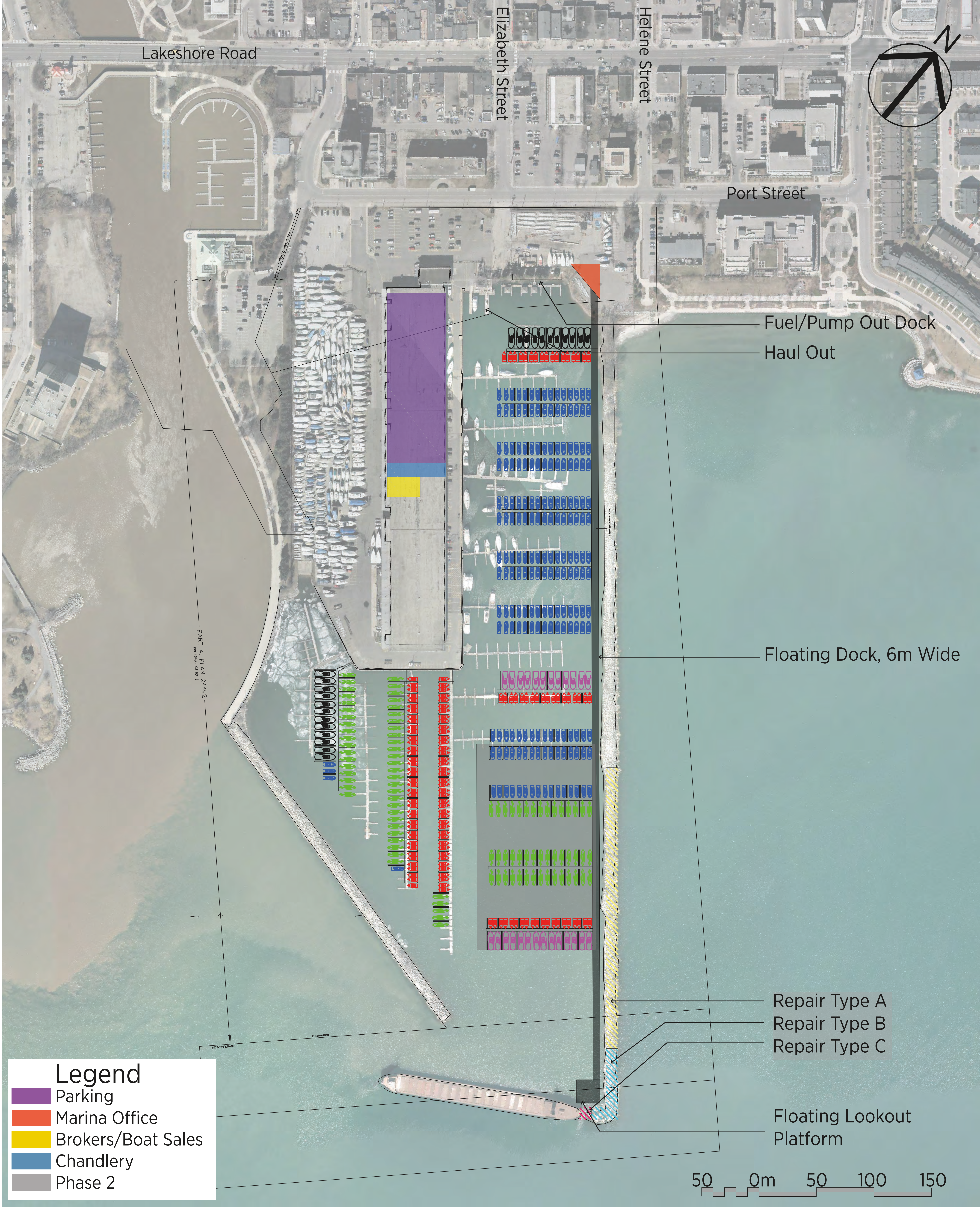


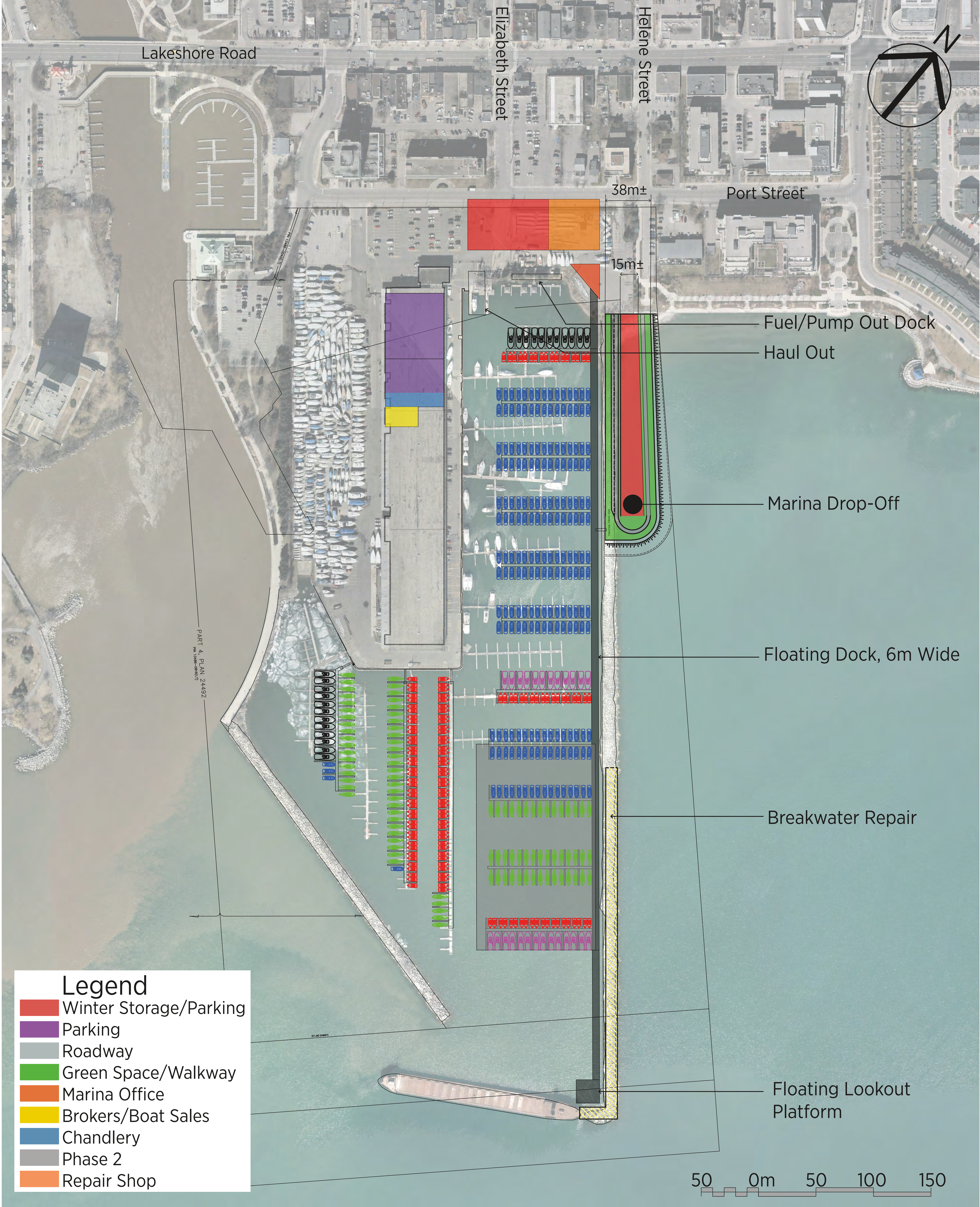
Concept A



	0.5 Spaces per slip
Parking Spaces (at 30 sq.m.)	241 (50%)

Phase	No. Slips			Percentage		
	1	2	T	1	2	T
9 metres	116	20	136	31	18	28
11 metres	170	32	202	46	29	42
14 metres	50	45	95	13	40	20
16 metres	12	14	26	3	13	5
18 metres	23	-	23	6	-	5
Total	371	111	482			100

Concept B



- Legend**
- Winter Storage/Parking
 - Parking
 - Roadway
 - Green Space/Walkway
 - Marina Office
 - Brokers/Boat Sales
 - Chandlery
 - Phase 2
 - Repair Shop

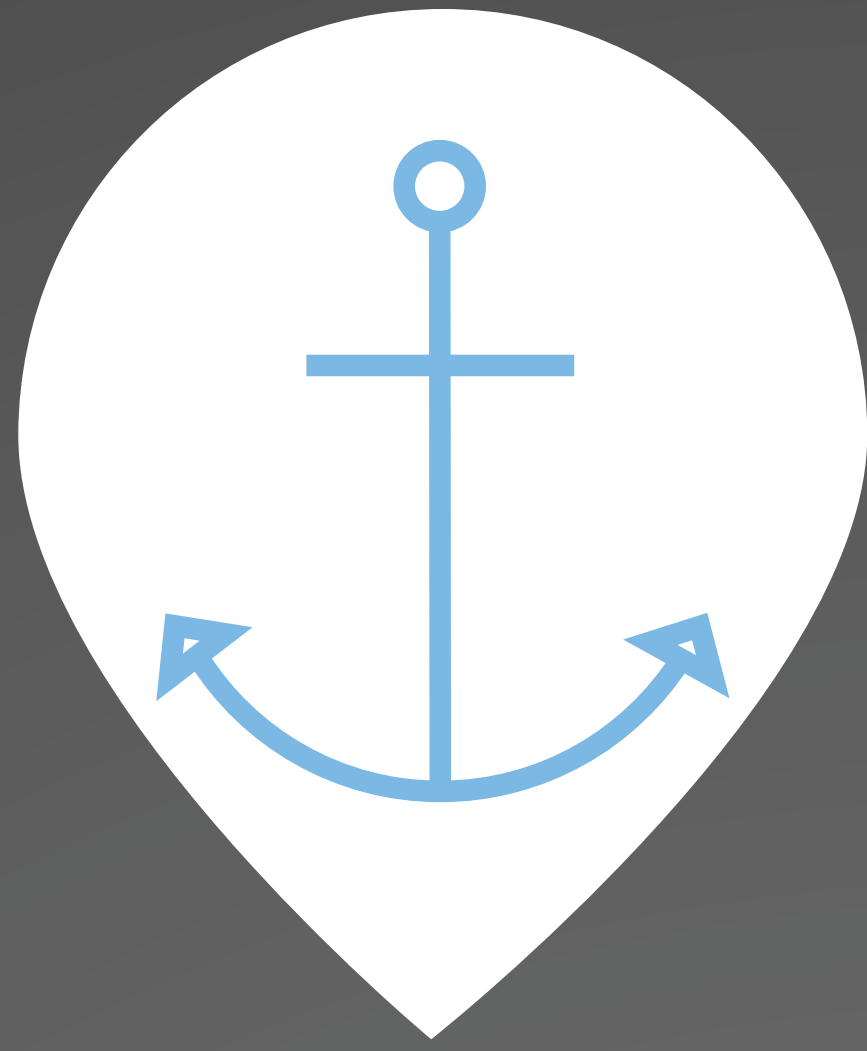
	Breakwater	Pier	Total
Parking Spaces (at 30 sq.m.)	100	141	241
Winter Storage (at 60 sq.m.)	50	50	100

Phase	No. Slips			Percentage		
	1	2	T	1	2	T
9 metres	116	20	136	31	18	28
11 metres	170	32	202	46	29	42
14 metres	50	45	95	13	40	20
16 metres	12	14	26	3	13	5
18 metres	23	-	23	6	-	5
Total	371	111	482			100

Marina Business Case Objectives for a Future Marina



Sustainable Marina



New, Full Service Marina and Associated Facilities on or off-site



Destination



Part of a Mixed use Site



Functional Layout



Parkland + Public Access to the Water's Edge



Environmental Concerns/Habitat



Preservation of views/Heritage Landscape

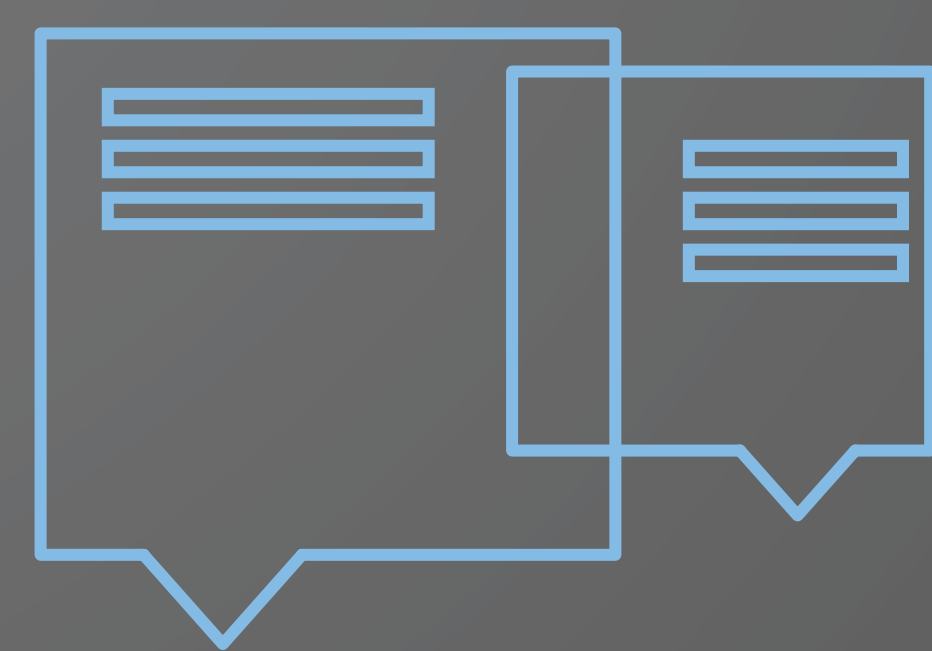
Work Completed in Developing the Marina Concepts...



Reviewed all marinas on North Shore of Lake Ontario



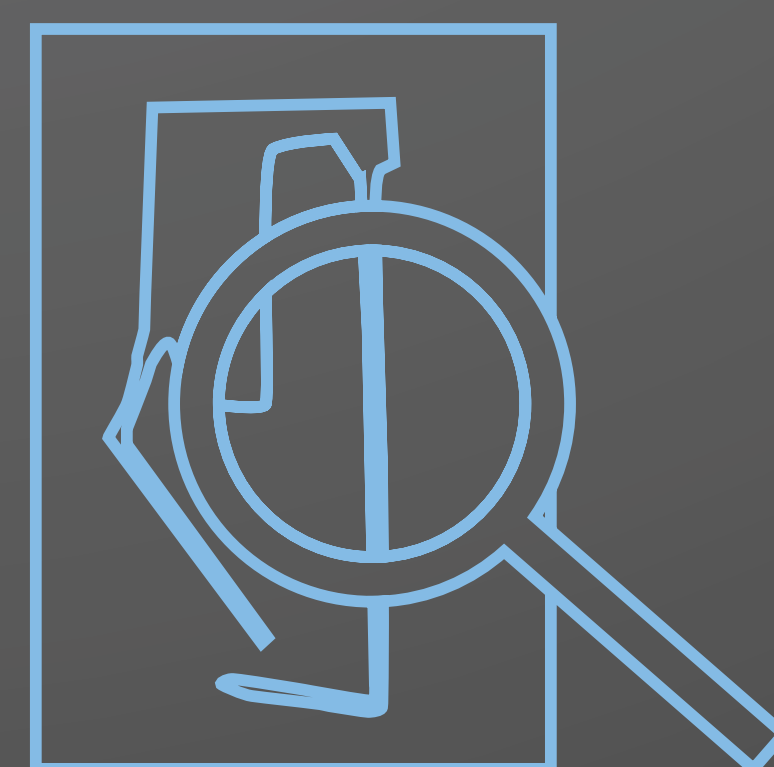
Reviewed marinas in Northern North America and Northern Europe



Interviewed current tenants and users of Port Credit Harbour Marina

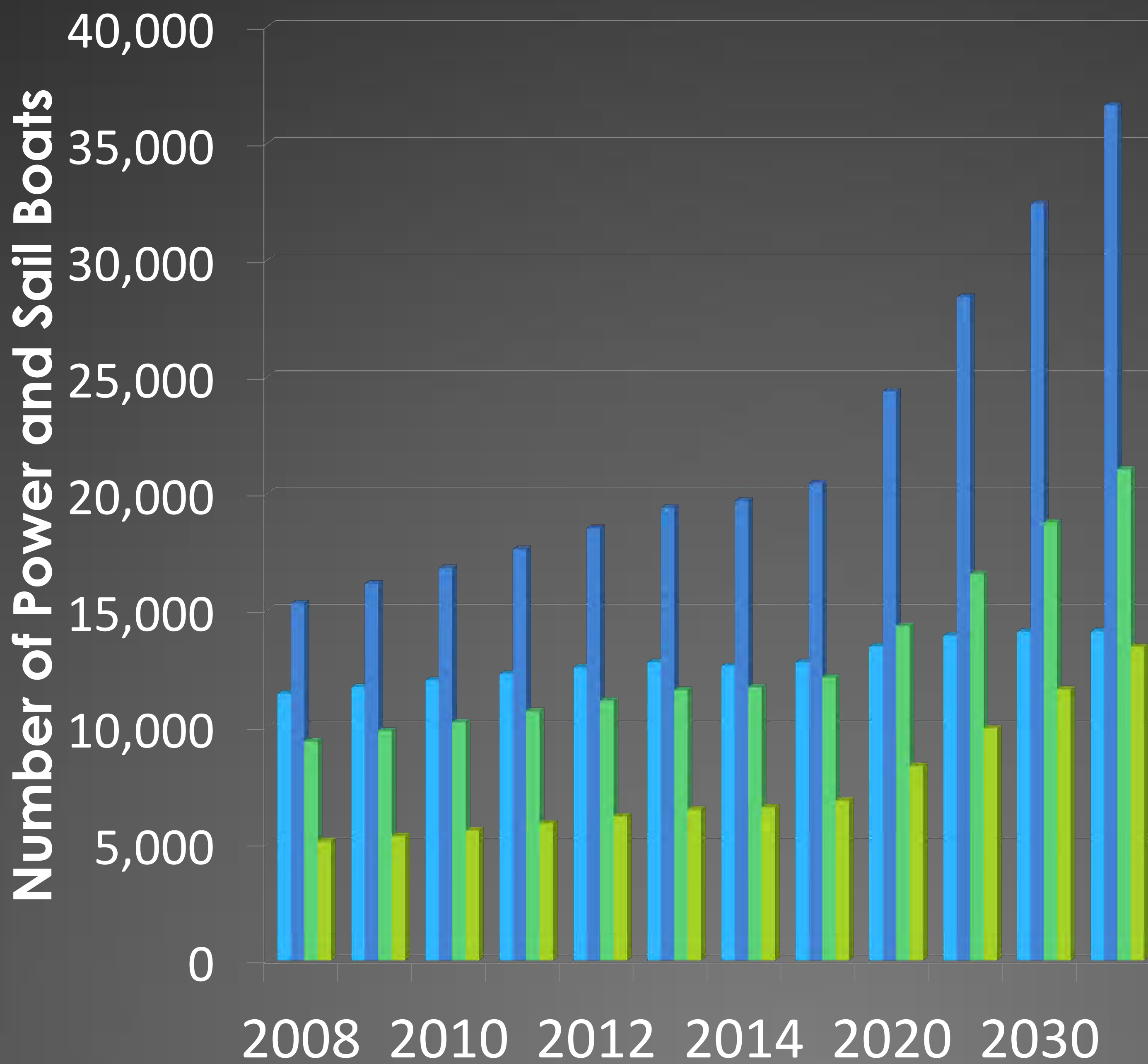


On-line survey of Mississauga residents and boaters completed

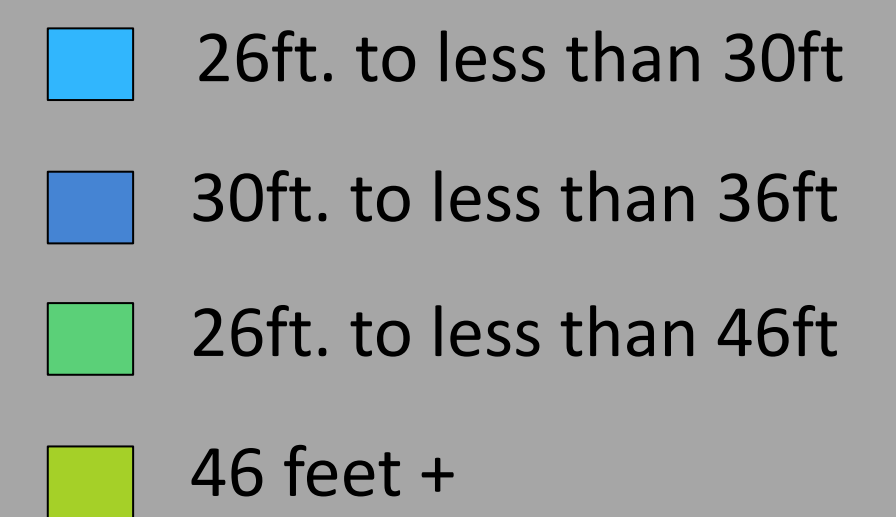


Reviewed all potential on-site marina and marina-related uses

Boat Size Growth Trends

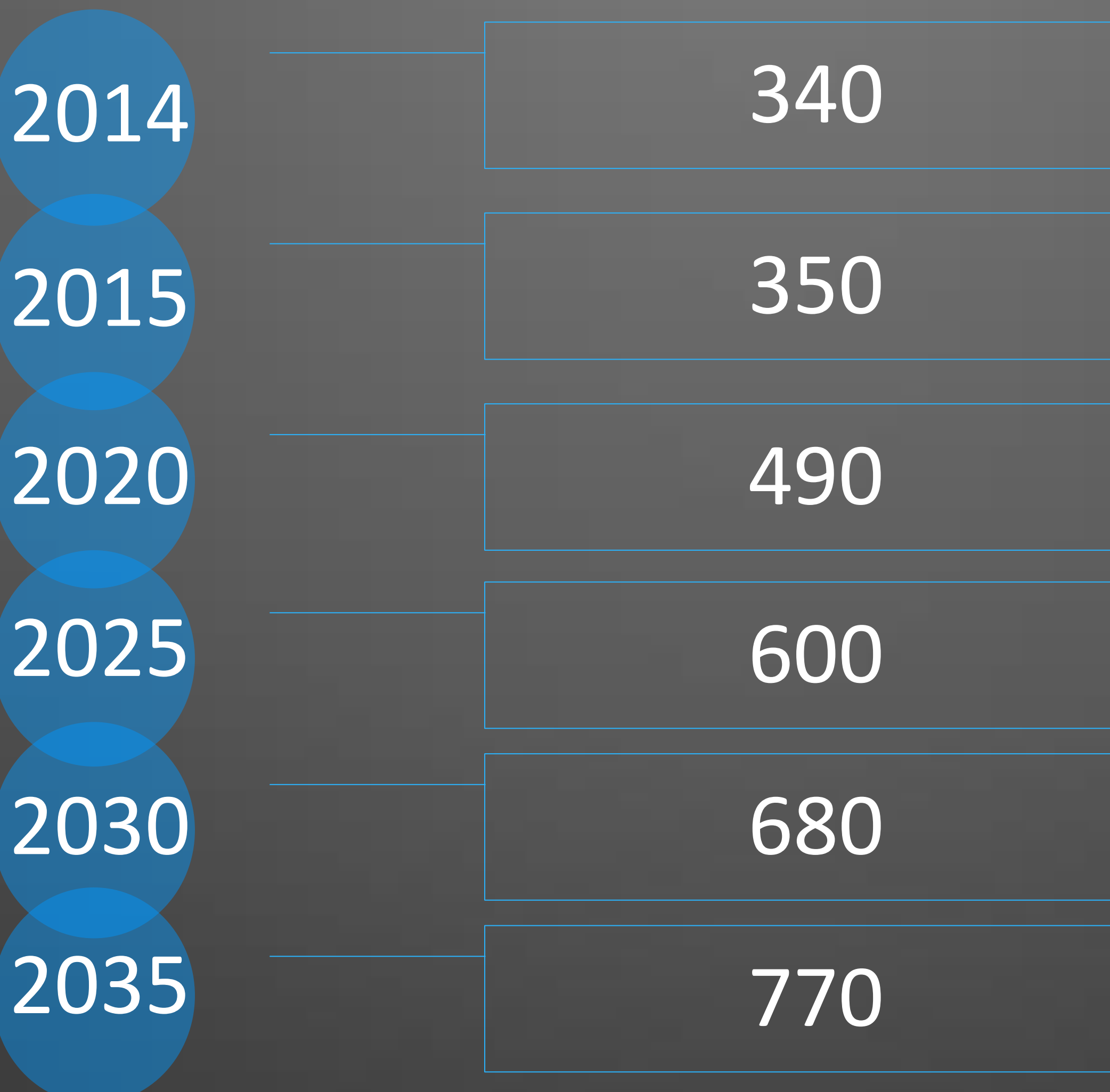


- Boats requiring a seasonal slip will continue to increase in length
- The number of boats 46' and over are projected to more than double between 2015 and 2035
- Marinas and yacht clubs will need to provide more finger docks 30' and more in length



YEAR

NUMBER OF ADDITIONAL SLIPS REQUIRED



- Based on growth in population and increased demand for slips, there will a need for 770 additional seasonal slips by 2035
- Based on the current and projected use of launch ramps in Mississauga, no additional ramps will be required between 2015 and 2035

**RECREATIONAL
BOATING DEMAND
AND CAPACITY
STUDY**



Marinas & Yacht Clubs (Kingston to Niagara-on-the-Lake) 112	Mississauga 4	GTA/Golden Horseshoe Area 46	Rest of North Shore of Lake Ontario 62
% of slips with 50 amp. or more power	10.1%	22.0%	19.4%
% of facilities with Fuel Dock	50.0%	47.8%	48.4%
% of facilities with Pump-out	75.0%	71.7%	64.5%
Occupancy	98.6%	97.8%	96.3%
% of slips <26'	32.3%	10.8%	9.3%
% of slips 46' or more	7.0%	10.3%	11.4%
% of boats accommodated on-site for winter storage	77.0%	70.6%	85.4%
Number of boats on waiting list	70	1,460	656
Transient Slips as % of total slips	4.2%	6.2%	16.3%

Credit Village Marina



Total Slips (Excluding Marina Park)	64
< 7.9 m (< 26')	6
7.9m - 9.1m (26' - < 30')	0
9.1m - 11m (30' - < 36')	28
11m - 14m (36' to - 46')	18
> 14m (> 46')	12
Seasonal Slips	15
Transient Slips	49
Length of Transient Slips:	
< 7.9 m (< 26')	4
7.9m - 9.1m (26' - < 30')	0
9.1m - 11m (30' - < 36')	20
11m - 14m (36' to - 46')	15
> 14m (> 46')	10
Fuel	None
Min. Draft	1.8 m (6 ft.)

Port Credit Harbour Marina



Total Slips	575
Seasonal Slips	575
Transient Slips	0
Length of Transient Slips:	N/A
Fuel	Gas, Diesel
Min. Draft	5.5 m (18 ft.)



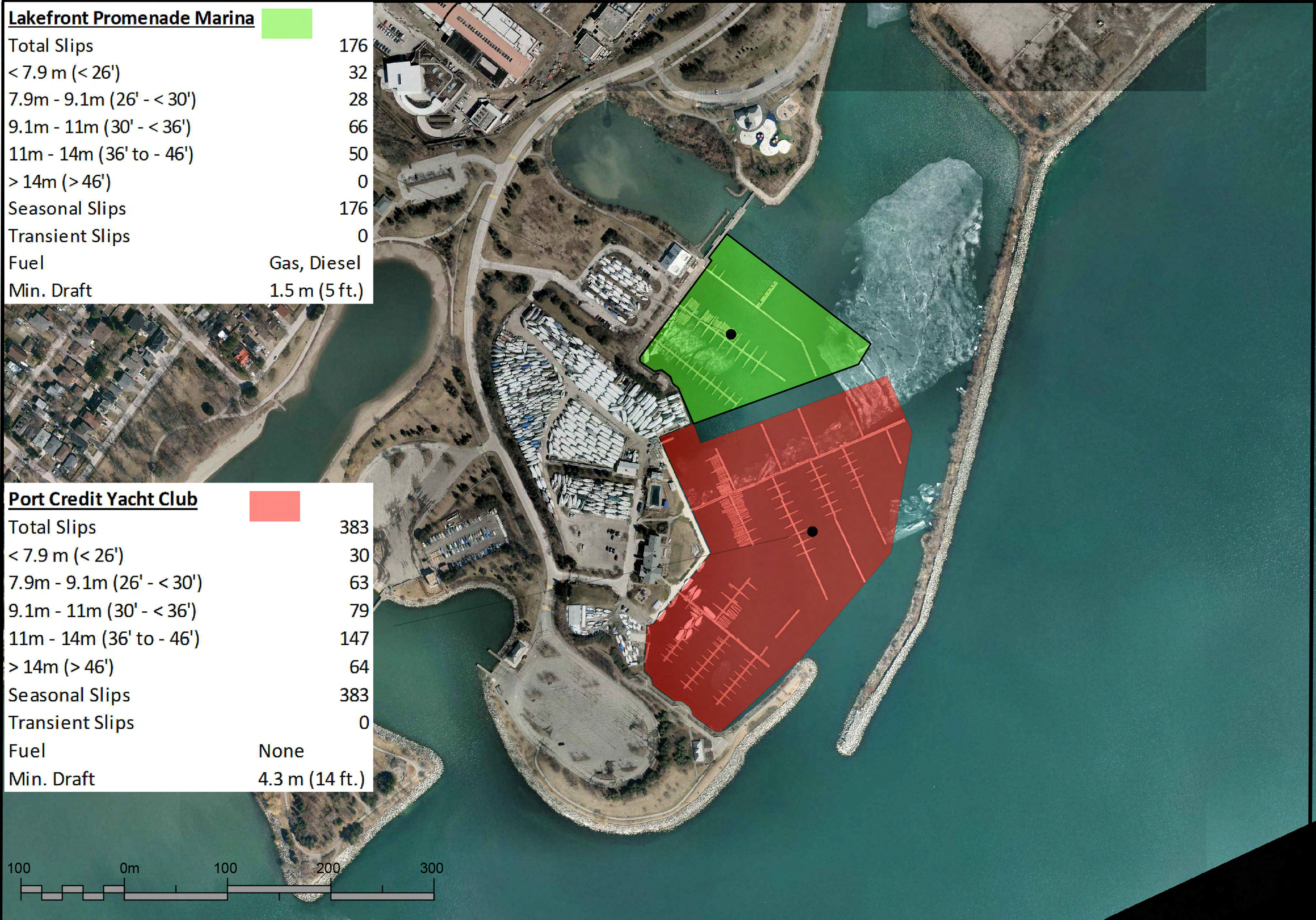
Port Credit Harbour Marina & Credit Village Marina Site Plans

Lakefront Promenade Marina ■

Total Slips	176
< 7.9 m (< 26')	32
7.9m - 9.1m (26' - < 30')	28
9.1m - 11m (30' - < 36')	66
11m - 14m (36' to - 46')	50
> 14m (> 46')	0
Seasonal Slips	176
Transient Slips	0
Fuel	Gas, Diesel
Min. Draft	1.5 m (5 ft.)

Port Credit Yacht Club ■

Total Slips	383
< 7.9 m (< 26')	30
7.9m - 9.1m (26' - < 30')	63
9.1m - 11m (30' - < 36')	79
11m - 14m (36' to - 46')	147
> 14m (> 46')	64
Seasonal Slips	383
Transient Slips	0
Fuel	None
Min. Draft	4.3 m (14 ft.)



Port Credit Yacht Club & Lakefront Promenade Marina
Site Plans