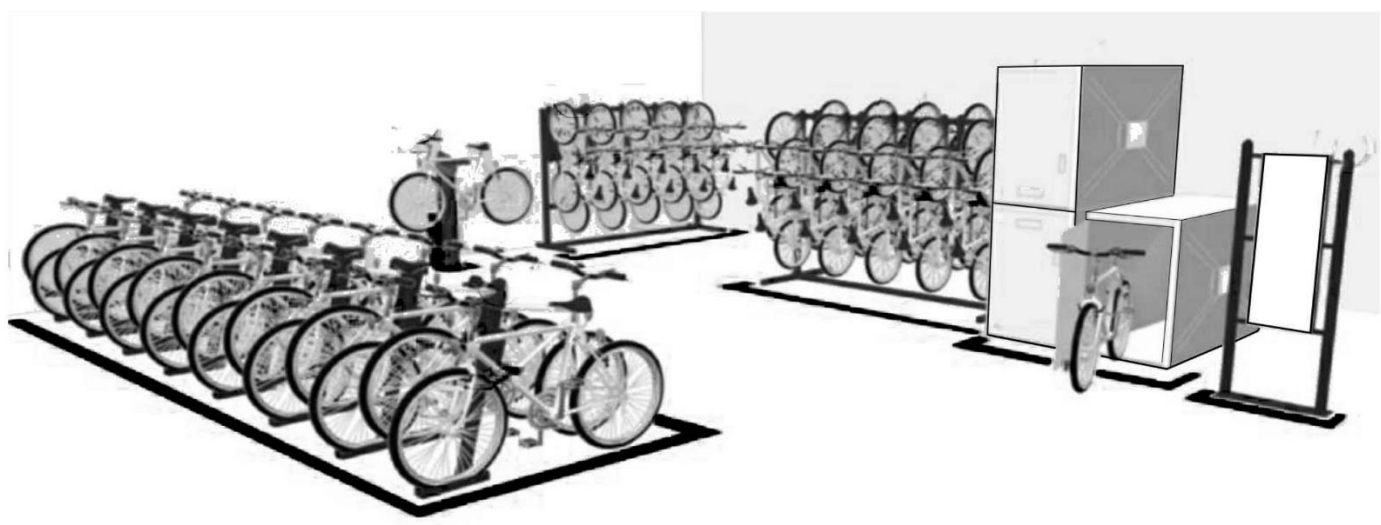


Illustration No.: 3

Note:  
The above illustrations are for clarification and convenience only and do not form part of this By-law. The Definitions and General Provisions parts of this By-law must be referenced.

PART OF LOTS 8,7 AND 9, CONCESSION 3 ,SOUTH OF DUNDAS STREET PART OF WATER LOT IN FRONT OF LOT 7, CONCESSION 3, SOUTH OF DUNDAS STREET PART OF WATER LOT LOCATION HY28 IN FRONT OF LOT 7, CONCESSION 3 ,SOUTH OF DUNDAS STREET WATER LOT LOCATION HY 77IN FRONT OF LOT 7,CONCESSION 3, SOUTH OF DUNDAS STREET PART OF WATER LOT LOCATION HY 116 IN FRONT OF LOT 7, CONCESSION 3, SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TORONTO ,COUNTY OF PEEL ,)CITY OF MISSISSAUGA

THIS IS SCHEDULE "3"  
(BICYCLE PARKING  
ILLUSTRATIONS) TO  
BY-LAW \_\_\_\_\_  
PASSED BY COUNCIL  
\_\_\_\_\_

## **APPENDIX "A" TO BY-LAW NUMBER**

### Explanation of the Purpose and Effect of the By-law

The purpose of this By-law is to permit a mixed-use development consisting of residential uses in various built form types including townhouses and apartments, employment, commercial and institutional uses, and open space uses including active, passive and naturalized parkland.

This By-law amends the zoning of the property outlined on the attached Schedule "A" from "U-1" (Utility) and "G1" (Greenlands) to "RA5-XX" (Residential Apartment - Exception), "C4-XX1" (Mainstreet Commercial – Exception), "C4-XX2" (Mainstreet Commercial – Exception), "C4-XX3" (Mainstreet Commercial – Exception), "OS1" (Neighbourhood Open Space), "OS2" (City Open Space), "OS2-XX1" (Open Space - Exception), "I-XX" (Institutional - Exception), "G1" (Greenlands), "G1-XX" (Greenlands – Exception) and "E2-XX" (Employment – Exception).

"U-1" permits power generation buildings and structures with ancillary uses.

"G1" permits greenlands for natural hazard protection purposes.

"RA5-XX" (Residential Apartment - Exception) permits various forms of townhouse and apartment dwellings, with varying heights in accordance with the appended schedule.

"C4-XX1" (Mainstreet Commercial – Exception) permits mixed-use development consisting of at-grade commercial focussed primarily on neighbourhood commercial and local convenience uses with residential and some limited non-residential uses sharing the site or in shared buildings.

Explanation of the Purpose and Effect of the By-law (continued)

“C4-XX2” (Mainstreet Commercial – Exception) permits mixed-use development consisting of at-grade commercial focussed primarily on urban village and local convenience uses catering to destination visitors as well as local residents. The zone shall also include residential uses above in shared buildings and these buildings may also include other non-residential uses including offices, and hotel uses.

“C4-XX3” (Mainstreet Commercial – Exception) permits mixed-use development consisting of at-grade commercial with residential uses shared on site or in the same building. These lands shall also provide locations for cultural, educational and ancillary institutional uses.

“OS1” (Neighbourhood Open Space) permits parkland for community park purposes and includes active and passive uses.

“OS2” (City Open Space) permits parkland for city-wide park purposes and includes active and passive uses.

“OS2-XX1” (Open Space - Exception) permits predominantly parkland for city-wide park purposes which includes active and passive uses, but may also include limited commercial, cultural, and other uses.

“I-XX” (Institutional - Exception) permits institutional uses such as a post-secondary school, research facilities, offices, and shall also permit various infrastructure uses (i.e. district energy, alternative waste collection system, and sanitary sewer requirements).

“G1” (Greenlands) permits greenlands for natural hazard protection purposes.

“G1-XX” (Greenlands – Exception) permits predominantly greenlands for natural hazard protection purposes, but also includes “OS2-XX1” open space and commercial uses.

“E2-XX” (Employment – Exception) permits various uses including office, limited commercial, infrastructure uses, and other employment uses.

Location of Lands Affected

Southeast corner of Lakeshore Road East and Hydro Road, and lands at the end of Hydro Road, and including east side of Lakefront Promenade, south of Rangeview Road, in the City of Mississauga, as shown on the attached Map designated as Schedule "A".

Further information regarding this By-law may be obtained from David Breveglieri of the City Planning and Building Department at 905-615-3200 ext. 5551.