



“See the Possibilities” Online Survey Results 1 Port Street East

Inspiration Port Credit is about envisioning a bright, new future for the Port Credit waterfront.

Through an online survey in the fall of 2014, we asked what the community thought about ideas for the two Inspiration Port Credit sites; 1 Port Street East (Port Credit Harbour Marina) and 70 Mississauga Road South (former Imperial Oil refinery). We asked if we are heading in the right direction on key themes such as public open space, key uses, connectivity and sustainability.

In response to what we’ve heard through these surveys, we are continuing to develop City driven plans for these sites. These results will inform the next stages of Inspiration Port Credit and the future of the Port Credit waterfront.

Below is a summary of the responses to the 1 Port Street East survey.

Please visit the Inspiration Port Credit website to view the original survey under ‘Project Documents’ tab.

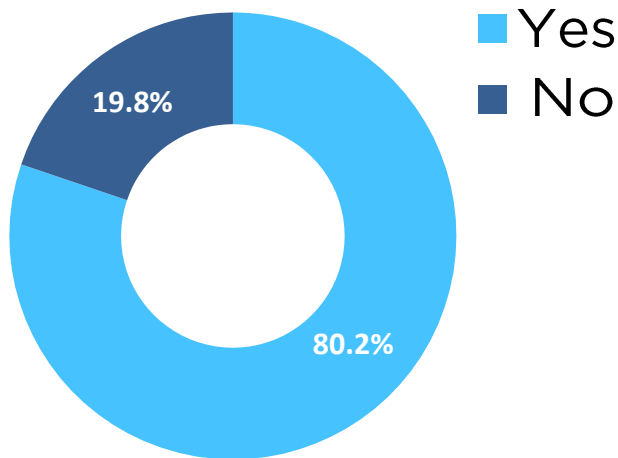
Marina Possibilities

Protect the marina: the operations, sales, service and repair (with permits), as well as charter boats and deep water harbour. Look at providing opportunities for boat storage on site.

We're looking at the possibilities subject to studies and permits required for:

- A marina building: on the site or on the break wall
- Outdoor boat storage: on the break wall, on the site or in-water (e.g. bubbling system)
- Marina Parking: Options for building and boat storage locations

Are we headed in the right direction?



Outdoor Storage:

- Feasibility. Do all boats fit on the break wall?
- Safety. Is the break wall a safe place to store boats?
- Boats stored out of water will be an “eye sore” during the out of season months.
- Outdoor space is being wasted on boat storage.

In-Water Storage:

- Concerns opposing in-water storage are related with vessel damage over the winter.

“Our winters are too harsh for boats to be left in the water and unattended”

Marina:

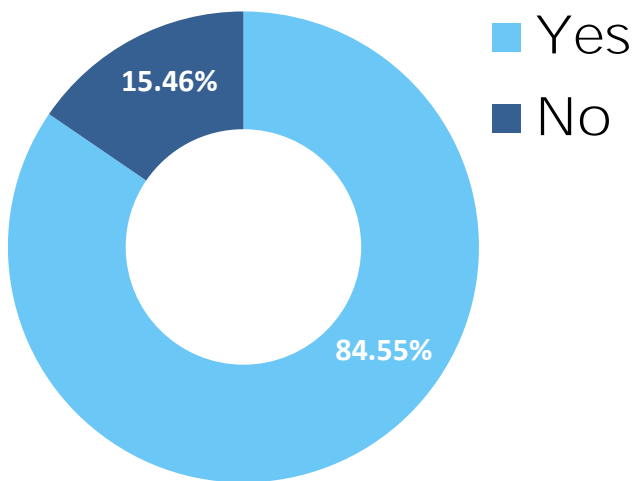
- The deep water marina basin in close proximity to downtown Port Credit should logically drive the vision for this site.
- Need for outdoor parking near the docks for boat owners and parking for residents.
- Create a break wall that has natural and organic edges, avoiding walls and waves that crash
- Keep the waterfront accessible for pedestrians and cyclists.
- Reserve an area of land near the marina for unloading and offloading boats – making land to water access easy and convenient.
- Demonstrate economics and logistics from other existing sampler of those solutions

“...protecting the marina is very important as it's what makes part of the area, however, it cannot be more important that the use of the land for the general public that does not own a boat or live that lifestyle.

Inspiration and Future Destination Park

Build a vibrant waterfront community and destination at this unique site with a “Marina Marketplace” – extend the urban waterfront village fabric linking the marine and cultural histories together at the marina, and draw people to the water’s edge to live, work and play.

Are we headed in the right direction?



General Comment Summary:

- Potential of the area to become exclusive and elite, with high-end living rather than a public and egalitarian site.

General Comment Summary:

“Linking the marine and cultural histories together at the marina is an excellent and crucial direction”

- Costs. Who is funding the development?
- Businesses will struggle during the winter if we cannot attract consumers - vacant lots are an issue.
- Need to have parking near the marketplace with enough spaces to support visitors.
- The park is isolated from Main Street Port Credit.
- Having the park at the end of the pier exposes it to the elements.
- Need height variation and design excellence.

Respondent Proposal:

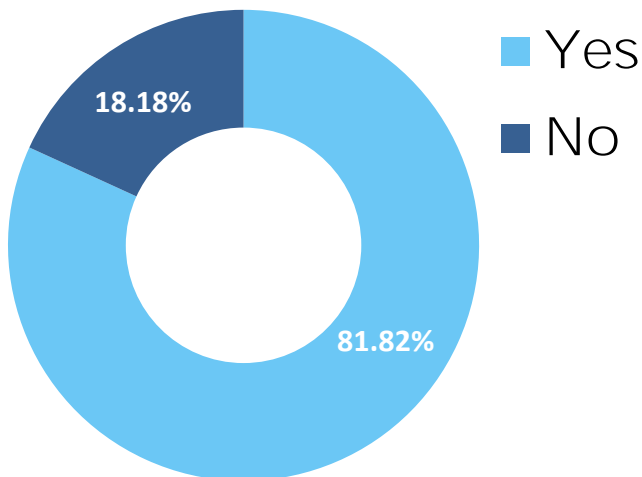
Create a public square that gives pedestrians a reason to stroll through the site, attracting visitors year-round by having a summer water feature transition into a skating rink during the winter, making this an active and engaging space.

Water Access and Views

Ensure that open space is in the best spot for use and is comfortable, animated and attractive all year round. Provide views and access throughout the site to the water.

Buildings must step back from the open space and streets to reduce density and add sunlight and views.

Are we headed in the right direction?



Respondent Proposal:

Construct an architecturally significant building serving as a landmark in the site such as the Marilyn Monroe in downtown Mississauga.

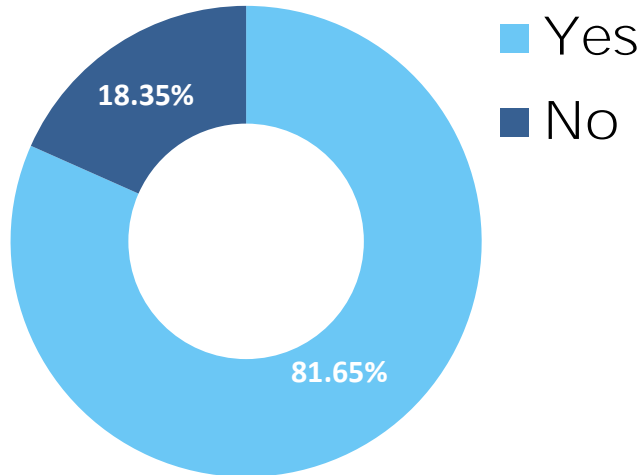
General Comment Summary:

- Create a year round site that is active during the off-season, what is proposed sounds like a seasonal site for summer use.
- Include winter activities/attractions that will bring customers and support businesses.
- Increase residential density to ensure the success of businesses during the winter.
- Concern with vehicular congestion and “overcrowding” associated with the development.
- Maintain building height restrictions limited to 3 and 6 stories along Port Street East in order to preserve waterfront views, with higher level buildings parallel to Stavebank Road.
- Condominiums should not be the driving force for the design.
- Buildings should have staggered heights
- Maintain open green public space to avoid creating a “wall of buildings”.
- Buildings should remain as low rise developments that do not obstruct views to the marina.
- Limit height of buildings to preserve waterfront panorama.

Destination and Jobs: Future Wharf Waterfront Promenade

Support tourism with “Marina Marketplace” restaurants, shops and entertainment.
Protect and add jobs – more office and creative industry jobs, especially marine related, arts and culture.

Are we headed in the right direction?



General Comment Summary:

- What uses will take place during the winter and what will the development provide residents on an everyday life basis – including the winter?
 - Move away from seasonal (summer) businesses and have year round activities that will attract visitors from October to March.
 - How will the city promote art and culture during the winter months – will exhibits be held indoors?
 - Can the city support the financial costs of arts and culture jobs?
 - Bring restaurants and patios to the site.
 - Vehicular congestion and “overcrowding” associated with the
 - Need sufficient parking for marketplace visitors and industry jobs.
 - The space should be geared more towards restaurant, service and retail uses rather than for office space.
 - More office uses are required.
- “Make sure the jobs do not detract from existing businesses along Lakeshore.”*
- How can the city attract the “right mix” of jobs?
 - What types of industries and jobs would use this space?

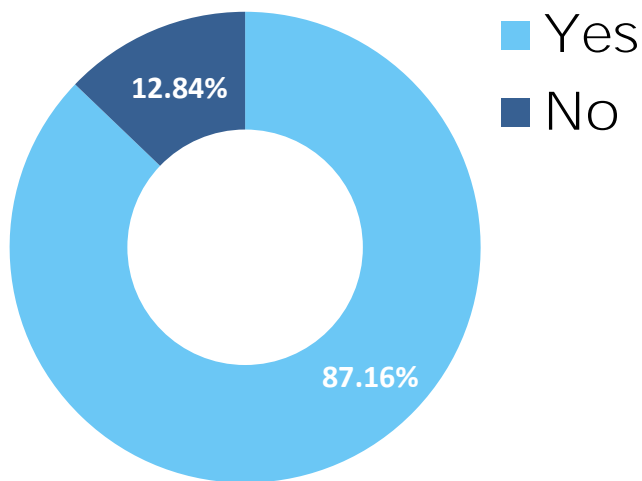
Possibilities: Pedestrians First

Put Pedestrians first!

Respondent Proposal:

Construct developments with a Dutch inspired woonerf street design where there is shared space and low speed limits placing “pedestrians first, bikes second and powered vehicles last”.

Are we headed in the right direction?



General Comment Summary:

- Bring reliable transit into site to service pedestrians.
- Cyclists and joggers should be prioritized by creating designated lanes separating pedestrians from cyclists and rollerbladers.
- Create road underpasses and pedestrian overpasses to create continual traffic flow.
- The marina and its use needs to coexist with pedestrians.
- Connect people to the water year round.
- Prioritize pedestrians - people should come first, cyclists second and powered vehicles last.

“...it’s the connectivity that creates a draw – it’s about the marina, squares, parks along the route that draws people to the waterfront and gives them choices of routes and amenities. This should be a special place that invites people to the waterfront, not blocks out the access.”

Other key comments from respondents:

- Port Credit can be established as a landmark development